

**TOWN OF LOS GATOS
PLANNING COMMISSION AGENDA
OCTOBER 09, 2019
110 EAST MAIN STREET
LOS GATOS, CA**

*Matthew Hudes, Chair
Melanie Hanssen, Vice Chair
Mary Badame, Commissioner
Kendra Burch, Commissioner
Kathryn Janoff, Commissioner
Tom O'Donnell, Commissioner
Reza Tavana, Commissioner*

PARTICIPATION IN THE PUBLIC PROCESS

How to participate: The Town of Los Gatos strongly encourages your active participation in the public process, which is the cornerstone of democracy. If you wish to speak to an item on the agenda, please complete a “speaker’s card” and return it to the Staff Liaison. If you wish to speak to an item NOT on the agenda, you may do so during the “verbal communications” period. The time allocated to speakers may change to better facilitate the Planning Commission meeting.

Effective Proceedings: The purpose of the Planning Commission meeting is to conduct the business of the community in an effective and efficient manner. For the benefit of the community, the Town of Los Gatos asks that you follow the Town’s meeting guidelines while attending Planning Commission meetings and treat everyone with respect and dignity. This is done by following meeting guidelines set forth in State law and in the Town Code. Disruptive conduct is not tolerated, including but not limited to: addressing the Commissioners without first being recognized; interrupting speakers, Commissioners or Town staff; continuing to speak after the allotted time has expired; failing to relinquish the podium when directed to do so; and repetitiously addressing the same subject.

Deadlines for Public Comment and Presentations are as follows:

- Persons wishing to make an audio/visual presentation on any agenda item must submit the presentation electronically, either in person or via email, to the Planning Department by 1 p.m. or the Clerk’s Office no later than 3:00 p.m. on the day of the Planning Commission meeting.
- Persons wishing to submit written comments to be included in the materials provided to the Planning Commission must provide the comments to the Planning Department as follows:
 - For inclusion in the regular packet: by 11:00 a.m. the Friday before the meeting
 - For inclusion in any Addendum: by 11:00 a.m. the Monday before the meeting
 - For inclusion in any Desk Item: by 11:00 a.m. on the day of the meeting

Planning Commission meetings are broadcast Live on KCAT, Channel 15 (on Comcast) on the 2nd and 4th Wednesdays at 7:00 p.m.
Live and Archived Planning Commission meetings can be viewed by going to:
<https://www.kcat.org/government-meetings>

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, IF YOU NEED SPECIAL ASSISTANCE TO PARTICIPATE IN THIS MEETING, PLEASE CONTACT THE CLERK DEPARTMENT AT (408) 354-6834. NOTIFICATION 48 HOURS BEFORE THE MEETING WILL ENABLE THE TOWN TO MAKE REASONABLE ARRANGEMENTS TO ENSURE ACCESSIBILITY TO THIS MEETING [28 CFR §35.102-35.104]

**TOWN OF LOS GATOS
PLANNING COMMISSION AGENDA
OCTOBER 09, 2019
7:00 PM**

MEETING CALLED TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

VERBAL COMMUNICATIONS *(Members of the public may address the Commission on any matter that is not listed on the agenda. Unless additional time is authorized by the Commission, remarks shall be limited to three minutes.)*

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION) *(Before the Planning Commission acts on the consent agenda, any member of the public or Commission may request that any item be removed from the consent agenda. At the Chair's discretion, items removed from the consent calendar may be considered either before or after the Public Hearings portion of the agenda)*

1. Minutes of September 11, 2019

2. Architecture and Site Application S-17-047. Project Location: **16 Chestnut Avenue**. Property Owner: Kim Roper. Applicant/Appellant: Bess Wiersema, Studio 3 Design. Project Planner: Erin Walters.
Consider an appeal of a Development Review Committee decision approving a request for demolition of an existing pre-1941 single-family residence and construction of a new single-family residence on property zoned R-1:12. APN 510-40-012. **Continued from July 10, 2019**

PUBLIC HEARINGS *(Applicants/Appellants and their representatives may be allotted up to a total of ten minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants/Appellants and their representatives may be allotted up to a total of five minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Commission's consent at the meeting.)*

3. Architecture and Site Application S-18-050. Project Location: **56 Central Avenue**. Property Owner: Andrew and Ashley Bothman. Applicant: Rick Hartman, HOMETEC Architecture. Appellant: Leslie Morley. Project Planner: Jocelyn Shoopman. Consider an appeal of a Development Review Committee decision approving a request for demolition of a dwelling, construction of a new single-family residence with reduced setbacks, and removal of large protected trees on property zoned R-1:10. APN 529-35-068.

4. Architecture and Site Application S-18-060. Project Location: **16336 Shady View Lane**. Appellant: Matt and Carrie Currie. Applicant: De Mattei Construction. Property Owner: Allan and Katty Coulson.
Consider an appeal of a Development Review Committee Decision approving a request for demolition of a single-family residence and construction of a new single-family residence on property zoned R-1:8. APN 532-03-034.

5. General Plan Amendment Application GP-19-001. Project Location: **Town Wide**. Applicant: Town of Los Gatos.
Consider proposed General Plan amendments to language specific to Highway 17 in Goal TRA-4 and supporting policies.

OTHER BUSINESS (*Up to three minutes may be allotted to each speaker on any of the following items.*)

REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

SUBCOMMITTEE REPORTS / COMMISSION MATTERS

ADJOURNMENT (*Planning Commission policy is to adjourn no later than 11:30 p.m. unless a majority of the Planning Commission votes for an extension of time*)

Writings related to an item on the Planning Commission meeting agenda distributed to members of the Commission within 72 hours of the meeting are available for public inspection at the reference desk of the Los Gatos Town Library, located at 100 Villa Avenue; the Community Development Department and Clerk Department, both located at 110 E. Main Street; and are also available for review on the official Town of Los Gatos website. Copies of desk items distributed to members of the Commission at the meeting are available for review in the Town Council Chambers.

Note: The Town of Los Gatos has adopted the provisions of Code of Civil Procedure §1094.6; litigation challenging a decision of the Town Council must be brought within 90 days after the decision is announced unless a shorter time is required by State or Federal law.



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 10/09/2019

ITEM NO: 1

**DRAFT
MINUTES OF THE PLANNING COMMISSION MEETING
SEPTEMBER 11, 2019**

The Planning Commission of the Town of Los Gatos conducted a Regular Meeting on Wednesday, September 11, 2019, at 7:00 p.m.

MEETING CALLED TO ORDER AT 7:00 P.M.

ROLL CALL

Present: Chair Matthew Hudes, Vice Chair Melanie Hanssen, Commissioner Mary Badame, Commissioner Kendra Burch, Commissioner Kathryn Janoff, and Commissioner Reza Tavana,
Absent: Commissioner Tom O'Donnell

PLEDGE OF ALLEGIANCE

Commissioner Tavana led the Pledge of Allegiance. The audience was invited to participate.

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

1. Approval of Minutes – August 14, 2019

MOTION: Motion by **Commissioner Badame** to approve adoption of the Consent Calendar. **Seconded** by **Commissioner Burch**.

VOTE: Motion passed unanimously

PUBLIC HEARINGS

2. Town Wide - Demolition Regulations

Town Code Amendment Application A-19-007

Project Location: Town Wide

Applicant: Town of Los Gatos

Consider Amendments to Chapter 29 (Zoning Regulations) of the Town Code regarding demolition regulations.

Jennifer Armer, Senior Planner, presented the staff report.

Opened Public Comment.

Gary Kohlsaat

- He is encouraged by the Town's willingness to listen to professionals and modify the rules. He has gone up against this particular rule many times and it is frustrating. The City of Saratoga defines a wall by the framing, meaning if the house cannot be demolished the walls could be stripped off, making it easier to do several things. He encouraged the Commission to consider the Policy Committee's recommendation.

Closed Public Comment.

MOTION: **Motion by Commissioner Badame** to forward a recommendation of approval to Town Council for Town Code Amendment A-19-007 regarding demolition regulations. **Seconded by Vice Chair Hanssen.**

VOTE: **Motion passed unanimously.**

3. 400 Carlton Avenue

Architecture and Site Application S-19-032

APN 424-12-098

Applicant: Gary Kohlsaat

Property Owner: T&M Properties

Requesting approval of a modification to an approved Architecture and Site application for demolition of two existing medical office buildings and construction of a new medical office building on property zoned O.

Sean Mullin , Associate Planner, presented the staff report.

Opened Public Comment.

Gary Kohlsaat

- This building was approved in January 2018, however the cost overruns for the underground parking structure are too much for his client to bear so it has been eliminated and the project redesigned with on-grade parking with 26 parking spaces. They have

maintained the existing architectural style and this design is better overall than the first one. This project would be better for the site, the neighborhood, and his client.

Juliana Lockman

- Her major concern is parking in her neighborhood from multiple medical businesses and she is worried that with the elimination of the underground parking it could get worse. She is also concerned about safety with cars exiting the parking lot because of poor visibility.

Gary Kohlsaet

- Twelve parking spaces would be taken by staff and doctors, leaving 14 parking spaces for their patients, which should be adequate for their needs. The driveway entrance from Jo Drive is not on their property; it is parking for the building on the corner. The vacant space is open space for that project and is also not their property. They are concerned about adding landscaping screening along Jo Drive because they are close to the corner and have to be careful not to block visibility. Currently the striping and paint on the parking lot is worn off, but with the new building there would be new appropriate standards to help with traffic calming.

Closed Public Comment.

Commissioners discussed the matter.

MOTION: **Motion by Commissioner Burch** to approve an Architecture and Site Application with additional conditions for 400 Carlton Avenue. **Seconded by Commissioner Badame.**

VOTE: **Motion passed unanimously.**

OTHER BUSINESS

4. Report from the Director of Community Development

Joel Paulson, Director of Community Development

- Town Council met on September 3, 2019, but there were no Planning items.
- The General Plan Advisory Committee will meet on September 19, 2019 to discuss potential amendments to the existing General Plan regarding Highway 17.
- The Planning Commission meeting of September 25, 2019 has been cancelled.

SUBCOMMITTEE REPORTS/COMMISSION MATTERS

General Plan Advisory Committee

Commissioner Janoff

- GPAC has finished the land use input with the consultants. The next GPAC meeting is September 19, 2019.

ADJOURNMENT

The meeting adjourned at 8:12 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the September 11, 2019 meeting as approved by the Planning Commission.

Vicki Blandin



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 10/09/2019

ITEM NO: 2

DATE: October 2, 2019
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Architecture and Site Application S-17-047. Project Location: **16 Chestnut Avenue**. Property Owner: Kim Roper. Applicant/Appellant: Bess Wiersema, Studio 3 Design. Project Planner: Erin Walters.
Consider an appeal of a Development Review Committee decision approving a request for demolition of an existing pre-1941 single-family residence and construction of a new single-family residence on property zoned R-1:12. APN 510-40-012.

REMARKS:

The appellant and staff request that the item be continued to the December 11, 2019 meeting to provide additional time for the preparation and review of additional materials (Exhibit 21).

EXHIBITS:

Previously received with the July 10, 2019 Staff Report:

1. Location Map
2. Required Findings and Considerations (one page)
3. Recommended Conditions of Approval (13 pages)
4. Applicant's Scope of Work and Letter of Justification, received December 19, 2019 (14 pages)
5. Project Data Sheet, received April 10, 2019 (two pages)
6. June 27, 2018 Historic Preservation Committee Meeting Minutes (five pages)
7. Consulting Architect Report, received March 12, 2018 (four pages)
8. Applicant's Arborist Report regarding Live Oak (Tree #6), received February 12, 2019 (13 pages)
9. Applicant's Arborist Report, received February 12, 2019 (25 pages)

PREPARED BY: Erin Walters
Associate Planner

Reviewed by: Planning Manager, Community Development Director, and Town Attorney

PAGE 2 OF 2

SUBJECT: 16 Chestnut Avenue/S-17-047

DATE: October 2, 2019

EXHIBITS (continued):

10. Town's Consulting Arborist Peer Review, received March 7, 2019 (five pages)
11. Applicant's Arborist Response Letter, received April 10, 2019 (three pages)
12. Town's Consulting Arborist Peer Review Letter, received May 1, 2019 (one page)
13. Town Prepared Site Diagram Overlay (one page)
14. May 21, 2019 Development Review Committee meeting minutes (two pages)
15. Letters of Support from Neighbors, received December 19, 2018 and June 28, 2019 (seven pages)
16. Appellant's Letter, received May 31, 2019 (two pages)
17. Applicant's Supplemental Letter and Exhibits, received June 28, 2019 (22 pages)
18. Neighborhood Petition of Support, received June 28, 2019 (seven pages)
19. Project Information Sheet provided by the Parks and Public Works Department, received July 1, 2019 (three pages)
20. Development Plans received April 10, 2019 (27 pages)

Received with this Staff Report:

21. Appellant's request to continue, received September 10, 2019 (one page)



September 10, 2019

Town of Los Gatos
Planning Commission
110 E. Main Street
Los Gatos, CA 95030

RECEIVED
S-17-047
SEP 10 2019

TOWN OF LOS GATOS
PLANNING DIVISION

Re: 16 Chestnut Avenue
Architecture + Site Application S-17-047
APN 510-04-012
Applicant/Appellant: Bess Wiersema, Studio 3 Design
Property Owner: Kim Roper
Project Planner: Erin Walters

Dear Planning Commissioners:

On July 10, 2019, there was a motion to continue the public hearing for 16 Chestnut Ave to the meeting of October 9, 2019. We are writing to request more time to continue until a date certain. We are in the process of preparing traffic consultant for review by the Town.

Sincerely,

Bess Wiersema
Principal + Owner

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**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 10/09/2019

ITEM NO: 3

DATE: October 4, 2019

TO: Planning Commission

FROM: Joel Paulson, Community Development Director

SUBJECT: Architecture and Site Application S-18-050. Project Location: **56 Central Avenue**. Property Owner: Andrew and Ashley Bothman. Applicant: Rick Hartman, HOMETEC Architecture. Appellant: Leslie Morley. Project Planner: Jocelyn Shoopman.

Consider an appeal of a Development Review Committee decision approving a request for demolition of a dwelling, construction of a new single-family residence with reduced setbacks, and removal of large protected trees on property zoned R-1:10. APN 529-35-068.

RECOMMENDATION:

Deny the appeal and uphold the decision of the Development Review Committee (DRC) to approve the application, subject to the recommended conditions of approval.

PROJECT DATA:

General Plan Designation: Low Density Residential

Zoning Designation: R-1:10 - Single-Family Residential

Applicable Plans & Standards: General Plan, Residential Design Guidelines, and Hillside Development Standards and Guidelines

Parcel Size: 11,281 square feet

Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential	Low Density Residential	R-1:10
South	Residential	Low Density Residential	R-1:10
East	Residential	Low Density Residential	R-1:10
West	Residential	Low Density Residential	R-1:20

PREPARED BY: Jocelyn Shoopman
Associate Planner

Reviewed by: Planning Manager, Community Development Director, and Town Attorney

CEQA:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

FINDINGS:

- As required, pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, this project is Categorically Exempt, Section 15303: New Construction or Conversion of Small Structures.
- As required by Section 29.10.09030(e) of the Town Code for the demolition of existing structures.
- As required by Section 29.10.265(3) of the Town Code for granting a reduction in the setbacks for a nonconforming lot.
- As required by the Hillside Development Standards and Guidelines that other than a cut and fill exception, the project complies with the Hillside Development Standards and Guidelines.
- As required by the Residential Design Guidelines that the project complies with the Residential Design Guidelines.

CONSIDERATIONS:

- As required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject 11,281-square foot property is located on the west side of Central Avenue (Exhibit 1) and currently contains a dwelling unit, a gazebo, wood terraces, and retaining walls. The Town approved a Certificate of Compliance in 2013 to recognize three legal lots located at 60 Central Avenue. As part of the approval, a condition required that a deed restriction be recorded on two of the lots, lots 59 and 60 (60 Central Avenue), prohibiting the recording of a Certificate of Compliance on the two lots until any structures which cross lot lines have been removed, or an Architecture and Site approval for the demolition of the existing dwelling and construction of a new single-family residence has been obtained. As of today, neither actions have been taken and a Certificate of Compliance has not been recorded on lots 59 and 60 (60 Central Avenue). A deed restriction was not required, and therefore, the Certificate of Compliance has been recorded on the subject property, lot 61 (56 Central Avenue).

BACKGROUND (continued):

On September 4, 2018, the applicant submitted an Architecture and Site application for the demolition of an existing dwelling, construction of a new 2,665-square foot two-story residence with 1,590 square feet of below grade square footage, a 717-square foot attached garage, and removal of large protected trees.

The proposed project meets all technical requirements of the Town Code including parking, height, floor area, and building coverage with the exception of the required side setbacks. The lot is nonconforming with regards to frontage and the applicant is requesting modification of the required side setbacks through the terms of the Architecture and Site application.

On August 13, 2019, the DRC approved the Architecture and Site Application with additional conditions to address privacy concerns from the adjacent neighbor as detailed in the Discussion section of this report.

On August 23, 2019, the decision of the DRC was appealed to the Planning Commission by the adjacent neighbor (appellant), due to concerns regarding the proposed setbacks and privacy (Exhibit 13).

PROJECT DESCRIPTION:

A. Architecture and Site Application

Architecture and Site application approval is required to construct a new single-family residence and to modify the required side setbacks.

B. Location and Surrounding Neighborhood

The subject site is located on the west side of Central Avenue (Exhibit 1). The surrounding properties are one-and two-story single-family residences, with a mix of architectural styles.

C. Zoning Compliance

The property is zoned R-1:10, which permits a single-family residence. The property is located within the Hillside Overlay Area and is subject to the Hillside Development Standards and Guidelines (HDS&G), in addition to the Residential Design Guidelines. The proposed residence is in compliance with parking, height, floor area, and building coverage requirements.

DISCUSSION:

A. Architecture and Site Application

The applicant is proposing to construct a new two-story single-family residence with 2,665 square feet of living floor area, 1,590 square feet of below grade square footage, and a 717-square foot attached garage. The maximum height of the proposed residence is 25 feet, where a maximum of 25 feet is allowed.

Pursuant to Section 29.10.265 (3) of the Town Code, any rule of the zone including front, side, and rear yard requirements, may be modified by the terms of an Architecture and Site approval so that the building and its use will be compatible with the neighborhood.

The existing lot is nonconforming with regards to the frontage. Where the minimum required frontage is 80 feet, the existing frontage is 50 feet. Where the required side setbacks are 10 feet, the applicant is proposing five feet. The lot is narrow with an average slope of 18 and one-half percent and abuts a corridor lot with a twenty-foot wide driveway on the north side. There are multiple existing homes within the immediate area with reduced side setbacks. Two homes in the immediate neighborhood have reduced side setbacks: 67 Central Avenue has a side setback from the fence of four feet per the Letter of Justification, and 64 Central Avenue has a side setback of four feet, eight inches per Town records (Exhibit 6). Two other homes just outside the immediate neighborhood have reduced side setbacks per Town records: 70 Central Avenue has a side setback of five feet, and 71 Central Avenue has a side setback of three feet, six inches (Exhibit 6).

The development plans show a future accessory dwelling unit (ADU) that is proposed on the second story of the residence above the garage (Exhibit 15). The ADU is not a part of the Architecture and Site approval and would require a future submittal for a separate ministerial permit for approval by the Community Development Director. A new ADU on the property would be subject to the requirements contained in Section 29.10.320 of the Town Code. Project information, including the proposed square footage of the home is not inclusive of a future ADU.

The applicant's project description is attached as Exhibit 5. The project data sheet is attached as Exhibit 4 and includes additional information regarding the proposed project.

B. Building Design

The Town's Consulting Architect reviewed the proposed project within the neighborhood context to provide recommendations regarding the building design (Exhibit 8). The site is in a neighborhood of one- and two-story homes, with a mixture of architectural styles on deep lots. In the Issues and Concerns background section of the report, the Consulting Architect

DISCUSSION (continued):

discussed the second-floor building mass and projecting garage. In the Recommendations section of the report, the Consulting Architect made the following recommendations to address consistency with the Residential Design Guidelines:

1. Shift the second-floor building mass and entry roof away from the right side first floor building line;
2. Eliminate the projecting garage element in favor of a simpler form; and
3. Provide a deep inset for the garage doors.

The applicant revised the project to incorporate each of the recommendations prior to DRC approval.

C. Neighborhood Compatibility

The immediate neighborhood is made up of one- and two-story single-family residences, including a mix of architectural styles. Based on Town and County records, the residences in the immediate neighborhood range in size from 1,746 square feet to 3,127 square feet. The floor area ratios (FAR) range from 0.11 to 0.33. The table below reflects the current conditions of the immediate neighborhood:

Neighborhood Analysis						
Address	Floor Area	Garage Floor Area	Gross Lot Area	FAR	Stories	Zoning
67 Central	1,746	0	11,250	0.16	1	R-1:10
61 Central	2,284	0	11,250	0.20	1	R-1:10
64 Central	2,044	240	7,350	0.28	1	R-1:10
60 Central	2,289	285	16,957	0.13	2	R-1:10
50 Central	1,792	484	6,000	0.30	1	R-1:10
44 Central	1,200	0	11,280	0.11	1	R-1:10
57 Central	3,127	495	15,000	0.21	1	R-1:10
51 Central	2,474	441	7,500	0.33	2	R-1:10
56 Central (Ex)	1,188	0	11,281	0.11	1	R-1:10
56 Central (P)	2,665	717	11,281	0.21	2	R-1:10

The proposed residence would not be the largest home in the immediate neighborhood in terms of square footage or FAR.

DISCUSSION (continued):

D. Tree Impacts

The project site contains 13 protected trees, with seven protected trees growing on the property boundary or adjacent to the property. The applicant is proposing to remove eight trees, two of which are large protected trees (Trees 526 and 527).

The Town's Consulting Arborist prepared a report for the site and recommendations for the project (Exhibit 9). The Consulting Arborist recommends removal of each of the eight trees due to their suitability for conservation with the proposed project. Of the proposed eight tree removals, two trees are considered to be large protected trees (Trees 526 and 527), which are in fair condition and will be highly impacted by the proposed project. A tree in fair condition has reduced vigor, damage, dieback, or pest problems, at least one significant structural problem, or multiple moderate defects requiring treatment (Exhibit 9).

The Consulting Arborist observed that Tree 521, a Palm tree which is proposed for removal, contained nesting owls. As a result, a focused survey of the Palm tree by a qualified biologist was completed. As part of the inspection, no owl eggs, nestlings, nor any other signs of an active owl nest were observed; however, it appeared that a barn owl had recently roosted in the tree (Exhibit 10). In response to this observation, the dead Palm tree fronds were removed to minimize the potential for barn owls to establish a nest in the Palm tree prior to tree removal. A condition of approval requires a qualified biologist to conduct a pre-construction survey for nesting birds prior to tree removal during nesting season (Exhibit 10).

If the project is approved, tree protection measures would be implemented prior to and during construction. Replacement trees would also be required to be planted pursuant to the Town Code.

E. Development Review Committee

The DRC held a public hearing for the Architecture and Site application on July 30, 2019 (Exhibit 11). Written public hearing notices were sent to surrounding property owners and occupants within 500 feet of the subject property.

The following neighbors were in attendance and spoke on the item:

- Lesley Morley – 60 Central Avenue (Appellant)
- Susan Branch – 7 Central Court

DISCUSSION (continued):

The neighbors raised concerns regarding the proposed setbacks, tree removals, privacy, height, and a loss of views (Exhibit 11).

The DRC continued the item to the August 13, 2019 meeting to allow the applicant time to work with the neighbors to further address the concerns raised at the meeting.

On August 13, 2019, the DRC held a public hearing for the Architecture and Site application. With additional conditions of approval addressing privacy concerns (Exhibit 3, Conditions 4 through 6), the DRC found that the application was complete and in compliance with the Town Code, Residential Design Guidelines, and HDS&G other than a cut and fill exception for a portion of the rear yard area. Based on the justification prepared by the applicant for the exception requests (Exhibit 7) and per the development plans, the DRC was able make findings to approve the cut and fill exception requests. Based on these findings and determinations, the DRC approved the proposed project, subject to the recommended conditions of approval.

GRADING EXCEPTIONS		
Cut exception to decks/yards	Maximum cut:	4 feet
	Proposed cut:	8 feet, 5 inches
Fill exception to decks/yards	Maximum fill:	3 feet
	Proposed fill:	5 feet

F. Appeal

On August 23, 2019, the decision of the DRC was appealed to the Planning Commission by the adjacent neighbor, Leslie Morley (Exhibit 13). The applicant submitted a response letter to the appeal (Exhibit 14). The specific reasons for the appeal are summarized below, followed by analysis in *italic* font.

“The designed residence is too close to the existing house at 60 Central Avenue. I believe that there are no other properties, except 60 Central Avenue, that have setbacks of five feet or less on Central Avenue on both sides.”

The existing lot is nonconforming with regards to the frontage. The minimum required frontage is 80 feet, whereas, the existing frontage is 50 feet. Where the required side setbacks are 10 feet, the applicant is proposing five feet. The lot is narrow with an average slope of 18 and one-half percent and abuts a corridor lot with a twenty-foot wide driveway on the north side. There are multiple existing homes within the immediate area with reduced side setbacks (Exhibit 6).

DISCUSSION (continued):

“The top of the first floor is seven feet above the master bedroom balcony of my home due to their elevation difference, basement, and ceiling heights. Their house will block my view and morning sun. The building at one point will be three feet from the closest edge of my balcony. It will make my bedroom dark and I will lose privacy for the balcony.”

The development plans include a shadow study (Exhibit 15, Sheet A-10). The DRC approved the Architecture and Site application with additional conditions, including clerestory windows, balcony screening, and landscape screening, to address privacy concerns from the adjacent neighbor.

G. CEQA Determination

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

PUBLIC COMMENTS:

Public comments received between 10:00 a.m., Tuesday, August 13, 2019, and 11:00 a.m., Friday, October 4, 2019, are included as Exhibit 16.

Story poles and project sign including the hearing date, contact information, project description, and front elevation, were installed on the site; and the written notice of the DRC public hearing was sent to neighboring property owners and occupants. Following the appeal, written notice of the Planning Commission hearing has been sent to neighboring property owners and occupants, the story poles have remained in place, and the project sign has been updated to reflect the appeal hearing before Planning Commission.

CONCLUSION:

A. Conclusion

The proposed project is in compliance with the Town Code, Residential Design Guidelines, and the HDS&G other than a cut and fill exception. The applicant revised the project and agreed to additional conditions to address the concerns of the adjacent neighbor prior to DRC approval.

B. Recommendation

Staff recommends that the Planning Commission take the following actions to deny the appeal, uphold the decision of the DRC, and approve the Architecture and Site application:

1. Find that the proposed project is categorically exempt pursuant to the adopted Guidelines for the implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures (Exhibit 2);
2. Make the required findings as required by Section 29.10.09030(e) of the Town Code for granting approval of the demolition of existing structures (Exhibit 2);
3. Make the finding that the reduced setbacks on a nonconforming lot are appropriate as required by Section 29.10.265(3) of the Town Code (Exhibit 2);
4. Make the finding that a cut and fill exception is appropriate and the project is otherwise in compliance with the Hillside Development Standards and Guidelines (Exhibit 2);
5. Make the finding required by the Town's Residential Design Guidelines that the project complies with the Residential Design Guidelines (Exhibit 2);
6. Make the required considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 2); and
7. Approve Architecture and Site application S-18-050 with the conditions contained in Exhibit 3 and development plans attached as Exhibit 15.

C. Alternatives

Alternatively, the Commission can:

1. Continue the matter to a date certain with specific direction;
2. Deny the appeal and approve the application with additional and/or modified conditions;
3. Grant the appeal and remand the application to the DRC with direction for revisions; or
4. Grant the appeal and deny the Architecture and Site application.

EXHIBITS:

1. Location Map
2. Required Findings and Considerations (two pages)
3. Recommended Conditions of Approval (14 pages)
4. Project data sheet (two pages)
5. Project description, received July 11, 2019 (three pages)
6. Letter of justification for reduced setbacks, received August 12, 2019 (eight pages)
7. Letter of justification for exceptions to HDS&G, received May 3, 2019 (one page)
8. Consulting Architect Report, dated November 5, 2018 (seven pages)
9. Consulting Arborist Report, dated October 11, 2018 (36 pages)

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SUBJECT: 56 Central Avenue/S-18-050

DATE: October 4, 2019

EXHIBITS (continued):

10. Applicant's Biologist Report, received January 23, 2019 (two pages)
11. July 30, 2019 Development Review Committee meeting minutes (three pages)
12. August 13, 2019 Development Review Committee meeting minutes (three pages)
13. Appeal of Development Review Committee received August 23, 2019 (two pages)
14. Applicant's response letter to appeal, received September 9, 2019 (five pages)
15. Development plans, received September 5, 2019 (18 sheets)
16. Additional letter from the appellant, received October 4, 2019 (two pages)
17. Public comments received between 10:00 a.m., Tuesday, August 13, 2019, and 11:00 a.m., Friday, October 4, 2019

56 Central Avenue

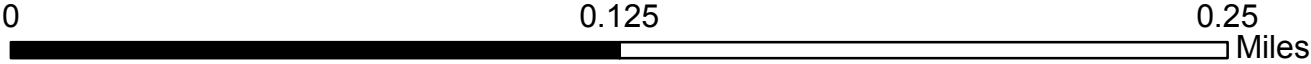
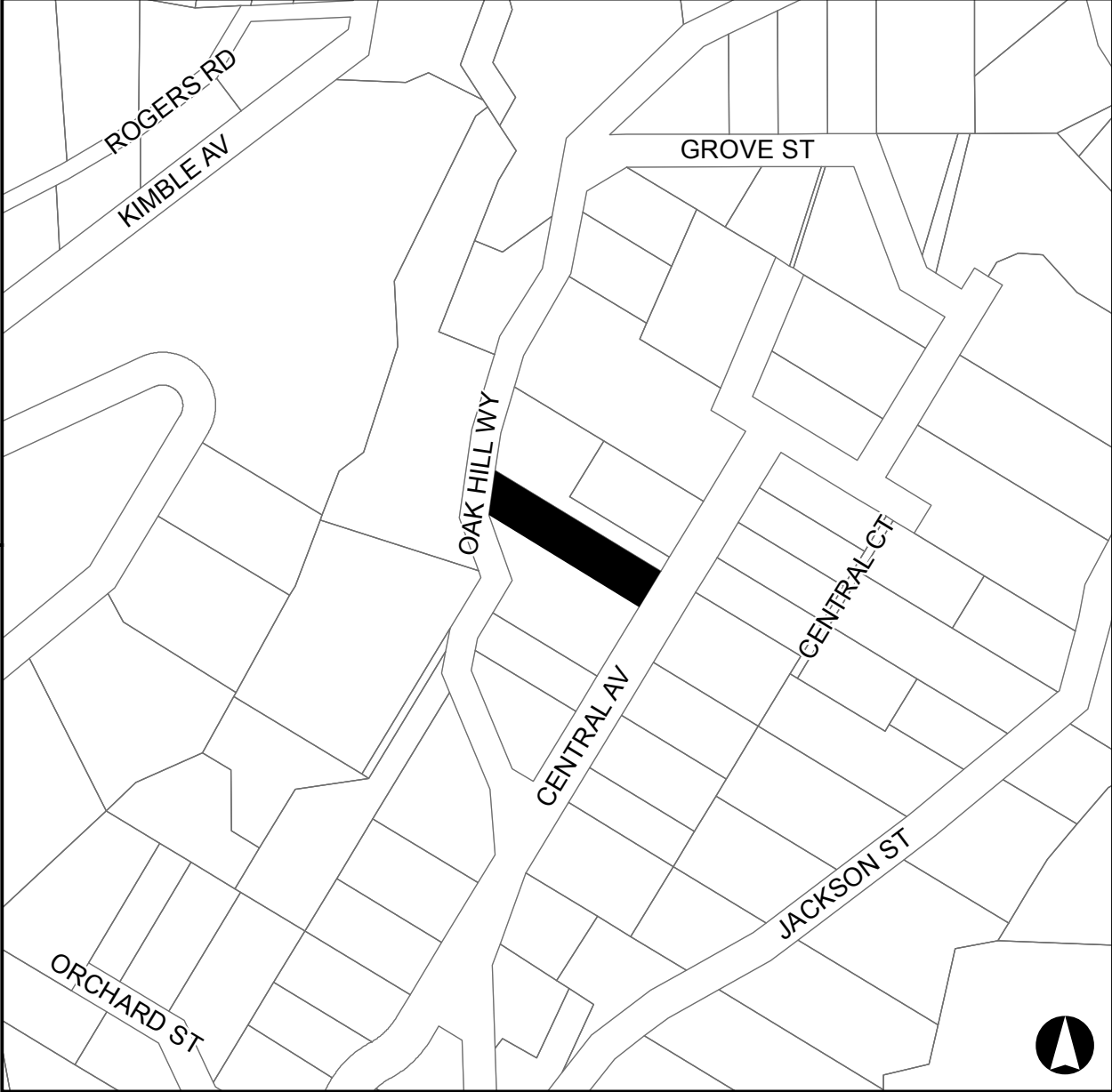


EXHIBIT 1

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**PLANNING COMMISSION – October 9, 2019
REQUIRED FINDINGS & CONSIDERATIONS FOR:**

**56 Central Avenue
Architecture and Site Application S-18-050**

Consider an appeal of a Development Review Committee decision approving a request for demolition of an existing dwelling, construction of a new single-family residence with reduced setbacks, and removal of large protected trees on property zoned R-1:10. APN 529-35-068.

PROPERTY OWNER: Andrew and Ashley Bothman

APPLICANT: Richard Hartman

FINDINGS

Required finding for CEQA:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

Required finding for the demolition of a dwelling:

- As required by Section 29.10.09030(e) of the Town Code for the demolition of existing structures:
 1. The Town's housing stock will be maintained as the dwelling will be replaced.
 2. The existing structures have no architectural or historical significance, and are in poor condition.
 3. The property owner does not desire to maintain the structures as they exist; and
 4. The economic utility of the structures was not considered.

Required finding for reduced setbacks on a nonconforming lot:

- As required by Section 29.10.265(3) of the Town Code for modification of zoning rules on nonconforming lots, including setback requirements:
 1. The subject property is nonconforming with regard to the frontage being 50 feet in a zone where 80 feet is required.
 2. The new single-family residence will be compatible with the neighborhood.

Compliance with Hillside Development Standards & Guidelines:

- An exception to allow cut greater than four feet and fill greater than three feet at the rear of the property is supported by the fact that the existing grade of the site has been modified by wood terraces, retaining walls, and stairs. The project is otherwise in compliance with the Hillside Development Standards and Guidelines.

Required Compliance with the Residential Design Guidelines:

- The project is in compliance with the Town's Residential Design Guidelines.

CONSIDERATIONS

Required considerations in review of Architecture & Site applications:

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.

PLANNING COMMISSION – October 9, 2019
CONDITIONS OF APPROVAL

56 Central Avenue
Architecture and Site Application S-18-050

Consider an appeal of a Development Review Committee decision approving a request for demolition of a dwelling, construction of a new single-family residence with reduced setbacks, and removal of large protected trees on property zoned R-1:10. APN 529-35-068.

PROPERTY OWNER: Andrew and Ashley Bothman

APPLICANT: Richard Hartman

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Planning Division

1. APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC or the Planning Commission depending on the scope of the changes.
2. EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
3. OUTDOOR LIGHTING: Exterior lighting shall be kept to a minimum and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
4. WINDOWS: The windows along the southern elevation in the master bedroom, master bathroom, and bedroom #2 shall be clerestory.
5. BALCONY: The balcony off the master bedroom, adjacent to the southern property line shall be screened by a wall and/or with vegetation that shall not exceed six feet in height.
6. LANDSCAPE SCREENING: The applicant shall meet with the neighbor located at 60 Central Avenue to select the tree species to be planted along the southern property line in order to achieve privacy between the properties. A minimum of six, 15-gallon sized trees shall be planted. The installation of the landscape screening shall be completed prior to occupancy.
7. DEED RESTRICTION: Prior to the issuance of a building permit, a deed restriction shall be recorded by the applicant with the Santa Clara County Recorder's Office that requires all exterior materials to be maintained in conformance with the Town's Hillside Development Standards and Guidelines.
8. BIOLOGICAL SURVEY: The project developer shall retain a qualified biologist to conduct a pre-construction survey for nesting birds in Tree #521. This survey shall be conducted no more than two weeks prior to the initiation of construction activities and/or tree removal. A report documenting survey results and plan for active bird nest avoidance (if needed) shall be completed by the qualified biologist and submitted to the Town of Los Gatos for approval prior to initiation of construction activities. If no active bird nests are detected

during the survey, then construction activities and/or tree removal can proceed as scheduled. However, if an active bird nest of a native species is detected during the survey, then a plan for active bird nest avoidance shall be prepared by a qualified biologist to determine and clearly delineate a temporary protective buffer area around each active nest, with buffer area size depending on the nesting bird species, existing site conditions, and type of proposed construction activities.

9. TREE REMOVAL PERMIT: A Tree Removal Permit shall be obtained for any protected trees to be removed, prior to the issuance of a building or grading permit.
10. EXISTING TREES: All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan and must remain on the site.
11. TREE PROTECTION: Protective tree fencing, and other protection measures shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans incorporating the requirements of Section 29.10.1005 of the Town Code.
12. TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties.
13. REPLACEMENT TREES: New trees shall be planted to mitigate the loss of trees being removed. The number of trees and size of replacement trees shall be determined using the canopy replacement table in the Town Code. Town Code requires a minimum 24-inch box size replacement tree. New trees shall be double staked with rubber ties and shall be planted prior to final inspection and issuance of occupancy permits.
14. FRONT YARD LANDSCAPE: Prior to issuance of a Certificate of Occupancy the front yard must be landscaped.
15. WATER EFFICIENCY LANDSCAPE ORDINANCE: The final landscape plan shall meet the requirements of the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. Submittal of a Landscape Documentation Package pursuant to WELO is required prior to issuance of a building permit. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review. A completed WELO Certificate of Completion is required prior to final inspection/certificate of occupancy.
16. STORY POLES: The story poles on the project site shall be removed within 30 days of approval of the Architecture & Site application.
17. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement from the Town shall defend, indemnify, and hold harmless the Town and its officials in any action brought by a third party to overturn, set aside, or void the permit or entitlement. This requirement is a condition of approval of all such permits and entitlements whether or not expressly set forth in the approval and may be secured to the satisfaction of the Town Attorney.
18. COMPLIANCE MEMORANDUM: A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.

Building Division

19. PERMITS REQUIRED: A Building Permit is required for the renovation and addition of the existing single-family residence.

20. PERMITS REQUIRED: A Demolition Permit is required for the demolition of the existing guest cottage, gazebo and storage shed. A separate Building Permit is required for the construction of the new single-family residence and attached garage.
21. APPLICABLE CODES: The current codes, as amended and adopted by the Town of Los Gatos as of January 1, 2017, are the 2016 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12.
22. CONDITIONS OF APPROVAL: The Conditions of Approval must be blue-lined in full on the cover sheet of the construction plans. A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.
23. BUILDING & SUITE NUMBERS: Submit requests for new building addresses to the Building Division prior to submitting for the building permit application process.
24. SIZE OF PLANS: Submit four sets of construction plans, minimum size 24" x 36", maximum size 30" x 42".
25. REQUIREMENTS FOR COMPLETE DEMOLITION OF STRUCTURE: Obtain a Building Department Demolition Application and a Bay Area Air Quality Management District Application from the Building Department Service Counter. Once the demolition form has been completed, all signatures obtained, and written verification from PG&E that all utilities have been disconnected, return the completed form to the Building Department Service Counter with the Air District's J# Certificate, PG&E verification, and three (3) sets of site plans showing all existing structures, existing utility service lines such as water, sewer, and PG&E. No demolition work shall be done without first obtaining a permit from the Town.
26. SOILS REPORT: A Soils Report, prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations, shall be submitted with the Building Permit Application. This report shall be prepared by a licensed Civil Engineer specializing in soils mechanics.
27. SHORING: Shoring plans and calculations will be required for all excavations which exceed five (5) feet in depth or which remove lateral support from any existing building, adjacent property, or the public right-of-way. Shoring plans and calculations shall be prepared by a California licensed engineer and shall conform to the Cal/OSHA regulations.
28. FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at foundation inspection. This certificate shall certify compliance with the recommendations as specified in the Soils Report, and that the building pad elevations and on-site retaining wall locations and elevations have been prepared according to the approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items:
 - a. Building pad elevation
 - b. Finish floor elevation
 - c. Foundation corner locations
 - d. Retaining wall(s) locations and elevations
29. TITLE 24 ENERGY COMPLIANCE: All required California Title 24 Energy Compliance Forms must be blue-lined (sticky-backed), i.e. directly printed, onto a plan sheet.

30. TOWN RESIDENTIAL ACCESSIBILITY STANDARDS: New residential units shall be designed with adaptability features for single-family residences per Town Resolution 1994-61:
 - a. Wood backing (2" x 8" minimum) shall be provided in all bathroom walls, at water closets, showers, and bathtubs, located 34 inches from the floor to the center of the backing, suitable for the installation of grab bars if needed in the future.
 - b. All passage doors shall be at least 32 inch doors on the accessible floor level.
 - c. The primary entrance door shall be a 36 inch wide door including a 5'x 5' level landing, no more than 1 inch out of plane with the immediate interior floor level and with an 18 inch clearance at interior strike edge.
 - d. A door buzzer, bell or chime shall be hard wired at primary entrance.
31. BACKWATER VALVE: The scope of this project may require the installation of a sanitary sewer backwater valve per Town Ordinance 6.50.025. Please provide information on the plans if a backwater valve is required and the location of the installation. The Town of Los Gatos Ordinance and West Valley Sanitation District (WVSD) requires backwater valves on drainage piping serving fixtures that have flood level rims less than 12 inches above the elevation of the next upstream manhole.
32. TOWN FIREPLACE STANDARDS: New wood burning fireplaces shall be an EPA Phase II approved appliance or gas appliance per Town Ordinance 1905. Tree limbs shall be cut within 10 feet of chimneys.
33. HAZARDOUS FIRE ZONE: All projects in the Town of Los Gatos require Class A roof assemblies.
34. WILDLAND-URBAN INTERFACE: This project is located in a Wildland-Urban Interface High Fire Area and must comply with Section R337 of the 2016 California Residential Code, Public Resources Code 4291 and California Government Code Section 51182.
35. PROVIDE DEFENSIBLE SPACE/FIRE BREAK LANDSCAPING PLAN: Prepared by a California licensed Landscape Architect in conformance with California Public Resources Code 4291 and California Government Code Section 51182.
36. PRIOR TO FINAL INSPECTION: Provide a letter from a California licensed Landscape Architect certifying the landscaping and vegetation clearance requirements have been completed per the California Public Resources Code 4291 and Government Code Section 51182.
37. SPECIAL INSPECTIONS: When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested parties prior to permit issuance. Special Inspection forms are available from the Building Division Service Counter or online at www.logatosca.gov/building.
38. BLUE PRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available at the Building Division Service Counter for a fee of \$2 or at ARC Blue Print for a fee or online at www.logatosca.gov/building.
39. APPROVALS REQUIRED: The project requires the following departments and agencies approval before issuing a building permit:
 - a. Community Development – Planning Division: (408) 354-6874

- b. Engineering/Parks & Public Works Department: (408) 399-5771
- c. Santa Clara County Fire Department: (408) 378-4010
- d. West Valley Sanitation District: (408) 378-2407
- e. Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS & PUBLIC WORKS:

Engineering Division

- 40. GENERAL: All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner, Applicant and/or Developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner, Applicant and/or Developer's expense.
- 41. APPROVAL: This application shall be completed in accordance with all the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
- 42. ENCROACHMENT PERMIT: All work in the public right-of-way will require a Construction Encroachment Permit. All work over \$5,000 will require construction security. It is the responsibility of the Owner/Applicant/Developer to obtain any necessary encroachment permits from affected agencies and private parties, including but not limited to, Pacific Gas and Electric (PG&E), AT&T, Comcast, Santa Clara Valley Water District, California Department of Transportation (Caltrans). Copies of any approvals or permits must be submitted to the Town Engineering Division of the Parks and Public Works Department prior to releasing any permit.
- 43. PRIVATE IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY (INDEMNITY AGREEMENT): The property owner shall enter into an agreement with the Town for all existing and proposed private improvements within the Town's right-of-way. The Owner shall be solely responsible for maintaining the improvements in a good and safe condition at all times and shall indemnify the Town of Los Gatos. The agreement must be completed and accepted by the Director of Parks and Public Works, and subsequently recorded by the Town Clerk at the Santa Clara County Office of the Clerk-Recorder, prior to the issuance of any grading or building permits. Please note that this process may take approximately six to eight (6-8) weeks.
- 44. PUBLIC WORKS INSPECTIONS: The Owner, Applicant and/or Developer or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in

the Town's right-of-way. Failure to do so will result in penalties and rejection of any work that occurred without inspection.

45. RESTORATION OF PUBLIC IMPROVEMENTS: The Owner, Applicant and/or Developer or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner, Applicant and/or Developer or their representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be completed before the issuance of a certificate of occupancy. The Owner, Applicant and/or Developer or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
46. SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.
47. STREET/SIDEWALK CLOSURE: Any proposed blockage or partial closure of the street and/or sidewalk requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
48. PLAN CHECK FEES: Plan check fees associated with the Grading Permit shall be deposited with the Engineering Division of the Parks and Public Works Department prior to the commencement of plan check review.
49. INSPECTION FEES: Inspection fees shall be deposited with the Town prior to the issuance of any grading or building permits.
50. DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner, Applicant and/or Developer's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
51. GRADING PERMIT: A grading permit is required for all site grading and drainage work except for exemptions listed in Section 12.20.015 of The Code of the Town of Los Gatos (Grading Ordinance). After the preceding Architecture and Site Application has been approved by the respective deciding body, the grading permit application (with grading plans and associated required materials and plan check fees) shall be made to the Engineering Division of the Parks and Public Works Department located at 41 Miles Avenue. The grading plans shall include final grading, drainage, retaining wall location(s), driveway, utilities and interim erosion control. Grading plans shall list earthwork quantities and a table of existing and proposed impervious areas. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). Prior to Engineering signing off

and closing out on the issued grading permit, the Owner/Applicant/Developer's soils engineer shall verify, with a stamped and signed letter, that the grading activities were completed per plans and per the requirements as noted in the soils report. A separate building permit, issued by the Building Department, located at 110 E. Main Street, is needed for grading within the building footprint.

52. GRADING ACTIVITY RESTRICTIONS Upon receipt of a grading permit, any and all grading activities and operations shall not commence until after/occur during the rainy season, as defined by Town Code of the Town of Los Gatos, Sec. 12.10.020, (October 15-April 15), has ended.
53. COMPLIANCE WITH HILLSIDE DEVELOPMENT STANDARDS AND GUIDELINES: All grading activities and operations shall be in compliance with Section III of the Town's Hillside Development Standards and Guidelines. All development shall be in compliance with Section II of the Town's Hillside Development Standards and Guidelines.
54. DRIVEWAY: The driveway conform to existing pavement on Central Avenue shall be constructed in a manner such that the existing drainage patterns will not be obstructed.
55. TREE REMOVAL: Copies of all necessary tree removal permits shall be provided prior to the issuance of a grading permit/building permit.
56. SURVEYING CONTROLS: Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items:
 - a. Retaining wall: top of wall elevations and locations.
 - b. Toe and top of cut and fill slopes.
57. PRECONSTRUCTION MEETING: Prior to issuance of any grading or building permits or the commencement of any site work, the general contractor shall:
 - a. Along with the Owner, Applicant and/or Developer, attend a pre-construction meeting with the Town Engineer and/or Town Engineering Inspector to discuss the project conditions of approval, working hours, site maintenance and other construction matters;
 - b. Acknowledge in writing that they have read and understand the project conditions of approval and will make certain that all project sub-contractors have read and understand them as well prior to commencing any work, and that a copy of the project conditions of approval will be posted on-site at all times during construction.
58. RETAINING WALLS: A building permit, issued by the Building Department, located at 110 E. Main Street, may be required for site retaining walls. Walls are not reviewed or approved by the Engineering Division of Parks and Public Works during the grading permit plan review process.
59. PROXIMITY OF RETAINING WALLS TO ADJACENT BUILDINGS: Prior to the issuance of a grading or building permit, structural details for the proposed retaining walls located immediately adjacent to or in the immediate vicinity of existing buildings on adjoining lots shall be submitted confirming that said walls will not negatively affect the structural integrity of these buildings.
60. SOILS REVIEW: Prior to Town approval of a development application, the Owner, Applicant and/or Developer's engineers shall prepare and submit a design-level geotechnical and geological investigation for review by the Town's consultant, with costs borne by the

Owner, Applicant and/or Developer, and subsequent approval by the Town. The Owner, Applicant and/or Developer's soils engineer shall review the final grading and drainage plans to ensure that designs for foundations, retaining walls, site grading, and site drainage are in accordance with their recommendations and the peer review comments. Approval of the Owner, Applicant and/or Developer's soils engineer shall then be conveyed to the Town either by submitting a Plan Review Letter prior to issuance of grading or building permit(s).

61. SOILS ENGINEER CONSTRUCTION OBSERVATION: During construction, all excavations and grading shall be inspected by the Owner, Applicant and/or Developer's soils engineer prior to placement of concrete and/or backfill so they can verify that the actual conditions are as anticipated in the design-level geotechnical report and recommend appropriate changes in the recommendations contained in the report, if necessary. The results of the construction observation and testing shall be documented in an "as-built" letter/report prepared by the Owner, Applicant and/or Developer's soils engineer and submitted to the Town before a certificate of occupancy is granted.
62. SOIL RECOMMENDATIONS: The project shall incorporate the geotechnical/geological recommendations contained in the Geotechnical Investigation by Wayne Ting & Associates, Inc, dated June 6, 2018, and any subsequently required report or addendum. Subsequent reports or addendum are subject to peer review by the Town's consultant and costs shall be borne by the Owner, Applicant and/or Developer.
63. WATER METER: The existing water meter shall be relocated within the property in question, directly behind the public right-of-way line. The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
64. SANITARY SEWER CLEANOUT: The existing sanitary sewer cleanout shall be relocated within the property in question, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town. The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
65. CERTIFICATE OF OCCUPANCY: The Engineering Division of the Parks and Public Works Department will not sign off on a Temporary Certificate of Occupancy or a Final Certificate of Occupancy until all required improvements within the Town's right-of-way have been completed and approved by the Town.
66. UTILITIES: The Owner, Applicant and/or Developer shall install all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines underground, as required by Town Code Section 27.50.015(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television service. The Owner, Applicant and/or Developer is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.
67. UTILITY SETBACKS: House foundations shall be set back from utility lines a sufficient distance to allow excavation of the utility without undermining the house foundation. The

Town Engineer shall determine the appropriate setback based on the depth of the utility, input from the project soils engineer, and the type of foundation.

68. TRENCHING: Trenching within a newly paved street will be allowed subject to the following requirements:
- a. The Town standard "T" trench detail shall be used.
 - b. A Town-approved colored controlled density backfill shall be used.
 - c. All necessary utility trenches and related pavement cuts shall be consolidated to minimize the impacted area of the roadway.
 - d. The total asphalt thickness shall be a minimum of three (3) inches, meet Town standards, or shall match the existing thickness, whichever is greater. The final lift shall be 1.5-inches of one-half ($\frac{1}{2}$) inch medium asphalt. The initial lift(s) shall be of three-quarter ($\frac{3}{4}$) inch medium asphalt.
 - e. The Contractor shall schedule a pre-paving meeting with the Town Engineering Construction Inspector the day the paving is to take place.
 - f. A slurry seal topping may be required by the construction inspector depending their assessment of the quality of the trench paving. If required, the slurry seal shall extend the full width of the street and shall extend five (5) feet beyond the longitudinal limits of trenching. Slurry seal materials shall be approved by the Town Engineering Construction Inspector prior to placement. Black sand may be required in the slurry mix. All existing striping and pavement markings shall be replaced upon completion of slurry seal operations. All pavement restorations shall be completed and approved by the Inspector before occupancy.
69. SIDEWALK REPAIR: The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any sidewalk damaged now or during construction of this project. All new and existing adjacent infrastructure must meet current ADA standards. Sidewalk repair shall match existing color, texture and design, and shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of sidewalk repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
70. CURB AND GUTTER REPAIR: The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any curb and gutter damaged now or during construction of this project. All new and existing adjacent infrastructure must meet Town standards. New curb and gutter shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of curb and gutter repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
71. FENCING: Any fencing proposed within two hundred (200) feet of an intersection shall comply with Town Code Section §23.10.080.

72. SIGHT TRIANGLE AND TRAFFIC VIEW AREA: Any proposed improvements, including but not limiting to trees and hedges, will need to abide by Town Code Sections 23.10.080, 26.10.065, and 29.40.030.
73. FENCES: Fences between all adjacent parcels will need to be located on the property lines/boundary lines. Any existing fences that encroach into the neighbor's property will need to be removed and replaced to the correct location of the boundary lines before a Certificate of Occupancy for any new building can be issued. Waiver of this condition will require signed and notarized letters from all affected neighbors.
74. CONSTRUCTION VEHICLE PARKING: Construction vehicle parking within the public right-of-way will only be allowed if it does not cause access or safety problems as determined by the Town.
75. TRAFFIC CONTROL PLAN: A traffic control plan is required and must be submitted and approved by the Town Engineer prior to the issuance of an encroachment, grading or building permit. This plan shall include, but not be limited to, the following measures:
- a. Construction activities shall be strategically timed and coordinated to minimize traffic disruption for schools, residents, businesses, special events, and other projects in the area. The schools located on the haul route shall be contacted to help with the coordination of the trucking operation to minimize traffic disruption.
 - b. Flag persons shall be placed at locations necessary to control one-way traffic flow. All flag persons shall have the capability of communicating with each other to coordinate the operation.
 - c. Prior to construction, advance notification of all affected residents and emergency services shall be made regarding one-way operation, specifying dates and hours of operation.
76. CONSTRUCTION TRAFFIC CONTROL: All construction traffic and related vehicular routes, traffic control plan, and applicable pedestrian or traffic detour plans shall be submitted for review and approval by the Town Engineer prior to the issuance of an encroachment, grading or building permit.
77. ADVANCE NOTIFICATION: Advance notification of all affected residents and emergency services shall be made regarding parking restriction, lane closure or road closure, with specification of dates and hours of operation.
78. HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of a grading or building permit, the Owner and/or Applicant or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include, but is not limited to provisions for the Owner and/or Applicant to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.
79. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays, construction, alteration or repair activities shall

be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.

80. CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any grading or building permits, the Owner and/or Applicant's design consultant shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Earth Movement Plan, Traffic Control Plan, Project Schedule, site security fencing, employee parking, construction staging area, materials storage area(s), concrete washout(s) and proposed outhouse locations. Please refer to the Town's [Construction Management Plan Guidelines](#) document for additional information.
81. SANITARY SEWER BACKWATER VALVE: Drainage piping serving fixtures which have flood level rims less than twelve (12) inches (304.8 mm) above the elevation of the next upstream manhole and/or flushing inlet cover at the public or private sewer system serving such drainage piping shall be protected from backflow of sewage by installing an approved type backwater valve. Fixtures above such elevation shall not discharge through the backwater valve, unless first approved by the Building Official. The Town shall not incur any liability or responsibility for damage resulting from a sewer overflow where the property owner or other person has failed to install a backwater valve as defined in the Uniform Plumbing Code adopted by the Town and maintain such device in a functional operation condition. Evidence of West Sanitation District's decision on whether a backwater device is needed shall be provided prior to the issuance of a building permit.
82. BEST MANAGEMENT PRACTICES (BMPs): The Owner, Applicant and/or Developer is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop work orders.
83. SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
 - a. Protect sensitive areas and minimize changes to the natural topography.
 - b. Minimize impervious surface areas.
 - c. Direct roof downspouts to vegetated areas.
 - d. Use porous or pervious pavement surfaces on the driveway, at a minimum.
 - e. Use landscaping to treat stormwater.
84. UNLAWFUL DISCHARGES: It is unlawful to discharge any wastewater, or cause hazardous domestic waste materials to be deposited in such a manner or location as to constitute a threatened discharge, into storm drains, gutters, creeks or the San Francisco Bay. Unlawful discharges to storm drains include, but are not limited to: discharges from toilets, sinks, industrial processes, cooling systems, boilers, fabric cleaning, equipment cleaning or vehicle cleaning.

85. **EROSION CONTROL:** Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks and Public Works Department. A maximum of two (2) weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets, Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The Town of Los Gatos Engineering Division of the Parks and Public Works Department and the Building Department will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.
86. **DUST CONTROL:** Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty-five (25) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.
87. **DETAILING OF STORMWATER MANAGEMENT FACILITIES:** Prior to the issuance of any grading or building permits, all pertinent details of any and all proposed stormwater management facilities, including, but not limited to, ditches, swales, pipes, bubble-ups, dry wells, outfalls, infiltration trenches, detention basins and energy dissipaters, shall be provided on submitted plans, reviewed by the Engineering Division of the Parks and Public Works Department, and approved for implementation.
88. **CONSTRUCTION ACTIVITIES:** All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
89. **WATER FEATURES:** New swimming pools, hot tubs, spas and/or fountains shall have a connection to the sanitary sewer system, subject to West Valley Sanitation District's authority and standards, to facilitate draining events. Discharges from this/these feature(s) shall be directed to the sanitary sewer and are not allowed into the storm drain system.

90. **SITE DRAINAGE:** Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed. Any storm drain inlets (public or private) directly connected to public storm system shall be stenciled/signed with appropriate "NO DUMPING - Flows to Bay" NPDES required language. On-site drainage systems for all projects shall include one of the alternatives included in section C.3.i of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. If stormwater treatment facilities are to be used they shall be placed a minimum of ten (10) feet from the adjacent property line and/or right-of-way. Alternatively, the facility(ies) may be located with an offset between 5 and 10 feet from the adjacent property and/or right-of-way line(s) if the responsible engineer in charge provides a stamped and signed letter that addresses infiltration and states how facilities, improvements and infrastructure within the Town's right-of-way (driveway approach, curb and gutter, etc.) and/or the adjacent property will not be adversely affected. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property.
91. **SILT AND MUD IN PUBLIC RIGHT-OF-WAY:** It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
92. **GOOD HOUSEKEEPING:** Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner, Applicant and/or Developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Owner, Applicant and/or Developer's expense.
93. **COVERED TRUCKS:** All trucks transporting materials to and from the site shall be covered.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

94. **FIRE SPRINKLERS REQUIRED.** An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: In all new one- and two-family dwellings and existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 square feet. Exception: A one-time addition to an existing building that does not total more than 1,000 square feet of building area. NOTE: The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California license (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to the Santa Clara County Fire Department for review and approval prior to beginning their work. CRC Sec. 313.2 as adopted and amended by LGTC.
95. **WATER SUPPLY REQUIREMENTS.** Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the

applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by the Santa Clara County Fire Department until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2016 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.

96. ADDRESS IDENTIFICATION: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.
97. CONSTRUCTION SITE FIRE SAFETY: All construction sites must comply with applicable provisions of the CFC Chapter 33 and Santa Clara County Fire Department Standard Detail and Specification S1-7. Provide notations on subsequent plan submittals, as appropriate to the project. CFC Ch. 33.

56 Central Avenue - PROJECT DATA

	EXISTING CONDITIONS	PROPOSED PROJECT	REQUIRED/ PERMITTED
Zoning district	R-1:10	same	-
Land use	Single-family home	same	-
General Plan Designation	Low density residential	same	-
Lot size (sq. ft.)			
• gross lot area	11,281	same	10,000 sq. ft. minimum
• net lot area	8,235	same	-
Exterior materials:			
• siding	wood	siding, board & batten	-
• trim	wood	wood	-
• windows	wood	vinyl	-
• roofing	wood	comp shingle & metal	-
Building floor area:			
• first floor	1,188	1,435	2,669 sq. ft. maximum
• second floor	-	1,230	
• below grade	-	1,590	exempt
• garage	-	717	749 sq. ft. maximum
Setbacks (ft.):			
• front	39'	26'	25 feet minimum
• rear	127'	122'	20 feet minimum
• side	0'	5'	10 feet minimum
• side	27'	5'	10 feet minimum
Average slope (%)	-	18.5%	-
Maximum height (ft.)	16'	25	25 feet maximum
Building coverage (%)	14%	37.9%	40%

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JUL 11 2019

TOWN OF LOS GATOS
PLANNING DIVISION

**JUSTIFICATION LETTER
Bothman Project
56 Central Avenue**

The subject property is a portion of an original property that contains 3 underlying lots. The original house was built in 1925 and is located in the center lot. The subject lot, #61, contains a guest cottage, gazebo and storage shed with multiple retaining walls, all of which are to be removed.

The frontage of the original property, extending 150' of length, is a stone wall with stone entry columns at the driveway entries. Because of their historic nature, the Bothmans would like to have the wall and entry columns remain. However, they would like to relocate 1 column in order to widen the entry to a minimum of 16' clear. The new column would be rebuilt to match the existing.

The new home will be 2-story located on a level part of the property, at the front. As the land slopes away to the rear, the 1st floor will have a deck. The project includes a cellar with a clere-story wall to a cellar-level patio. This level aligns with an existing grade cut on the property.

We are asking for a side-yard reduction to 5' per Section 29.10.265 (2) Nonconforming Lots, because of the narrow configuration of the lot. This side-yard reduction will not impact either side neighbor since the left side house is being demolished due to the new parcels being created and the 2 right side neighbors consist first of a flag lot with a driveway of 20' so the house on the property in front of the flag lot is more than 30' from the subject property. In addition to the narrow width of the lot it also slopes. In order to maximize available flat land while minimizing grading, grading for a detached garage down-slope is unfeasible - we are requesting a side-yard reduction to 5'. There are 4 homes across the street on narrow lots and their solution was to have detached garages or a side-facing garage accessed via a side/rear street (Central Court). These homes, eave to eave, are about 14-18' apart. The narrow width and slope of the subject property created a unique situation with limited options other than requesting a side-yard reduction to 5'.

The owners have situated the garage forward on the most level part of the property to reduce the amount of driveway. This project also includes a secondary dwelling located above the garage with its own exterior entrance.

We have kept the roof pitch low, 4/12, at the front and 2/12 at the rear. We will be using a "Farm House" architectural style with horizontal siding at the 1st floor, board and bat siding at the 2nd floor and brick veneer at walls exposed below the 1st floor. The Bothmans were very hands-on with regard to the design of this simply-styled country house.

The majority of the windows are oriented to the street and backyard to provide privacy for the adjoining neighbors.

The neighborhood is a mix of 1 and 2-story homes of varying ages. The house to the northeast is on a flag lot property with the driveway adjoining the subject property line. The house to the southwest is the original 1925 home scheduled to be removed due to returning the property to its original 3 lots. There is no rear neighbor as the hill drops down to Oak Hill Way.

This application includes the requested removal of trees #521, 523, 525, 526, 527.



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56 Central Lot Line set back additional justification:

Upon further investigation of 4 houses on Central Ave we have concluded that the 5' set back proposal for 56 Central plans is conforming to the neighborhood and we hope the justification letter on top of the below investigation will support our claim.



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AUG 12 2019
TOWN OF LOS GATOS
PLANNING DIVISION

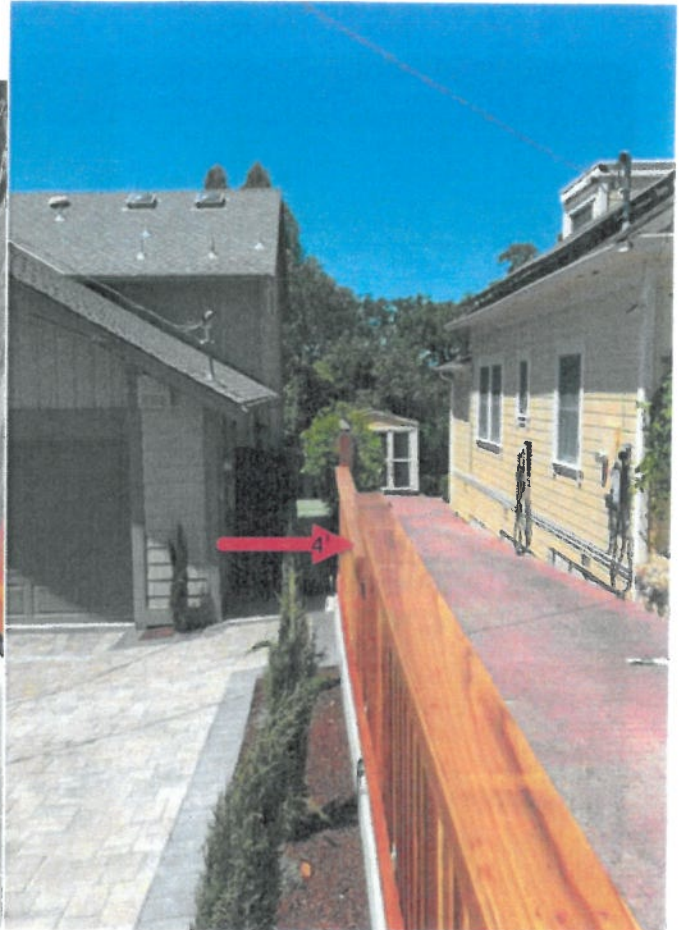
Property #1- 64 Central Ave

This property is directly next door to Leslie Morley. The house currently has an 18" set back to their fireplace, and 4' from the house to the property line.



Property#2- 70 Central Ave:

This property is 2 houses from 56 Central Ave and has a 4' set back from property line.



Property #3- 71 Central Ave:

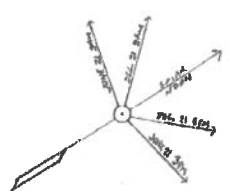
This property is across the street from 56 Central Ave and has 4' setbacks from property lines.



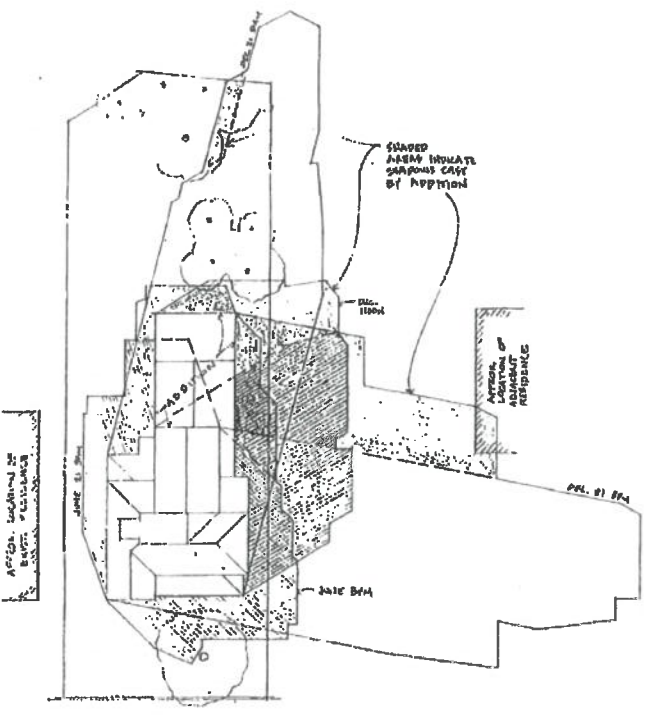
Property #4 – 67 Central Ave:

This property is across the street from 56 Central Ave and has 4' setbacks from property lines.





SOLAR TABLE		
DIR.	SUN ANGLE	SHADOW
9AM	15°	42"
11AM	17°	35"
1PM	14°	28"
3PM	11°	22"
5PM	4°	11"



SHADOW STUDY
 1/16" = 1'-0"
EXPLANATION: PROPOSED ADDITION CASTS A SMALL ADDITIONAL SHADOW ACROSS ADJOINING NORTHERLY PARCEL.

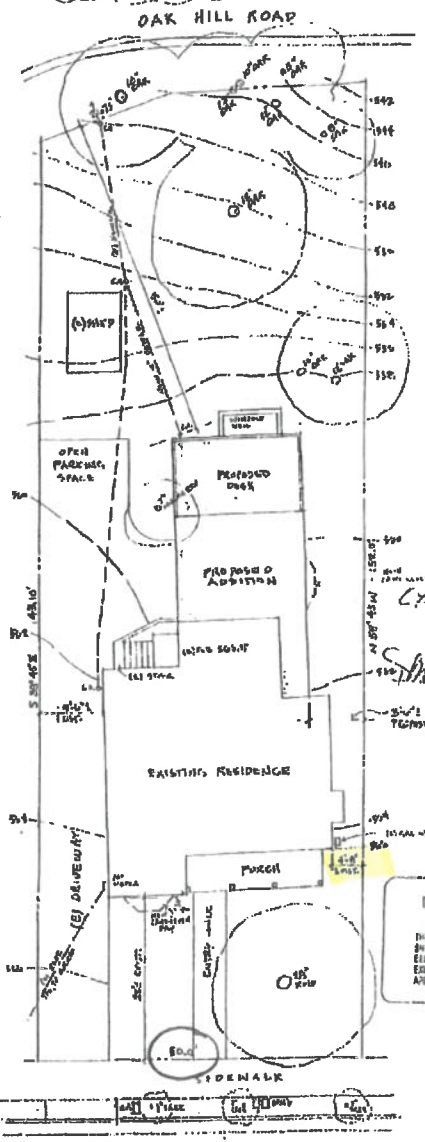
SITE DATA
 LOT SIZE: 125' x 81'
 Average Slope: 10.34% (From County Records)
Paved Area:
 (A) Paved Area: 11,865.5 sq ft
 (B) Paved Area: 4,000.0 sq ft
Total: 15,865.5 sq ft (41 Floors)
Volume: 1,000,000 cu ft
Area: 300 sq ft
Perimeter: 260' x 300' x 260' x 300'
 Area: 125' x 81' x 125' x 81'

NOTES AND SPECIFICATIONS
 CONCRETE shall have a minimum ultimate compressive strength of 4,000 psi and a minimum strength of 3,000 psi at 28 days. Slump shall be 7" minimum and 9" maximum. Concrete shall be placed and finished within 90 minutes of the time of placement. All concrete shall be cured for a minimum of 7 days.
 REINFORCING BARS shall be steel fabricated and galvanized by ASTM A618-82, and shall be furnished to the contractor in the form of bars. All bars shall be furnished to the contractor in the form of bars.
 WOOD FRAMED ROOFING shall be Douglas Fir Larch of the following grade:
 Sheathing: 5/8" CDX
 Decking: 1" x 6" S4S
 Trusses: 2" x 6" S4S
 Rafters: 2" x 8" S4S
 PARALLEL BEAMS shall be #2 Western Species Fir/125 #1 obtained by the local mill. Beams shall be furnished to the contractor in the form of beams.
 HANGERS AND BRACKETS shall conform to the requirements of the steel fabricator.
 WALLING shall be masonry with USC Table 12-1-1-1 unless otherwise indicated on the plan.
 FLOORING shall be 1/2" OSB and 3/4" plywood subfloor on steel joists. Finish shall be 1/4" OSB and 3/4" plywood subfloor on steel joists.
 CEILING shall be 1/2" OSB and 3/4" plywood subfloor on steel joists. Finish shall be 1/4" OSB and 3/4" plywood subfloor on steel joists.
 ROOF FINISHING shall be 1/2" OSB and 3/4" plywood subfloor on steel joists. Finish shall be 1/4" OSB and 3/4" plywood subfloor on steel joists.
 SURFACING shall be 1/2" OSB and 3/4" plywood subfloor on steel joists. Finish shall be 1/4" OSB and 3/4" plywood subfloor on steel joists.
 WOOD CONNECTIONS shall be Simpson Strong-Tie "Strong Tie" connection or equal. The contractor shall submit drawings for approval.

GENERAL NOTES
 • The contractor shall furnish all material, labor, equipment, permits, and expenses required for the work shown on these plans and for the 90-day warranty period.
 • All work shall comply with the Uniform Building Code, the 1993 UBC, UAC, UFG, and all other codes and regulations, including the 1993 UBC, UAC, UFG, and all other codes and regulations, including the 1993 UBC, UAC, UFG, and all other codes and regulations.
 • Contractor shall be solely responsible for the job and the safety of all workers.
 • All work is to be performed in accordance with these plans and specifications and to the satisfaction of the owner.
 • All work shall be completed within the specified time frame.
 • Verify all dimensions in the field before construction begins. All dimensions shall be checked and approved by the engineer before construction begins.
 • Changes shall be in writing.
 • Substitutions shall be approved by the engineer. All substitutions shall be approved by the engineer before construction begins.
 • Contractor shall verify the location of all utilities before construction begins.
 • Follow manufacturer's instructions carefully. Manufacturer's operating instructions and operations shall be posted on the site at all times.
 • All portions of construction not shown shall be of the best type and standard of the trade for the work shown. For material conditions or descriptions, verify the conditions before starting or proceeding with work.
 • All materials shall be of the best quality and shall be subject to the approval of the engineer. All work shall be performed in the most expeditious manner.

PLAN REVIEW APPROVAL
 THE ENGINEER WITH THIS SIGNATURE HAS REVIEWED THE PLANS AND IS SATISFIED THAT THEY COMPLY WITH ALL CITY AND COUNTY ORDINANCES AND THE STATE BUILDING CODE.
 BY: *[Signature]*
 LAWRENCE PETERSON PROFESSIONAL ASSOCIATES

BLDG OCCUPANCY GROUPS: R-34-1
TYPE OF CONSTRUCTION: V-M



SITE PLAN
 1" = 40'-0"
 BASED ON SURVEY BY DOUGLAS LARSON, DATED 2-93

DRAWING PREPARED BY
CHRIS SPAULDING
 ARCHITECT
 101 CAMELIA AVENUE SUITE 200
 BERKELEY CALIFORNIA 94704
 (415) 841-1000 FAX (415) 841-1001

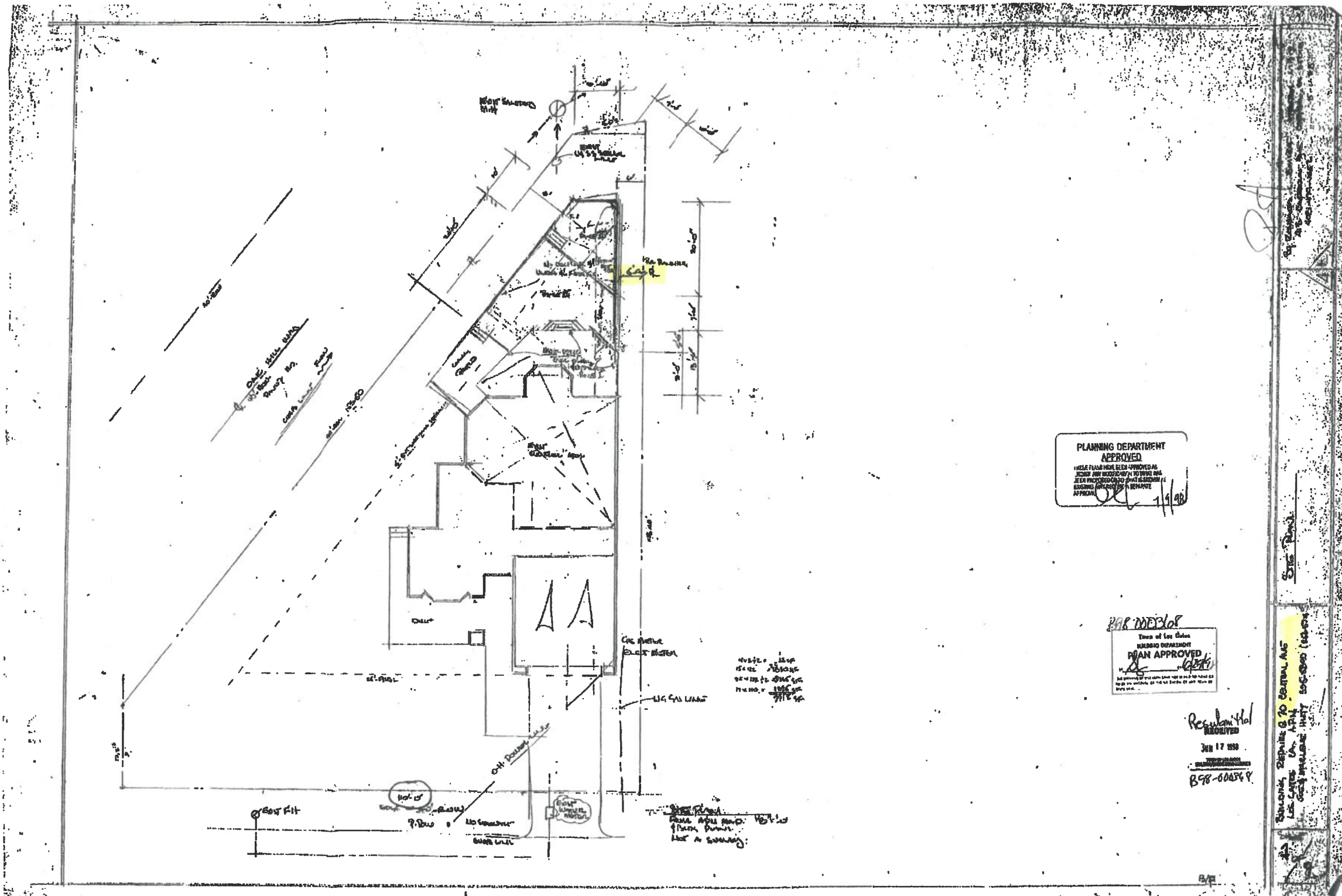
REVISIONS	BY
0-10-00	CS

DESIGN REVIEW SET	
PLAN CHECK SET	
PERMIT SET	
CONSTRUCTION SET	
PRELIMINARY SET	

A PROPOSED REMODEL TO THE
ARSON RESIDENCE
64 CENTRAL AVENUE
 LOS GATOS, CALIFORNIA

PLANNING DEPARTMENT APPROVED
 THESE PLANS HAVE BEEN APPROVED AS SHOWN AND MODIFIED BY THIS REVIEW AS EVIDENCED BY THIS SIGNATURE. SEPARATE APPROVALS ARE REQUIRED FOR OTHER DEPARTMENTS.

DATE: 5-2-00
 DRAWN BY: J. LARSON
 CHECKED BY: [Signature]



PLANNING DEPARTMENT
 APPROVED
 THESE PLANS HAVE BEEN APPROVED AS
 SHOWN AND SUBJECT TO THE CITY AND
 STATE PROFESSIONAL SEAL AND SIGNATURE
 OF THE ARCHITECT OR ENGINEER
 APPROVAL
 1/1/98

BAR DEBLOS
 Town of Los Gatos
 PLANNING DEPARTMENT
 PLAN APPROVED
 JUN 17 1998

Regulatory
 RECEIVED
 JUN 17 1998
 898-00054

RECEIVED
 DEPARTMENT OF PUBLIC WORKS
 JUN 17 1998
 898-00054

Statement of Justification for exception to the Hillside Development Standards and Guidelines

Lands of Bothman
56 Central Avenue

May 3, 2019

The proposed redevelopment of this parcel consists of a single family residence, new driveway, new pool and other backyard improvements. This property was originally developed in conjunction to the adjoining parcel and has currently one old cottage, various gazebos, retaining walls and concrete decks and stairs. All of these improvements are in a variety of levels and in disrepair. They also do not relate to the boundaries of the parcel. The property is narrow (only 50 feet wide) and slopes gently up from Central Avenue to the existing cottage. Behind the cottage it slopes down toward Oak Hill Way. The elevation difference is more than 40 feet. Nine irregular terraces of varying size and shapes were created with retaining walls of varying sizes. Many of the retaining walls and steps are crumbling and must be replaced due to safety issues.

The proposal is to build a new two story residence with a subterranean patio in place of the existing cottage. The subterranean patio terminates underneath the deck continuing at that level to a daylight point 28 to 38 feet from the back of the house (16 and 21 feet is under the deck).

The maximum depth of cut is at the northwestern corner of the house is 8.5 feet and at the southwestern corner slightly over 6 feet. At the end of the deck it is reduced to 7 feet at the northwestern corner and 4 feet at southwestern corner. The exception to the maximum depth of cut is for the area beyond the proposed deck. It is almost triangular in shape, extending 13 feet on the northwesterly line.

The second exception is for a deeper fill at the downhill edge of the pool deck. Most of the pool and pool deck area are within one foot of the existing grade. Due to existing retaining walls cutting across the property on an angle and existing stairs near the south property line, the depth of fill for a portion of the pool deck exceeds the 3 feet, starting at 5 feet at the southeasterly corner due to existing stairs to 3.6 feet at the northwestern corner. A couple of the terraces just below the pool deck will be regraded to create a slope and limit the exposed height of the proposed retaining wall to 3.68 feet.

The exceptions to the Hillside Development Standards and Guidelines as mentioned above are respectfully requested due to unusual circumstances of the property. The irregularities of existing terraces, existing stairs as created almost a century ago, posed challenges to the design team and we have done all we can to limit exceptions where we could. Many of these existing terraces, retaining walls and stairs are falling apart and are dilapidated. The existing terrain is very tricky, terraced, slopes in differing directions. We are requesting to build a home for our family with and outdoor living area safe for our children and grandparents. Thank you for the consideration of our request.

EXHIBIT 7

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November 5, 2018

Mr. Azhar Kahn
Community Development Department
Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95031

RE: 56 Central Avenue

Dear Azhar:

I reviewed the drawings, and evaluated the site context. My comments and recommendations are as follows:

Neighborhood Context

The site is located in an established neighborhood with very deep lots. Existing homes are a mixture of architectural styles, and vary between one and two-stories in height with many of the second floor areas embedded within the roof. Photographs of the neighborhood are shown on the following page.





The Site and Entry Drive



House immediately across Central Avenue



Nearby House to Left



Nearby House to Right



Nearby one-story house



Nearby house with a Second Story



Nearby one-story house



Nearby house with a Second Story

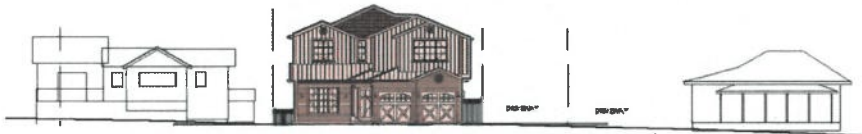
Issues and Concerns

1. The proposed house is tall and bulky compared to the norm for the immediate neighborhood. While there is one parcel on this block with a full two-story house, the others are a mix of one-story and two-story houses with a portion of the second floor embedded within the second floor roof form. The proposed design for this lot would not seem to be consistent with the following two Residential Design Guidelines.

2.3.1 Design two story houses in predominantly one story neighborhoods to blend with the smaller homes. *[Note: While some of the homes in the neighborhood have second stories, a major portion of the second floor area is embedded within the roof form.]*

Two-story houses may not be appropriate for every neighborhood. For neighborhoods dominated by one-story homes, an effort should be made to limit the house to one-story in height or to accommodate second floor space within the existing roof. If a two-story house is proposed in this type of a neighborhood, the house shall be designed to blend with the smaller homes.

2.3.2 Avoid structures with height and bulk at front and side setback lines which are significantly greater than those of the adjacent homes.



Proposed house is tall and bulky compared to the norm in this neighborhood



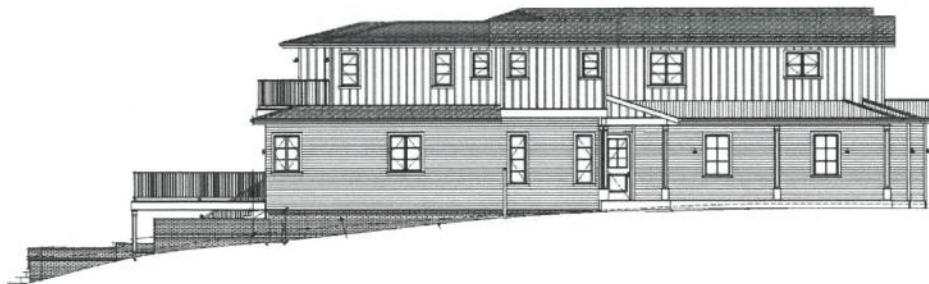
Proposed Front Elevation



Proposed Rear Elevation



Proposed Right Side Elevation



Proposed Left Side Elevation

2. The positioning of the garage makes it a very dominate feature of the streetscape facade. Most nearby garages are either at the rear of their parcel or integrated into the first floor footprint of the house - see illustration below.



The only nearby home with a projecting garage has a small amount of front projection - see photos below.



- 3. The many forms and planes at the front of the house and the large footprint of the second story relative to the first floor are not characteristics of the two-story homes that I have reviewed in Los Gatos.



The many forms and layers at the house front are not characteristic of this architectural style

Typical second floor volume and wall setbacks are shown in two Los Gatos examples below.



- 4. The tall two-story wall on the right side elevation is not consistent with Residential Design Guideline 3.3.3.



Long two-story wall is not consistent with Residential Design Guideline 3.3.3

Recommendations

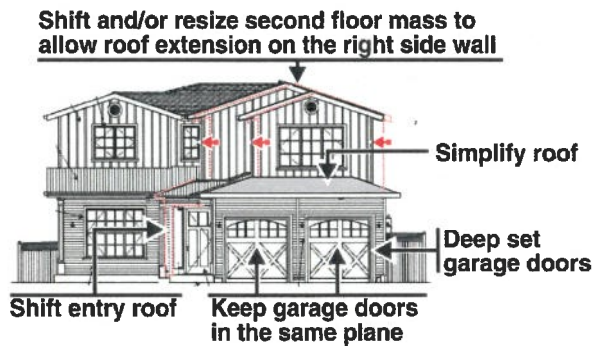
The consideration of options to address these issues is complicated by the presence of a proposed Accessory Dwelling Unit (ADU) at the front of the house over the garage. This addition to the main house will be processed under a separate application. If one looks at the house minus the ADU, elevations would look something like the illustrations below.

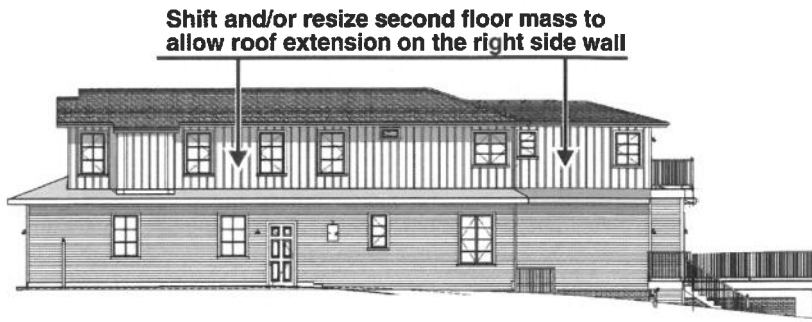


While the projecting garage would not be consistent with the Residential Design Guidelines, the scale of the house would be more sympathetic to the neighborhood.

My suggestions below are tailored to a minimum change to the current project proposal.

1. Shift the second floor building mass and entry roof away from the right side first floor building line.
2. Eliminate the projecting garage element in favor of a more simple form.
3. Provide a deep inset for the garage doors.





Azhar, please let me know if you have any questions, or if there are other issues that I did not address.

Sincerely,

CANNON DESIGN GROUP

A handwritten signature in black ink that reads "Larry L. Cannon". The signature is written in a cursive, flowing style.

Larry L. Cannon

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**Tree Inventory, Assessment,
and
Protection**

**56 Central Avenue
Los Gatos, CA 95032**

Prepared for:

Town of Los Gatos

October 11, 2018

Prepared By:

Richard Gessner

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Summary

The inventory contains 20 trees comprised of 8 different species. The plans indicate the existing structures will be demolished and removed and a new residence is to be built. Four trees are in good condition and four poor while the remaining twelve are all in fair shape. Many of the trees (coast live oaks (*Quercus agrifolia*) or blue oaks (*Quercus douglasii*)) are growing on the property boundary or adjacent site (517, 518, 519, 528, 529, 533, 534) and their suitability for conservation is not a factor. Ten trees are expected to be highly impacted and removed, seven moderate to highly influenced depending on construction and actual proximity to the improvements, while four should not be affected. Tree protection for this project would consist of a modified Type I scheme because most originating on the site will be removed. The only trees to remain are around the perimeter or originating on other parcels. A total of 20 trees were appraised for a rounded depreciated value of \$87,210.00 using the Trunk Formula Method.

Introduction

Background

The Town of Los Gatos asked me to assess the site, trees, and proposed footprint plan, and to provide a report with my findings and recommendations to help satisfy planning requirements.

Assignment

- Provide an arborist's report including an assessment of the trees within the project area and on the adjacent sites. The assessment is to include the species, size (trunk diameter), condition (health and structure), and suitability for preservation ratings. Affix aluminum number tags on the trees for reference on site and on plans.
- Provide tree protection specifications, guidelines, and impact ratings for trees that may be affected by the project.
- Provide appraised values.



Limits of the assignment

- The information in this report is limited to the condition of the trees during my inspection on September 20, 2018. No tree risk assessments were performed.
- Tree heights and canopy diameters are estimates.
- The plans reviewed for this assignment were as follows (Table 1).

Table 1: Plans Reviewed Checklist

Plan	Date	Sheet	Reviewed	Source	Notes
Existing Site Topographic Map or A.L.T.A with tree locations			No		
Proposed Site Plan	8/30/18	A1.1	Yes	Hometec Architecture	
Demolition Plan			No		
Construction Staging			No		
Grading and Drainage	August 2018	C1	Yes	Westfall Engineers	
Utility Plan and Hook-up locations			No		
Exterior Elevations	8/30/18	A-5, A-6, A-7	No	Hometec Architecture	
Landscape Plan					
Irrigation Plan			No		
T-1 Tree Protection Plan			No		

Purpose and use of the report

The report is intended to identify all the trees within the plan area that could be affected by a project. The report is to be used by the Town of Los Gatos and the property owners as a reference for existing tree conditions to help satisfy planning requirements.



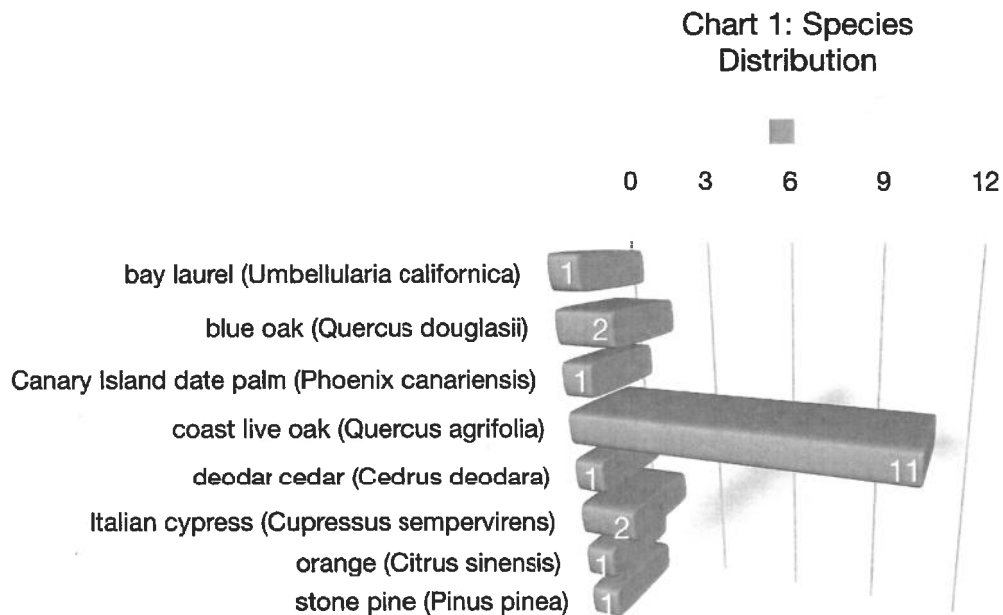
Observations

Tree Inventory

The inventory consists of trees protected by the Town of Los Gatos located on site and those in close proximity on neighboring properties. Sec. 29.10.0960. - Scope of protected trees. All trees which have a four-inch or greater diameter (twelve and one half-inch circumference) of any trunk, when removal relates to any review for which zoning approval or subdivision approval is required. (Appendix A and B). Los Gatos Town Ordinance 29.10.0970 Exceptions (1) states the following: “A fruit or nut tree that is less than eighteen (18) inches in diameter (fifty-seven-inch circumference).

The inventory contains 20 trees comprised of 8 different species. Four oaks (*Quercus spp.*) (520, 526, 527, and 528) are considered Large Protected¹, fourteen are Protected² and one is Exempt³.

The chart below list the species and their relative quantities (Chart 1).



¹ Large protected tree means any oak (*Quercus spp.*), California buckeye (*Aesculus californica*), or Pacific madrone (*Arbutus menziesii*) which has a 24-inch or greater diameter (75-inch circumference); or any other species of tree with a 48-inch or greater diameter (150-inch circumference).

² Protected tree means a tree regulated by the Town of Los Gatos as set forth in Section. 29.10.0960, Scope of protected trees.

³ A fruit or nut tree that is less than eighteen (18) inches in diameter (fifty-seven-inch circumference).



Plans and Tree Conflicts

The plans indicate the existing structures will be demolished and removed and a new residence is to be built.

Coast live oaks 517, 518, 519, 533, 534 are not located on the plans and are growing along the property boundary adjacent to the existing cottage (Appendix A). Trees 517, 518, 519 are at the driveway entrance while 533 and 534 are next to the structure growing along the northeast boundary. It is likely these trees originate on the adjacent site along with blue oak 528 and coast live oak 529.

Several trees are indicated to be removed including date palm 521, deodar cedar 524, coast live oaks 525 and 526, and blue oak 527. All these trees are within the footprint of the proposed structures. Stone pine 523 is listed to remain on the site plan but removed on the civil drawings, it will be highly impacted by grading and any destruction to the soil environment or roots behind the lean will compromise the tree.

Palm tree 521 currently has nesting owls (*Strix sp.*)⁴ in a cavity under the lowest fronds.

Analysis

Tree appraisal was performed according to the Council of Tree & Landscape Appraisers *Guide for Plant Appraisal 9th Edition, 2000* (CLTA) along with Western Chapter International Society of Arboriculture *Species Classification and Group Assignment, 2004*. The trees were appraised using the “Cost Approach” and more specifically the “Trunk Formula Method” (Appendix B).

“Trunk Formula Method” is calculated as follows: Basic Tree Cost = (Appraised tree trunk increase X Unit tree cost + Installed tree cost) Appraised Value = (Basic tree cost X Species % X Condition % X Location %).

A total of 20 trees were appraised for a rounded depreciated value of \$87,210.00 using the Trunk Formula Method (Appendix B2).

Appraisal worksheets are available upon request.

⁴ Protected under State law (See Fish and Game Code, Sections 3503, 3503.5, 3505 and 3513, and California Code of Regulation, Title 14, Sections 251.1, 652 and 783-786.6).

The Migratory Bird Treaty Act of 1918 (MBTA), codified at 16 U.S.C. §§ 703–712 . The Migratory Bird Treaty Act of 1918 prohibits the removal of all listed species or their parts (feathers, eggs, nests, etc.) from such property.



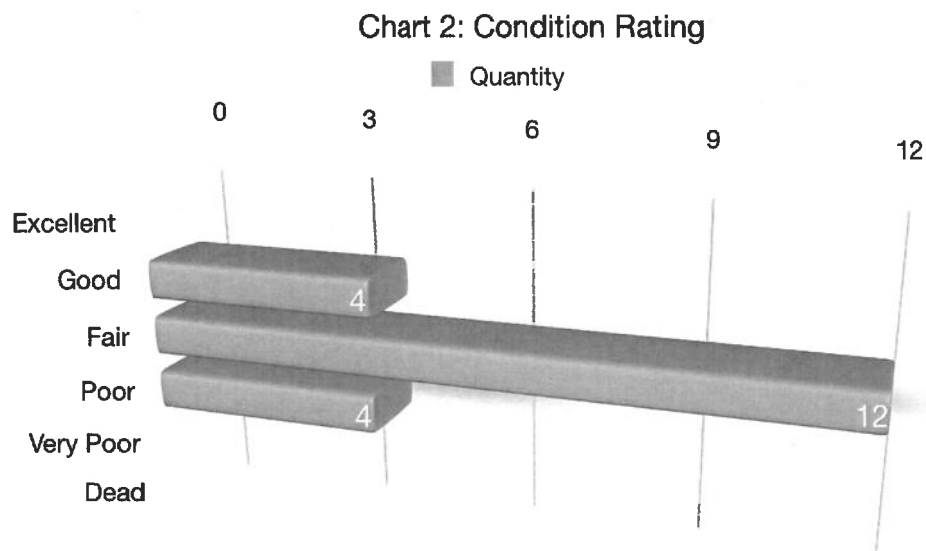
Discussion

Condition Rating

A tree’s condition is a determination of its overall health, structure, and form. The assessment considered both the health and structure for a combined condition rating.

- 100% - Exceptional = Good health and structure with significant size, location or quality.
- 61-80% - Good = Normal vigor, well-developed structure, function and aesthetics not compromised with good longevity for the site.
- 41-60 % - Fair = Reduced vigor, damage, dieback, or pest problems, at least one significant structural problem or multiple moderate defects requiring treatment. Major asymmetry or deviation from the species normal habit, function and aesthetics compromised.
- 21-40% - Poor = Unhealthy and declining appearance with poor vigor, abnormal foliar color, size or density with potential irreversible decline. One serious structural defect or multiple significant defects that cannot be corrected and failure may occur at any time. Significant asymmetry and compromised aesthetics and intended use.
- 6-20% - Very Poor = Poor vigor and dying with little foliage in irreversible decline. Severe defects with the likelihood of failure being probable or imminent. Aesthetically poor with little or no function in the landscape.
- 0-5% - Dead/Unstable = Dead or imminently ready to fail.

Four trees are in good condition and four poor while the remaining twelve are all in fair shape (Chart 2). The table on pages 6 indicates the individual tree assessment.



The table below lists the trees and the condition assessment for each (Table 2).

Table 2: Condition Assessment

Tree Species	#	Trunk Diameter (in.)	Vigor	Structure	Form	Condition
Italian cypress (<i>Cupressus sempervirens</i>)	515	8	Good	Good	Good	Good
Italian cypress (<i>Cupressus sempervirens</i>)	516	12	Good	Good	Good	Good
coast live oak (<i>Quercus agrifolia</i>)	517	11	Good	Poor	Poor	Poor
coast live oak (<i>Quercus agrifolia</i>)	518	9	Good	Poor	Poor	Poor
coast live oak (<i>Quercus agrifolia</i>)	519	12	Good	Good	Fair	Fair
coast live oak (<i>Quercus agrifolia</i>)	520	28	Good	Good	Good	Good
Canary Island date palm (<i>Phoenix canariensis</i>)	521	24	Good	Good	Good	Good
orange (<i>Citrus sinensis</i>)	522	4	Poor	Poor	Poor	Poor
stone pine (<i>Pinus pinea</i>)	523	34	Good	Poor	Poor	Poor
deodar cedar (<i>Cedrus deodara</i>)	524	27	Fair	Fair	Good	Fair
coast live oak (<i>Quercus agrifolia</i>)	525	22	Good	Good	Good	Fair
coast live oak (<i>Quercus agrifolia</i>)	526	27	Good	Poor	Good	Fair
blue oak (<i>Quercus douglasii</i>)	527	24	Good	Fair	Good	Fair
blue oak (<i>Quercus douglasii</i>)	528	28	Good	Good	Good	Fair
coast live oak (<i>Quercus agrifolia</i>)	529	16	Good	Fair	Fair	Fair
coast live oak (<i>Quercus agrifolia</i>)	530	5	Fair	Fair	Fair	Fair
coast live oak (<i>Quercus agrifolia</i>)	531	15	Good	Good	Fair	Fair
bay laurel (<i>Umbellularia californica</i>)	532	4	Good	Fair	Good	Fair
coast live oak (<i>Quercus agrifolia</i>)	533	13	Good	Fair	Fair	Fair
coast live oak (<i>Quercus agrifolia</i>)	534	13	Good	Good	Fair	Fair



Suitability for Conservation

A tree's suitability for conservation is determined based on its health, structure, age, species and disturbance tolerances, proximity to cutting and filling, proximity to construction or demolition, and potential longevity using a scale of good, fair, or poor (Fite, K, and Smiley, E. T., 2016). Trees with good suitability have good vigor, structural stability, and potential longevity after construction.

- Good = Trees with good health, structural stability and longevity.
- Fair = Trees with fair health and/or structural defects that may be mitigated through treatment. These trees require more intense management and monitoring, and may have shorter life spans than those in the good category.
- Poor = Trees in poor health with significant structural defects that cannot be mitigated and will continue to decline regardless of treatment. The species or individual may possess characteristics that are incompatible or undesirable in landscape settings or unsuited for the intended use of the site.

Many of the trees (coast live oaks or blue oaks) are growing on the property boundary or adjacent site (517, 518, 519, 528, 529, 533, 534) so their suitability for conservation is not a factor because they must be retained regardless unless otherwise shown to be within the property boundary. For the site itself the deodar cedar, date palm, and stone pine are poorly suited for retention while all the a oaks have fair suitability. Date palm 521 is not well suited for retention from an urban forestry standpoint but the tree contained nesting owls at the time of the inspection. The small trees less than five inches in diameter were not assessed for suitability and could be easily replaced. On the property ten trees have fair suitability and four poor with the remaining originate on adjacent parcels.



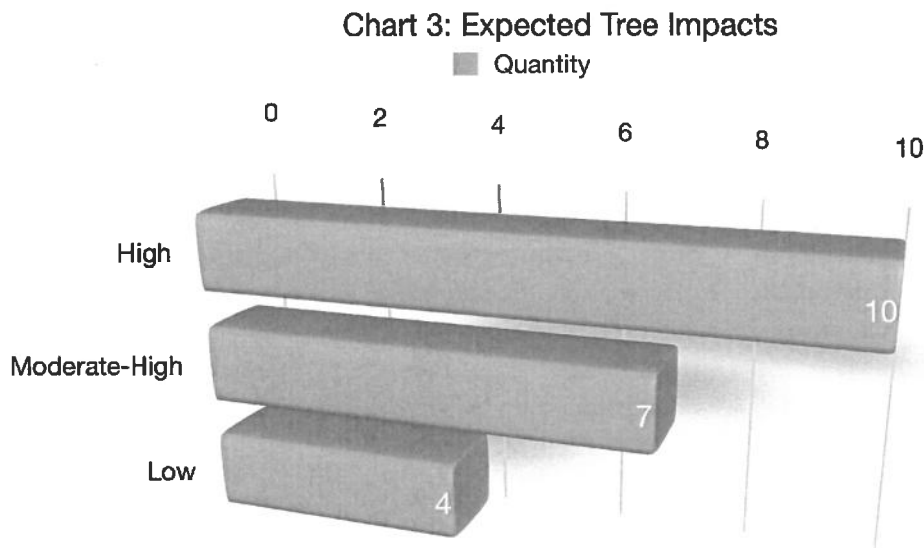
Impact Level

Impact level defines how a tree may be affected by construction activity and proximity to the tree, and is described as low, moderate, or high. The following scale defines the impact rating:

- Low = The construction activity will have little influence on the tree.
- Moderate = The construction may cause future health or structural problems, and steps must be taken to protect the tree to reduce future problems.
- High = Tree structure and health will be compromised and removal is recommended, or other actions must be taken for the tree to remain. The tree is located in the building envelope.

Trees highly impacted include date palm 521, stone pine 523, deodar cedar 524, coast live oaks 525 and 526, and blue oak 527. Some smaller trees like coast live oak 530 and bay laurel 532 will likely need to be removed as well. There are several oaks along the northeast boundary including 517, 518, 519 at the driveway entrance and 533 and 534 near existing structure all growing along the adjacent property driveway. These trees could be moderate to highly impacted depending on the construction proximity and nearby grading. However there are already structures (driveway and building) within the same footprint as the proposed improvements which will limit impacts to some extent.

Ten trees are expected to be highly impacted and removed, seven moderate to highly influenced depending on construction and actual proximity to the improvements, while four should not be affected (Chart 3).



Tree Protection

There are three different tree protection schemes which are called Type I, Type II and Type III trunk protection only (Figures 1, 2, and 3). Tree protection focuses on protecting trees from damage to the roots, trunk, or scaffold branches from heavy equipment (Appendix D). The tree protection zone (TPZ) is the defined area in which certain activities are prohibited to minimize potential injury to the tree. The TPZ can be determined by a formula based on species tolerance, tree age, and diameter at breast height (DBH) (Matheny, N. and Clark, J. 1998) or as the drip line in some instances. Preventing mechanical damage to the main stems from equipment or hand tools can be accomplished by wrapping the main stem with straw wattle (Figure 3). The wattle will create a porous barrier around the trunk and prevent damage to the bark and vascular tissues underneath. This mechanical barrier will be required for all trees within the project area.

Tree protection for this project would consist of a modified Type I scheme because most originating on the site will be removed. The only trees to remain are around the perimeter or originating on other parcels.

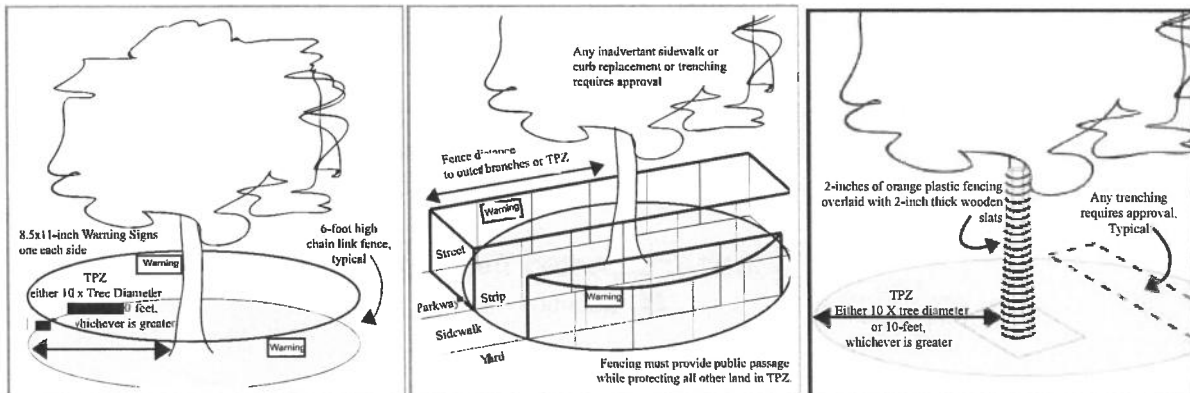


Figure 1: Type I Tree protection with fence placed at a radius of ten times the trunk diameter. Image City of Palo Alto 2006.

Figure 2: Type II Tree protection with fence placed along the sidewalk and curb to enclose the tree. Image City of Palo Alto 2006.

Figure 3: Type III Tree protection with trunk protected by a barrier to prevent mechanical damage. Image City of Palo Alto 2006.



Conclusion

The inventory contains 20 trees comprised of 8 different species. Four oaks are considered Large Protected, fourteen are Protected and one is Exempt. The plans indicate the existing structures will be demolished and removed and a new residence is to be built. Four trees are in good condition and four poor while the remaining twelve are all in fair shape. Many of the trees (coast live oaks or blue oaks) are growing on the property boundary or adjacent site (517, 518, 519, 528, 529, 533, 534) so their suitability for conservation is not a factor because they must be retained regardless unless otherwise shown to be within the property boundary. For the site itself the deodar cedar, date palm, and stone pine are poorly suited for retention (although the date palm contains nesting owls) while all the a oaks have fair suitability. Ten trees are expected to be highly impacted and removed, seven moderate to highly influenced depending on construction and actual proximity to the improvements, while four should not be affected. Tree protection for this project would consist of a modified Type I scheme because most originating on the site will be removed. The only trees to remain are around the perimeter or originate on other parcels. A total of 20 trees were appraised for a rounded depreciated value of \$87,210.00 using the Trunk Formula Method.



Recommendations

Pre-construction and Planning Phase

1. Place tree numbers and tree protection fence locations and guidelines on the plans including the grading, drainage, and utility plans. Create a separate plan sheet that includes all protection measures labeled "T-1 Tree Protection Plan."
2. Locate and include trees 517, 518, 519, 533, 534 missing from the plans growing along the northeast boundary.
3. Contact a wildlife biologist to inspect the date palm and verify any protection required as per the Migratory Bird Treaty Act and State Regulations regarding birds of prey.
4. All tree maintenance and care shall be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree maintenance and care shall be specified in writing according to American National Standard for Tree Care Operations: *Tree, Shrub and Other Woody Plant Management: Standard Practices* parts 1 through 10 and adhere to ANSI Z133.1 safety standards and local regulations. All maintenance is to be performed according to ISA Best Management Practices.
5. Refer to Appendix D for general tree protection guidelines including recommendations for arborist assistance while working under trees, trenching, or excavation within a trees drip line or designated TPZ/CRZ.
6. Provide a copy of this report to all contractors and project managers, including the architect, civil engineer, and landscape designer or architect. It is the responsibility of the owner to ensure all parties are familiar with this document.
7. Arrange a pre-construction meeting with the project arborist or landscape architect to verify tree protection is in place, with the correct materials, and at the proper distances.
8. Arrange for the project arborist to monitor and document initial grading activity and no grading is to occur within any tree protection zone including utility hook-ups.

Construction and Post-Construction Phase

1. Monitor the health and structure of all trees for any changes in condition.
2. Perform any other mitigation measures to help ensure long term survival.



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Glossary of Terms

Basic Tree Cost: The cost of replacement for a perfect specimen of a particular species and cross sectional area prior to location and condition depreciation.

Cost Approach: An indication of value by adding the land value to the depreciated value of improvements.

Defect: An imperfection, weakness, or lack of something necessary. In trees defects are injuries, growth patterns, decay, or other conditions that reduce the tree's structural strength.

Diameter at breast height (DBH): Measures at 1.4 meters (4.5 feet) above ground in the United States, Australia (arboriculture), New Zealand, and when using the Guide for Plant Appraisal, 9th edition; at 1.3 meters (4.3 feet) above ground in Australia (forestry), Canada, the European Union, and in UK forestry; and at 1.5 meters (5 feet) above ground in UK arboriculture.

Drip Line: Imaginary line defined by the branch spread or a single plant or group of plants. The outer extent of the tree crown.

Mechanical damage: Physical damage caused by outside forces such as cutting, chopping or any mechanized device that may strike the tree trunk, roots or branches.

Scaffold branches: Permanent or structural branches that form the scaffold architecture or structure of a tree.

Straw wattle: also known as straw worms, bio-logs, straw noodles, or straw tubes are man made cylinders of compressed, weed free straw (wheat or rice), 8 to 12 inches in diameter and 20 to 25 feet long. They are encased in jute, nylon, or other photo degradable materials, and have an average weight of 35 pounds.

Topping: Inappropriate pruning technique to reduce tree size. Cutting back a tree to a predetermined crown limit, often at internodes.

Tree Protection Zone (TPZ): Defined area within which certain activities are prohibited or restricted to prevent or minimize potential injury to designated trees, especially during construction or development.

Tree Risk Assessment: Process of evaluating what unexpected things could happen, how likely it is, and what the likely outcomes are. In tree management, the systematic process to determine the level of risk posed by a tree, tree part, or group of trees.

Trunk: Stem of a tree.

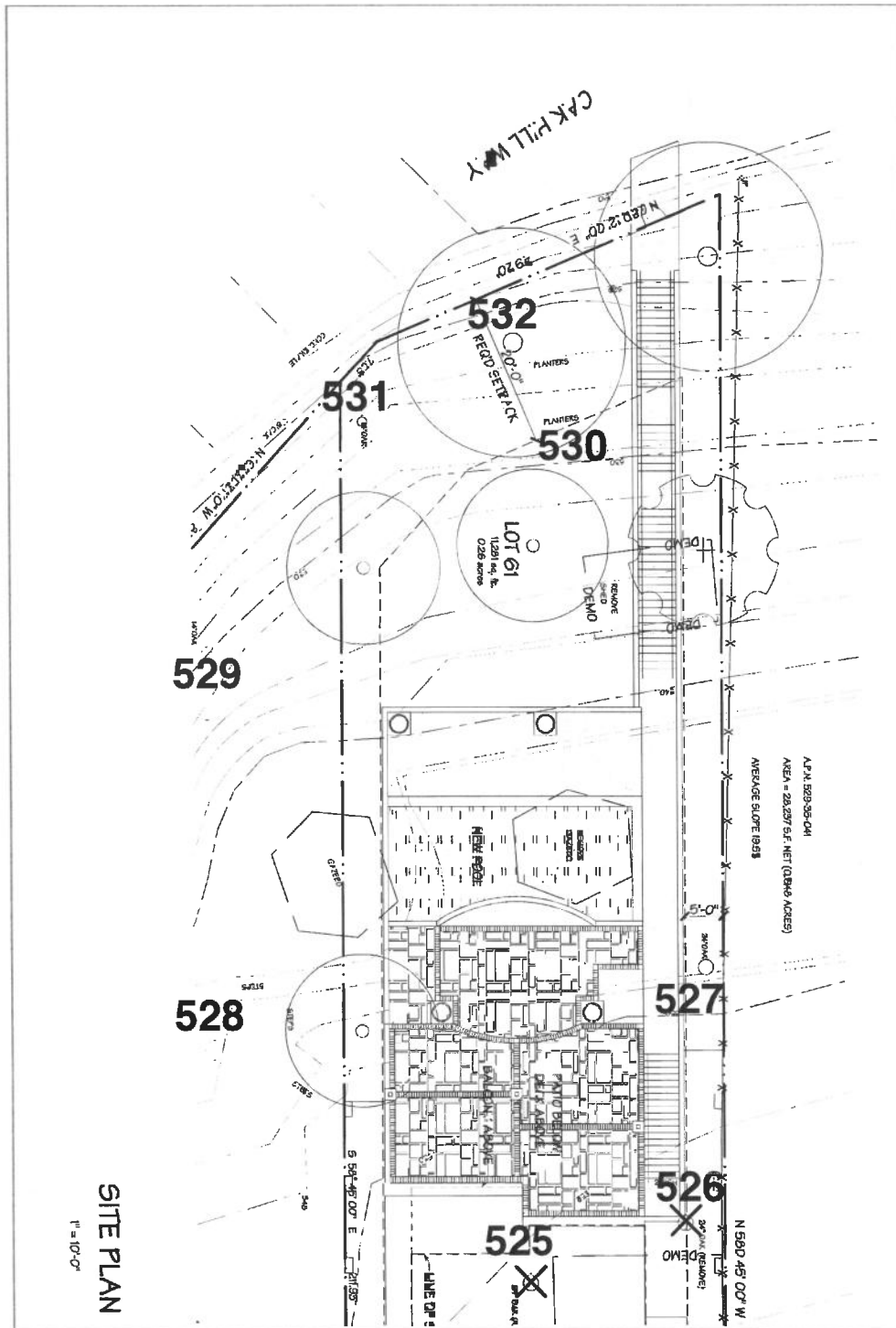


Trunk Formula Method: Method to appraise the monetary value of trees considered too large to be replaced with nursery or field grown stock. Based on developing a representative unit cost for replacement with the same or comparable species of the same size and in the same place, subject to depreciation for various factors. Contrast with replacement cost method.

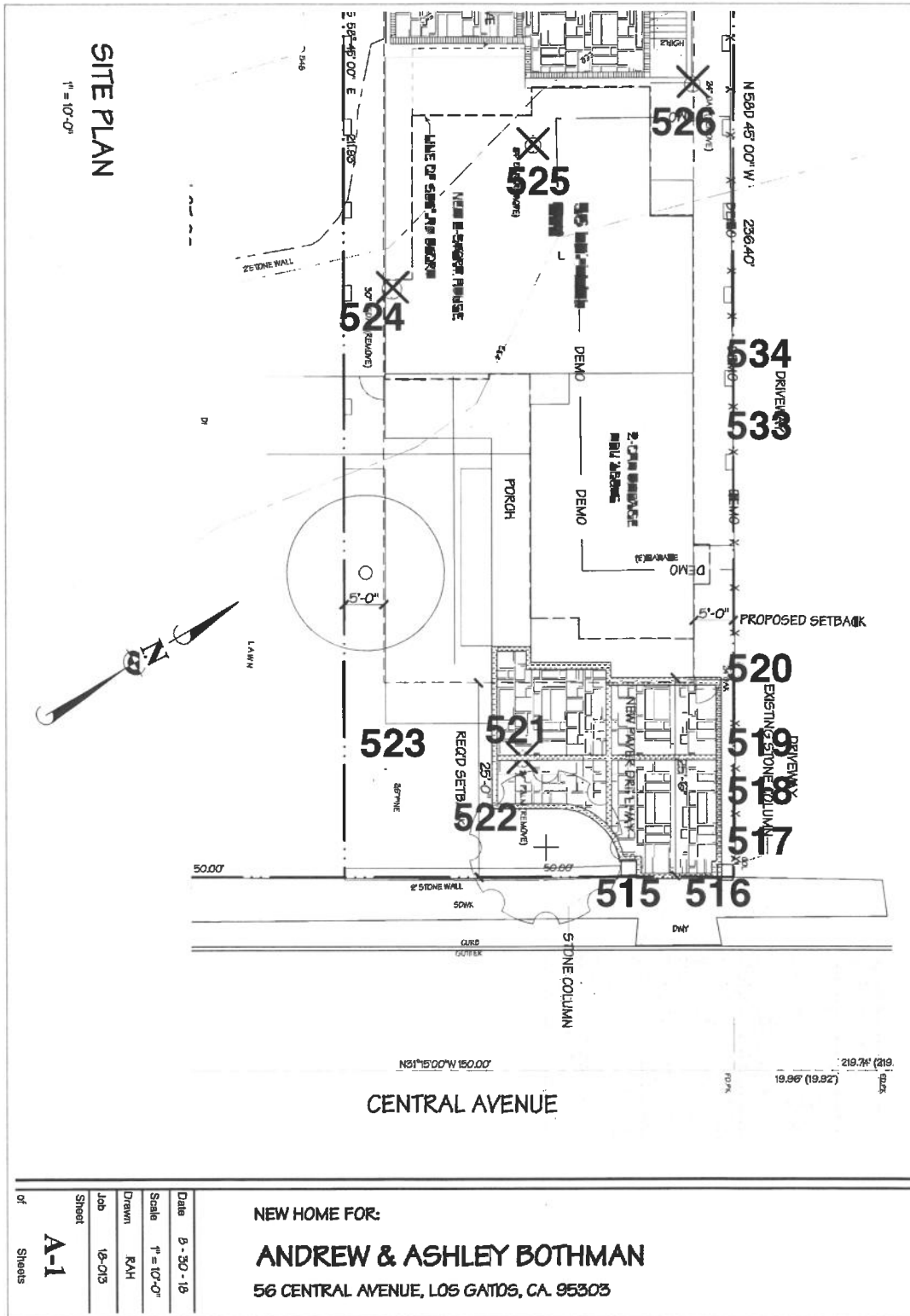
Volunteer: A tree, not planted by human hands, that begins to grow on residential or commercial property. Unlike trees that are brought in and installed on property, volunteer trees usually spring up on their own from seeds placed onto the ground by natural causes or accidental transport by people. Normally, volunteer trees are considered weeds and removed, but many desirable and attractive specimens have gone on to become permanent residents on many public and private grounds.



Appendix A: Tree Inventory Map and Site Plan A1: West Portion



East Portion



Appendix B: Tree Inventory and Assessment Tables

B1: Inventory and Assessment

Table 3: Inventory and Assessment

Tree Species	I.D. #	Trunk Diameter (in.)	~ Height (ft.)	~ Canopy Diameter (ft.)	Condition	Suitability	Impact	Status
Italian cypress (<i>Cupressus sempervirens</i>)	515	8	35	4	Good	Fair	Low	Protected
Italian cypress (<i>Cupressus sempervirens</i>)	516	12	35	4	Good	Fair	Low	Protected
coast live oak (<i>Quercus agrifolia</i>)	517	11	25	25	Poor	Fair	Moderate-High	Protected
coast live oak (<i>Quercus agrifolia</i>)	518	9	25	25	Poor	Fair	Moderate-High	Protected
coast live oak (<i>Quercus agrifolia</i>)	519	12	25	25	Fair	Fair	Moderate-High	Protected
coast live oak (<i>Quercus agrifolia</i>)	520	28	45	38	Good	Fair	Moderate-High	Large Protected
Canary Island date palm (<i>Phoenix canariensis</i>)	521	24	40	20	Good	Poor	High	Protected
orange (<i>Citrus sinensis</i>)	522	4	6	6	Poor	Poor	High	Exempt
stone pine (<i>Pinus pinea</i>)	523	34	55	50	Poor	Poor	High	Protected
deodar cedar (<i>Cedrus deodara</i>)	524	27	55	45	Fair	Poor	High	Protected
coast live oak (<i>Quercus agrifolia</i>)	525	22	45	40	Fair	Fair	High	Protected



Tree Species	I.D. #	Trunk Diameter (in.)	~ Height (ft.)	~ Canopy Diameter (ft.)	Condition	Suitability	Impact	Status
coast live oak (<i>Quercus agrifolia</i>)	526	27	45	40	Fair	Fair	High	Large Protected
blue oak (<i>Quercus douglasii</i>)	527	24	45	40	Fair	Fair	High	Large Protected
blue oak (<i>Quercus douglasii</i>)	528	28	55	50	Fair	Fair	Low	Large Protected
coast live oak (<i>Quercus agrifolia</i>)	529	16	30	30	Fair	Fair	Low	Protected
coast live oak (<i>Quercus agrifolia</i>)	530	5	15	10	Fair	Fair	High	Protected
coast live oak (<i>Quercus agrifolia</i>)	531	15	30	30	Fair	Fair	Moderate-High	Protected
bay laurel (<i>Umbellularia californica</i>)	532	4	20	10	Fair	Fair	High	Protected
coast live oak (<i>Quercus agrifolia</i>)	533	13	35	30	Fair	Fair	Moderate-High	Protected
coast live oak (<i>Quercus agrifolia</i>)	534	13	35	30	Fair	Fair	Moderate-High	Protected



B2: Appraisal Summary

Table 4: Appraisal Summary

Tree Species	I.D. #	Trunk Diameter (in.)	Species Rating	Condition	Location	Rounded Value
Italian cypress (<i>Cupressus sempervirens</i>)	515	8	50.00%	75.0%	63.33%	\$620.00
Italian cypress (<i>Cupressus sempervirens</i>)	516	12	50.00%	75.0%	63.33%	\$1,300.00
coast live oak (<i>Quercus agrifolia</i>)	517	11	90.00%	25.0%	63.33%	\$660.00
coast live oak (<i>Quercus agrifolia</i>)	518	9	90.00%	25.0%	63.33%	\$460.00
coast live oak (<i>Quercus agrifolia</i>)	519	12	90.00%	50.0%	63.33%	\$1,560.00
coast live oak (<i>Quercus agrifolia</i>)	520	28	90.00%	75.0%	63.33%	\$12,100.00
Canary Island date palm (<i>Phoenix canariensis</i>)	521	24	90.00%	75.0%	63.33%	\$15,100.00
orange (<i>Citrus sinensis</i>)	522	4	70.00%	25.0%	63.33%	\$150.00
stone pine (<i>Pinus pinea</i>)	523	34	70.00%	25.0%	63.33%	\$3,600.00
deodar cedar (<i>Cedrus deodara</i>)	524	27	70.00%	50.0%	63.33%	\$5,800.00
coast live oak (<i>Quercus agrifolia</i>)	525	22	90.00%	50.0%	63.33%	\$5,000.00
coast live oak (<i>Quercus agrifolia</i>)	526	27	90.00%	50.0%	63.33%	\$7,500.00
blue oak (<i>Quercus douglasii</i>)	527	24	90.00%	50.0%	63.33%	\$10,000.00
blue oak (<i>Quercus douglasii</i>)	528	28	90.00%	50.0%	63.33%	\$13,600.00
coast live oak (<i>Quercus agrifolia</i>)	529	16	90.00%	50.0%	63.33%	\$2,700.00
coast live oak (<i>Quercus agrifolia</i>)	530	5	90.00%	50.0%	63.33%	\$540.00
coast live oak (<i>Quercus agrifolia</i>)	531	15	90.00%	50.0%	63.33%	\$2,390.00
bay laurel (<i>Umbellularia californica</i>)	532	4	70.00%	50.0%	63.33%	\$490.00

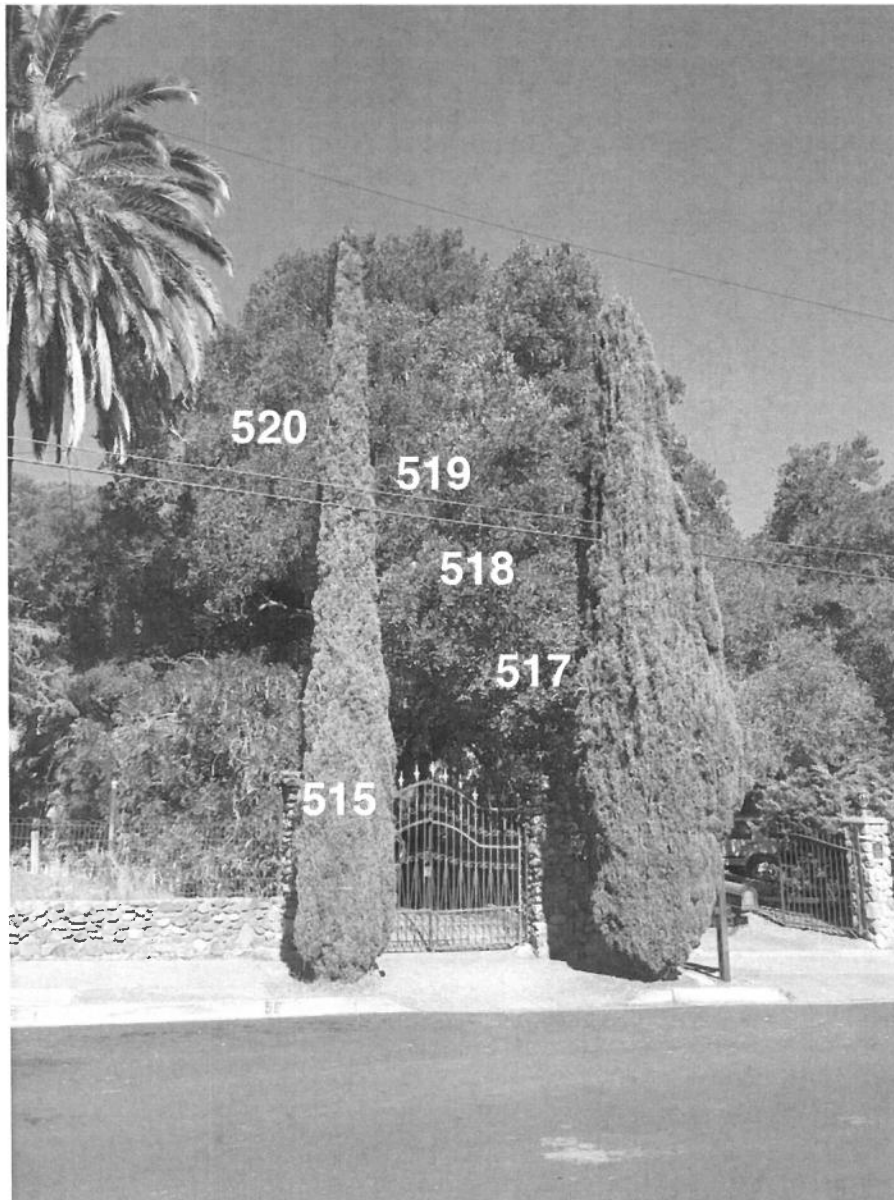


Tree Species	I.D. #	Trunk Diameter (in.)	Species Rating	Condition	Location	Rounded Value
coast live oak (<i>Quercus agrifolia</i>)	533	13	90.00%	50.0%	63.33%	\$1,820.00
coast live oak (<i>Quercus agrifolia</i>)	534	13	90.00%	50.0%	63.33%	\$1,820.00

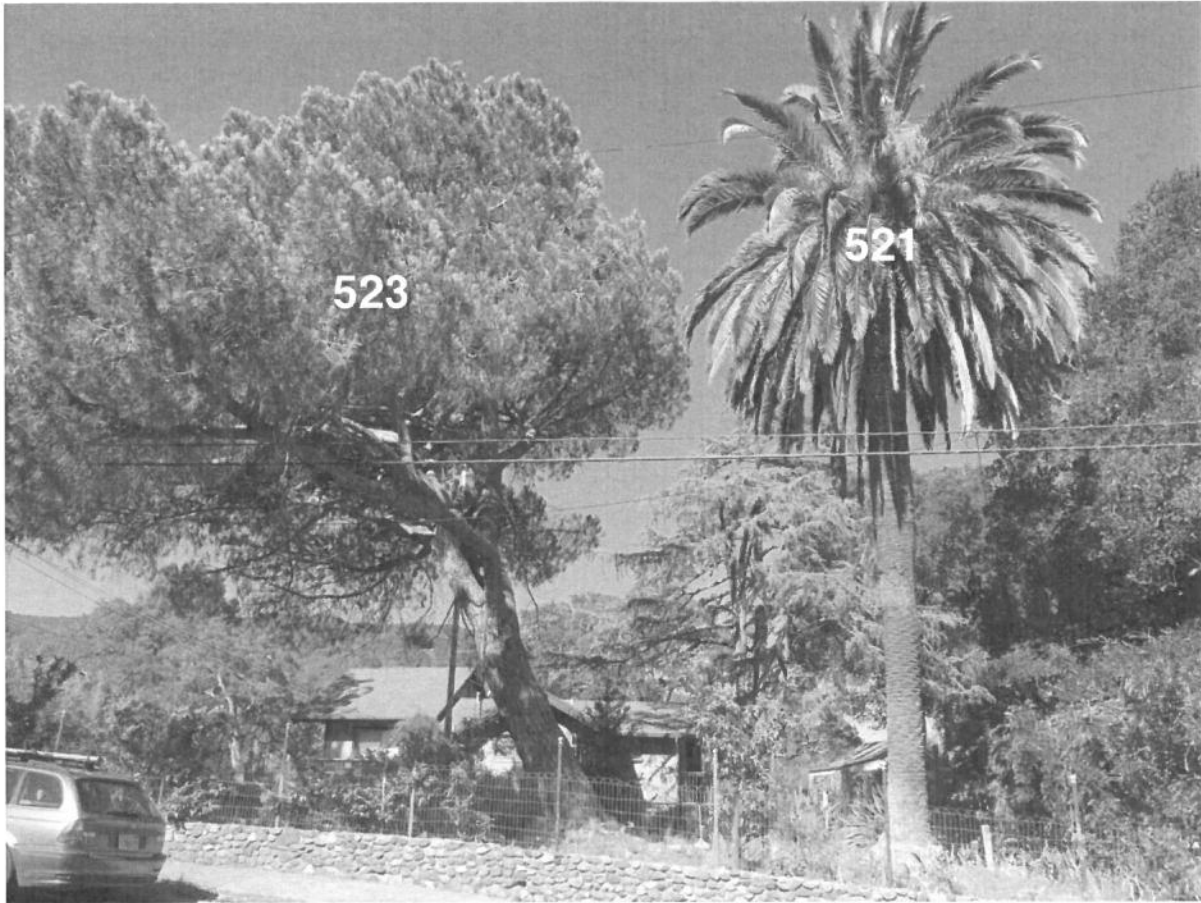


Appendix C: Photographs

C1: Cypress 515 and 516, Oaks 517 through 520



C2: Palm 521 and stone pine 523



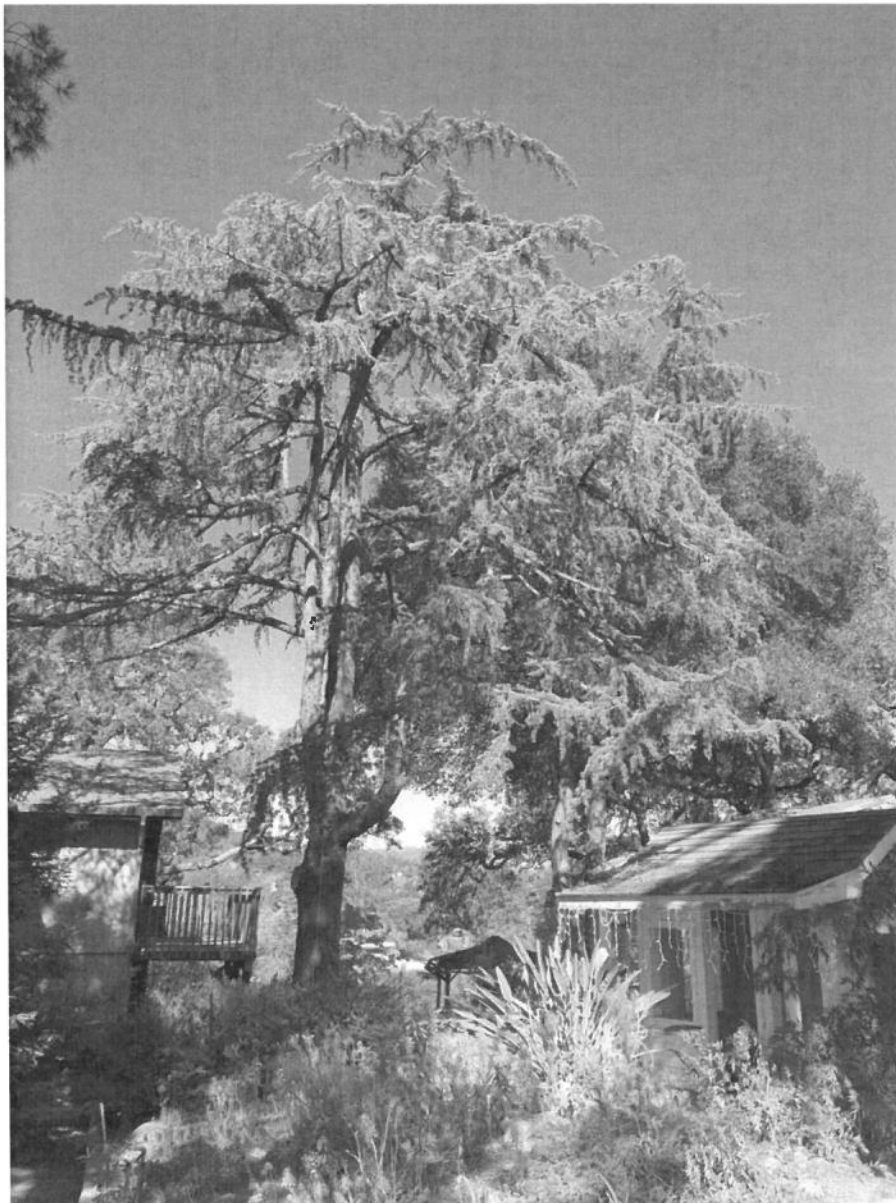
C3: Blue oak 527



C4: Coast live oaks 525 and 526



C5: Deodar cedar 524



C6: Coast live oak 531



C7: Oaks 517 through 520 and 532 and 533 along northeast boundary



Appendix D: Tree Protection Guidelines

Section 29.10.1005. - Protection of Trees During Construction

Tree Protection Zones and Fence Specifications

1. **Size and materials:** Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.
2. **Area type to be fenced:** Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown): orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.
3. **Duration of Type I, II, III fencing:** Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.
4. **Warning Sign:** Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning—Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025." Text on the signs should be in both English and Spanish (Appendix E).

All persons, shall comply with the following precautions

1. Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The dripline shall not be altered in any way so as to increase the encroachment of the construction.
2. Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approved by the Director.
3. Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree.
4. Prohibit the attachment of wires, signs or ropes to any protected tree.
5. Design utility services and irrigation lines to be located outside of the dripline when feasible.



6. Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.
7. The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.

Monitoring

Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.

The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

Root Pruning

Roots greater than two inches in diameter shall not be cut. When roots over two inches in diameter are encountered and are authorized to be cut or removed, they should be pruned by hand with loppers, handsaw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond sinker roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with burlap or backfilled within one hour.

Boring or Tunneling

Boring machines should be set up outside the drip line or established Tree Protection Zone. Boring may also be performed by digging a trench on both sides of the tree until roots one inch in diameter are encountered and then hand dug or excavated with an Air Spade® or similar air or water excavation tool. Bore holes should be adjacent to the trunk and never go directly under the main stem to avoid oblique (heart) roots. Bore holes should be a minimum of three feet deep.

Tree Pruning and Removal Operations

All tree pruning or removals should be performed by a qualified arborist with a C-61/D-49 California Contractors License. Treatment, including pruning, shall be specified in writing according to the most recent ANSI A-300A Standards and Limitations and performed according to ISA Best Management Practices while adhering to ANSI Z133.1 safety standards. Trees that need to be removed or pruned should be identified in the pre-construction walk through.



Appendix E: Tree Protection Signs
E1: English

Warning Tree Protection Zone

This Fence Shall Not Be Removed
And Is Subject To Penalty According To
Town Code 29.10.1025



E2: Spanish

Cuidado Zona De Arbol Pretejido

Esta valla no podrán ser sacados
Y está sujeta a sanción en función de
Código Ciudad del 29.101025



Qualifications, Assumptions, and Limiting Conditions

Any legal description provided to the consultant is assumed to be correct. Any titles or ownership of properties are assumed to be good and marketable. All property is appraised or evaluated as though free and clear, under responsible ownership and competent management.

All property is presumed to be in conformance with applicable codes, ordinances, statutes, or other regulations.

Care has been taken to obtain information from reliable sources. However, the consultant cannot be responsible for the accuracy of information provided by others.

The consultant shall not be required to give testimony or attend meetings, hearings, conferences, mediations, arbitration, or trials by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.

This report and any appraisal value expressed herein represent the opinion of the consultant, and the consultant's fee is not contingent upon the reporting of a specified appraisal value, a stipulated result, or the occurrence of a subsequent event.

Sketches, drawings, and photographs in this report are intended for use as visual aids, are not necessarily to scale, and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is only for coordination and ease of reference. Inclusion of said information with any drawings or other documents does not constitute a representation as to the sufficiency or accuracy of said information.

Unless otherwise expressed: a) this report covers only examined items and their condition at the time of inspection; and b) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that structural problems or deficiencies of plants or property may not arise in the future.



Certification of Performance

I Richard Gessner, Certify:

That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and/or appraisal is stated in the attached report and Terms of Assignment;

That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;

That the analysis, opinions and conclusions stated herein are my own;

That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;

That no one provided significant professional assistance to the consultant, except as indicated within the report.

That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any other subsequent events;

I further certify that I am a Registered Consulting Arborist® with the American Society of Consulting Arborists, and that I acknowledge, accept and adhere to the ASCA Standards of Professional Practice. I am an International Society of Arboriculture Board Certified Master Arborist®. I have been involved with the practice of Arboriculture and the care and study of trees since 1998.

Richard J. Gessner



ASCA Registered Consulting Arborist® #496
ISA Board Certified Master Arborist® WE-4341B
ISA Tree Risk Assessor Qualified
CA Qualified Applicators License QL 104230

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January 23, 2019

Andrew and Ashley Bothman
226 Sunnyside Avenue
Campbell, California 95008

Subject: 56 Central Avenue, Los Gatos – Initial Focused Survey of Palm Tree for Nesting Owls
(HTH #4277)

Dear Mr. and Ms. Bothman:

Per your request, H. T. Harvey & Associates has conducted an initial focused survey for nesting owls in a date palm tree (*Phoenix dactylifera*) located on the project site at 56 Central Avenue in Los Gatos, California. It is our understanding that this palm tree, along with a number of other trees, are to be removed from the project site as part of proposed development activities and that the Town of Los Gatos' Conditions of Approval (COA) requires two preconstruction surveys for nesting birds prior to the initiation of project activities. We also understand that an Arborist Report completed for the project site in October 2018 mentioned that owls were nesting in a cavity under the lowest fronds of the date palm tree. We further understand that project construction activities are expected to start in May or June 2019. This report summarizes the results of our initial focused survey of the date palm tree, measures implemented to reduce the potential for an owl to nest in the tree prior to its removal, and additional recommendations for avoiding constraints to your project from nesting owls.

On the morning of January 22, H. T. Harvey & Associates wildlife ecologist/ornithologist Craig Fosdick, M.S., surveyed the palm tree on the project site for the presence of owls or suitable owl nesting habitat. Mr. Fosdick searched the base of the tree for signs of owl presence (i.e., whitewash, pellets, and feathers), and scanned the palm tree as well as the immediate surroundings with binoculars for evidence of owls. In addition, under Mr. Fosdick's direction and guidance, Chris Bellizzi of Bellizzi Tree Service climbed the palm tree and carefully inspected the tree, including all cavities and ledges located under the base of the lowest live fronds, for any evidence indicating the presence of owls or an active owl nest. Mr. Fosdick observed with binoculars from immediately under the tree, watching and listening for any owls leaving the tree. No eggs, nestlings, nor any other signs of an active owl nest were observed in the palm tree. However, Mr. Fosdick found several owl pellets on the ground, less than 5 feet from the base of the palm tree, directly underneath a large cavity among the fronds, indicating that a barn owl (*Tyto alba*) recently roosted in the tree.

Under the guidance of Mr. Fosdick, Mr. Bellizzi was able to carefully inspect all cavities and ledges under the live palm fronds, and then remove all platforms and cavities formed by the bases of the dead palm fronds to minimize the potential for barn owls to establish a nest in the palm tree prior to tree removal. While we originally

had proposed to use materials to block the cavities and platform ledges, we found it was more effective to simply remove the dead fronds that formed the cavities. However, Mr. Bellizzi was not able to climb above the bottom of the crown of live palm fronds.

It is unlikely that owls would nest in the crown of the fronds, now that we have removed the cavities below the fronds, as nesting in the crown would expose nesting owls to the elements and potentially to predators such as great horned owls (*Bubo virginianus*). However, given that owls have apparently nested in this tree in the past, we cannot rule out the possibility that barn owls could attempt nesting in the crown. Therefore, we would recommend trimming all live fronds from the palm tree to prevent owls from potentially nesting in the crown of the tree as soon as possible.

Please do not hesitate to contact me at speterson@harveyecology.com or (408) 458-3230 with any questions you may have about this report. Thank you very much for contacting H. T. Harvey & Associates about this project.

Sincerely,

A handwritten signature in black ink, appearing to read 'Stephen L. Peterson', written in a cursive style.

Stephen L. Peterson, M.S.
Project Manager, Senior Wildlife Ecologist



**TOWN OF LOS GATOS
DEVELOPMENT REVIEW
COMMITTEE REPORT**

**MINUTES OF THE DEVELOPMENT REVIEW COMMITTEE MEETING
JULY 30, 2019**

The Development Review Committee of the Town of Los Gatos conducted a Regular Meeting on July 30, 2019, at 10:00 a.m.

ROLL CALL

Present: Sally Zarnowitz, CDD Planning; Robert Gray, CDD Building; Kevin Bagley, PPW Engineering; Tracy Staiger, SCCFD

MEETING CALLED TO ORDER AT 10:00 AM

PLEDGE OF ALLEGIANCE

Robert Gray led the Pledge of Allegiance.

VERBAL COMMUNICATIONS

- None

PUBLIC HEARINGS

1. 56 Central Avenue
Architecture and Site Application S-18-050

Requesting approval for demolition of an existing accessory structure, construction of a new single-family residence with reduced setbacks, and removal of large protected trees on property zoned R-1:10. APN 529-35-068.

PROPERTY OWNER: Andrew and Ashley Bothman

APPLICANT: Richard Hartman

PROJECT PLANNER: Jocelyn Shoopman

Jocelyn Shoopman, Associate Planner, presented the staff report.

Opened Public Comment.

Susan Branch

- She lives at 7 Central Court. She is concerned about the reduction in side setbacks, and the removal of trees in the neighborhood of older one-story homes. There are other

new homes in the area that do not have reduced side setbacks. She objects to the removal of the Blue Oak (Tree # 527) in the side setback.

Lesley Morley

- She lives at 60 Central Avenue adjacent to the subject site. She is concerned about the removal of trees, which provide screening from her property; and the distance from her home to the proposed home, particularly to the proposed balcony. The property line should be surveyed; the grading should be done with care, especially with the tree removals; and the home should not block her hillside views.

Staff noted that conditions of approval could be added that along the southern elevation adjacent to 60 Central Avenue: windows be clerestory or frosted, the balcony be screened with vegetation and/or lattice, and additional screening trees be planted.

Closed Public Comment

Committee members discussed the matter.

MOTION: **Motion** by Robert Gray to continue to August 13, 2019. **Seconded** by Tracy Staiger.

VOTE: **Motion passed unanimously.**

2. 1 N. Santa Cruz Avenue
Conditional Use Permit Application U-19-008

Requesting approval for a Conditional Use Permit for a restaurant with beer and wine service (Oren's Hummus) on property zoned C-2:LHP. APN 510-44-077.

PROPERTY OWNER: James E. Brady

APPLICANT: Ahmad Mohazab

PROJECT PLANNER: Sean Mullin

Sean Mullin, Associate Planner, presented the staff report. The project description has been corrected and the project has been re-noticed for the August 6, 2019 Development Review Committee meeting.

Opened and closed Public Comment.

Committee members discussed the matter.

MOTION: **Motion** by Robert Gray to drop the item from the agenda for consideration at the August 6, 2019 meeting.

Seconded by Kevin Bagley.

VOTE: **Motion passed unanimously.**

OTHER BUSINESS

- None

ADJOURNMENT

The meeting adjourned at 10:20 a.m.

Prepared by:

/s/ Sally Zarnowitz, Planning Manager

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**TOWN OF LOS GATOS
DEVELOPMENT REVIEW
COMMITTEE REPORT**

**MINUTES OF THE DEVELOPMENT REVIEW COMMITTEE MEETING
AUGUST 13, 2019**

The Development Review Committee of the Town of Los Gatos conducted a Regular Meeting on August 13, 2019 at 10:00 a.m.

ROLL CALL

Present: Sally Zarnowitz, CDD Planning; Robert Gray, CDD Building; Kevin Bagley, PPW Engineering; Mike Weisz, PPW Engineering; Katherine Baker, SCCFD

MEETING CALLED TO ORDER AT 10:00 AM

PLEDGE OF ALLEGIANCE

Committee members recited the Pledge of Allegiance. The audience was invited to participate.

VERBAL COMMUNICATIONS

- None

PUBLIC HEARINGS

1. 16336 Shady View Lane
Architecture and Site Application S-18-060

Requesting approval for demolition of an existing single-family residence and construction of a new single-family residence on property rezoned R-1:8.
APN 532-03-034.

PROPERTY OWNER: Allan and Katty Coulson

APPLICANT: Lerika Liscano, De Mattei Construction

PROJECT PLANNER: Ryan Safty

Ryan Safty, Associate Planner, presented the staff report.

Opened Public Comment.

Matt Currie

- He lives at 16330 Shannon Road adjacent to the subject site and strongly opposes the project. He objects to the second floor balcony which impacts their privacy, and the second floor massing which is unarticulated along the side elevation facing their property. Their two-story home was leveraged to allow new construction that is

inappropriate, ignoring certain provisions of the Design Guidelines. Consistency and predictability are needed.

Carrie Currie

- She also lives at 16330 Shannon Road adjacent to the subject site and opposes the project. They had to articulate the roofline on their two-story house, and she had hoped for some sensitivity. She is concerned about the safety of the new driveway on Shannon Road, the massing of the second story along the side property line with a roofline that lacks articulation, and the privacy of the second story balcony that encroaches on their privacy. They tried to work with their neighbors in the construction of their house and would like to see collaboration here.

Bob Boschert

- He lives at 16310 Shannon Road near the subject site and received notice of the hearing for the new house.

The applicant noted that the project is more complicated because it is on a corner lot. They've worked to respond to the neighbors' requests by incorporating raised window sill heights and obscured glass at the second story along the side property line, increased setbacks and a screening wall at the second floor balcony, and additional trees added to the landscape plan to address privacy along the side property line.

Closed Public Comment.

Committee members discussed the matter.

MOTION: **Motion by Robert Gray to approve. Seconded by Mike Weisz.**

VOTE: **Motion passed unanimously.**

2. 56 Central Avenue
Architecture and Site Application S-18-050

Requesting approval for demolition of an existing accessory structure, construction of a new single-family residence with reduced setbacks, and removal of large protected trees on property zoned R-1:10. APN 529-35-068.

PROPERTY OWNER: Andrew and Ashley Bothman

APPLICANT: Richard Hartman

PROJECT PLANNER: Jocelyn Shoopman

Continued from July 30, 2019

Jocelyn Shoopman, Associate Planner, presented the staff report.

Opened Public Comment.

Ashley Bothman

- She and her husband are the applicants and look forward to raising their family in Los Gatos. They have worked to address their neighbors' concerns and build relationships.

Lesley Morley

- She lives at 60 Central Avenue adjacent to the subject site and opposes the reduced side setback along her property. She has requested that a survey be conducted prior to Planning approval, and the balconies be screened and reduced in size.

Susan Branch

- She lives at 7 Central Court and is concerned about the reduced side setbacks.

Andrew Bothman

- They have correspondence about the reduced side setbacks during the negotiations with the adjacent neighbor who sold them the property. They have agreed to raise the windows, screen the balcony, and plant six 15-gallon trees along the southern property line to achieve greater privacy.

Closed Public Comment.

Committee members discussed the matter.

MOTION: **Motion by Kevin Bagley to approve. Seconded by Robert Gray.**

VOTE: **Motion passed unanimously.**

OTHER BUSINESS

- None

ADJOURNMENT

The meeting adjourned at 10:30 a.m.

Prepared by:

/s/ Sally Zarnowitz, Planning Manager

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**TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT**
110 E. Main Street
Los Gatos, CA 95030

PAID
AUG 23 2019
TOWN OF LOS GATOS
BP2998

**APPEAL OF THE DECISION OF
DEVELOPMENT REVIEW COMMITTEE**

PLEASE TYPE or PRINT NEATLY

I, the undersigned, do hereby appeal a decision of the DEVELOPMENT REVIEW COMMITTEE as follows:

DATE OF DECISION: 8/13/19
PROJECT/APPLICATION: S-18-050
LOCATION: 54 Central Ave.
Los Gatos, CA 95030

RECEIVED
AUG 23 2019
TOWN OF LOS GATOS
PLANNING DIVISION

LIST REASONS WHY THE APPEAL SHOULD BE GRANTED:

see attached letter.

(If more space is needed, attach additional sheets.)

IMPORTANT:

1. Appeal must be filed not more than ten (10) days after the decision is rendered by the Development Review Committee. If the tenth (10th) day is a Saturday, Sunday, or Town holiday, then the appeal may be filed on the workday immediately following the tenth (10th) day, usually a Monday.
2. The appeal shall be set for the first regular meeting of the Planning Commission which the business of the planning commission will permit, more than five (5) after the date of the filing of the appeal. The Planning Commission may hear the matter a new and render a new decision in the matter.
3. You will be notified, in writing, of the appeal date.
4. Contact the project planner to determine what material is required to be submitted for the public hearing.

RETURN APPEAL FORM TO COMMUNITY DEVELOPMENT DEPARTMENT

PRINT NAME: Leslie Morley SIGNATURE: Leslie Morley
DATE: 8/23/19 ADDRESS: 60 Central Ave.
PHONE: 408 656-7100 EMAIL: lmorley@serenogroup.com

OFFICE USE ONLY

DATE OF PLANNING COMMISSION HEARING: _____
COMMISSION ACTION: 1. _____ DATE: _____
2. _____ DATE: _____
3. _____ DATE: _____

PLAPPEAL \$ 221.00 Residential
PLAPPEAL \$ 882.00 Commercial
PLAPPEAL \$ 90.00 Tree Appeals

07/01/2019

AUG 23 2019

TOWN OF LOS GATOS
PLANNING DIVISION

Designed residence is too close to the existing house ~~on~~ at 60 Central Ave. The top of the first floor is 7 feet above the master bedroom balcony of my ~~house~~^{home} due to their elevation difference, basement and ceiling ht.

Their house will block my view and morning sun. The building at one point will be 3 feet from the closest edge of my balcony. It will make my bedrooms dark and I will lose privacy for ~~the~~^{the} balcony.

I believe that there are no other properties, except 60 Central that ~~are~~ have 5' or less setbacks on Central Ave. on both sides.

Response to Appeal Letter Received 8/23/19

In response to the appeal letter received on 8/23/19, below is a list of items that we have provided or included to address the issues in the letter:

1. The owners of 56 Central Ave have included a justification letters for the 5' side setbacks (as referenced in the attachments in the staff report). In quick summary, the home at 56 Central Ave or its Garage cannot be accessed from the rear of the property off of Oak Hill Way due to the severe slope and elevation change. In addition, the Design Team is also abiding to the Town's hillside guidelines for this non-conforming lot for grading restrictions and front and rear setbacks as well. On one side of the property (North side), the property abuts to a flag lot and driveway, with the closest residence being approximately 50 feet away. Many other residences on Central Avenue have less than 5' setbacks as identified in our justification letters. Including: all of Leslie Morley's lots and her adjacent neighbor at 64 Central Avenue (again referenced in the attachments provided in the staff report). Thus, it is our opinion that the current design fits nicely within the existing neighborhood's conditions. Especially so, considering one side of the 56 Central Avenue is adjacent to a flag lot, creating large separation between homes. It has also been communicated that Leslie Morley's existing house at 60 Central Avenue will likely and eventually be demolished and developed at some time in the near future.
2. The homeowner at 60 Central Avenue (and original owner of 56 Central Avenue – split from the old property) was also made aware of the difficult hillside lot and was noticed when selling the property that we would like to have 5' side setbacks due to the nature of not being able to access from Oak Hill Way and working with a limited width of the lot of 50 feet. See attached e-mail from Leslie Morley prior to the sale of her lot at 56 Central Ave documenting our constant communication with 5' side setbacks and even including her suggestion on making it a requirement of our contingency to close the real estate contract, which we both agreed to (Exhibit 1). Leslie had also communicated on several occasions directly with the Planning department requesting if 5' setbacks would be possible when selling the land. Leslie was handsomely compensated for her lot sale, and was always aware there would be a new house here that would impede some of her view with the 5' setbacks. She marketed and sold the lot with this promise, and is now appealing for larger setbacks after the sale was complete and her compensation received.
3. With regards to the balcony at 60 Central Ave: the lot line adjustment also required the removal of her balcony as it crosses over onto 56 Central's lot as identified in the topographic survey (Exhibit 2). With the removal of the balcony as required from the sale and lot split, there was always going to be an impact to her view/balcony, and she was well aware when splitting her lot up into 3 parcels. There were several conversations over the last year and half where she had stated that she would need to remove her balcony (or a significant portion thereof) due to it overhanging the property line.
4. Careful consideration was taken in the current design of 56 Central Avenue. With tough parameters of setbacks, hillside guidelines, no access from Oak Hill Way, and keeping with the natural lay of the land and concern for impacts to the community, the design was carefully crafted such that we tried to keep as many trees as possible while being conscious of fire hazard and safety concerns. Only trees highly impacted or with fair or poor condition by the City arborist were requested for removal.
5. Careful consideration of massing was also taken into account as the bulk of the main house (exclusive of garage) is setback from the frontage by almost 60+ feet, much of which falls below grade. Many trees along the North side were salvaged with the design to create and maintain a nice tree canopy while also

taking into account fire hazard concerns. The north side of the home is setback close to 50+ feet from the adjacent homes (as referenced above and in attachments in staff report). The south side of the garage is also setback close to 30+ feet from the 60 Central Ave property line as well. Only the existing home at 60 Central Avenue, which is currently 5' setback from the property line, after the lot split, is minorly impacted for only a small portion of the length of the home. All, as previously noted, was agreed to at the time of the sale of the lot.

6. Despite the data and history above, while also abiding by the Town Guidelines for development, the Owners of 56 Central Avenue have worked tirelessly with Leslie Morley to address the privacy concerns and have revised plans to accommodate many of the requests, including but not limited to revising the plans as follows:
 - a. Raising windows of the home as desired by Leslie Morley along the South side of the house to create additional privacy.
 - b. Adding privacy screening trees (6 total) at the property line at the request of Leslie Morley to create further privacy and foliage between the homes.
 - c. Adding a privacy screening wall at the master balcony at the request of Leslie Morley.
 - d. Constructing a brand new 6' high good neighbor fence at our expense to create further privacy for Leslie.

7. Lastly, we have many testimonials from neighbors close to Central Avenue and residents of the Los Gatos community who are showing support for the project. (letters included in the staff report)

In summary, the Bothman Family, which consists of Andrew, Ashley and their 15 month old daughter Juliana, have taken careful consideration in their design with strict adherence to Town guidelines, have worked with and changed the design to facilitate the needs of the neighbor and community over the last 1.5 years, and are excited to potentially move through the approval process to continue the process of building their primary residence and become a part of the Los Gatos community. Andrew and Ashley are not developers or looking to build and sell this home, they are a young family that is looking to bring great energy and contribution to the community. Andrew graduated from Los Gatos High School in 2003, grew up in the Town of Los Gatos, and has parents who have also lived here as contributors to the Los Gatos Community for decades. Nothing would make this family happier than to continue the Los Gatos tradition of raising a family here and contributing to the community which we grew up in and fell in love with. We are hopeful the planning commission and DRC will review all the facts and data we have provided and agree with the project and move it forward with an approval.

Thank you and should you have any questions or concerns feel free to contact us.

Andrew, Ashley and Juliana Bothman

Andrew.bothman@bothman.com 408-529-7833

Ashley.bothman@gmail.com 408-398-7328

Andrew Bothman

To: Leslie Morley
Subject: RE: POF

From: Leslie Morley <lmorley@serenogroup.com>
Sent: Monday, January 29, 2018 3:16 PM
To: Andrew Bothman <andrew.bothman@bothman.com>
Subject: Re: POF

Hi Andrew,

This lot is a non-conforming lot in the zone. The town has the ability to change setback requirements on non-conforming lots. It is 50-foot frontage and I have been told by the town that it will be 5-foot side setbacks. We should get confirmation on that. It can be a contingency. I am going to gather questions for the head planner and try to get a written response. It is a buildable lot.

I just have a pdf of the tentative map. The lot is 50' frontage, 236.4 on the longest side 211.93 and approximately 56' on the bottom (Oak Hill) side.

Best regards,



Oh, by the way, I am never too busy for your referrals. Referrals are the heart of my business.

On Mon, Jan 29, 2018 at 10:49 AM, Andrew Bothman <andrew.bothman@bothman.com> wrote:

Hey Leslie,

I have a couple of questions, not sure if you can answer.

1. Can you send over the plot map that we were reviewing in electronic form?
2. Per the Town records it looks like the subject property 56 Central Avenue is deemed R1:10 zoning. Per this zoning there needs to be an 80' frontage in order to build and lot at least 100' deep. Can you let me know what the total frontage measurement is and total lot depth?

Thank you.

ANDREW BOTHMAN

VP Project Management

Robert A. Bothman Construction

www.bothman.com

[2690 Scott Boulevard, Santa Clara, CA 95050](#)

Phone: [\(408\) 279-2277](#)

Cell: [\(408\) 529-7833](#)

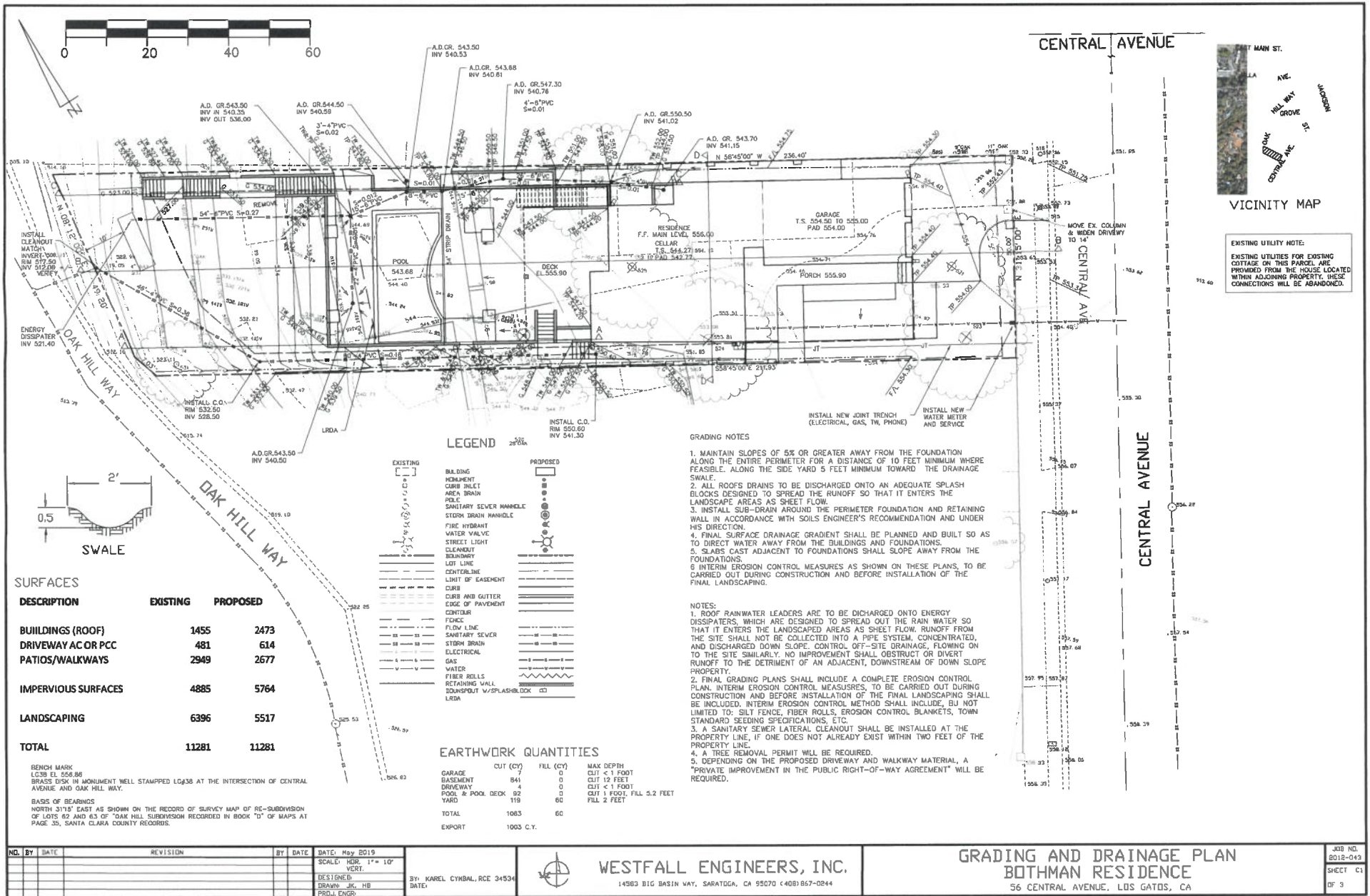
Fax: [\(408\) 279-2281](#)

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SURFACES

DESCRIPTION	EXISTING	PROPOSED
BUILDINGS (ROOF)	1455	2473
DRIVEWAY AC OR PCC	481	614
PATIOS/WALKWAYS	2949	2677
IMPERVIOUS SURFACES	4885	5764
LANDSCAPING	6396	5517
TOTAL	11281	11281

BENCH MARK
 LG38 EL. 556.86
 BRASS DISK IN MONUMENT WELL STAMPED LG38 AT THE INTERSECTION OF CENTRAL AVENUE AND OAK HILL WAY.
 BASES OF BEARINGS
 NORTH 31°15' EAST AS SHOWN ON THE RECORD OF SURVEY MAP OF RE-SUBDIVISION OF LOTS 62 AND 63 OF "OAK HILL SUBDIVISION RECORDED IN BOOK 'D' OF MAPS AT PAGE 35, SANTA CLARA COUNTY RECORDS.

LEGEND

EXISTING	PROPOSED

EARTHWORK QUANTITIES

	CUT (CY)	FILL (CY)	MAX DEPTH
GARAGE	841	0	CUT < 1 FOOT
BASEMENT	841	0	CUT 12 FEET
DRIVEWAY	4	0	CUT < 1 FOOT
POOL & POOL DECK	92	0	CUT 1 FOOT, FILL 5.2 FEET
YARD	119	60	FILL 2 FEET
TOTAL	1063	60	
EXPORT	1003 C.Y.		

GRADING NOTES

1. MAINTAIN SLOPES OF 5% OR GREATER AWAY FROM THE FOUNDATION ALONG THE ENTIRE PERIMETER FOR A DISTANCE OF 10 FEET MINIMUM WHERE FEASIBLE. ALONG THE SIDE YARD 5 FEET MINIMUM TOWARD THE DRAINAGE SWALE.
2. ALL ROOF DRAINS TO BE DISCHARGED ONTO AN ADEQUATE SPLASH BLOCKS DESIGNED TO SPREAD THE RUNOFF SO THAT IT ENTERS THE LANDSCAPE AREAS AS SHEET FLOW.
3. INSTALL SUB-DRAIN AROUND THE PERIMETER FOUNDATION AND RETAINING WALL IN ACCORDANCE WITH SOILS ENGINEER'S RECOMMENDATION AND UNDER HIS DIRECTION.
4. FINAL SURFACE DRAINAGE GRADIENT SHALL BE PLANNED AND BUILT SO AS TO DIRECT WATER AWAY FROM THE BUILDINGS AND FOUNDATIONS.
5. SLABS CAST ADJACENT TO FOUNDATIONS SHALL SLOPE AWAY FROM THE FOUNDATIONS.
6. INTERIM EROSION CONTROL MEASURES AS SHOWN ON THESE PLANS, TO BE CARRIED OUT DURING CONSTRUCTION AND BEFORE INSTALLATION OF THE FINAL LANDSCAPING.

NOTES:

1. ROOF RAINWATER LEADERS ARE TO BE DISCHARGED ONTO ENERGY DISSIPATORS, WHICH ARE DESIGNED TO SPREAD OUT THE RAIN WATER SO THAT IT ENTERS THE LANDSCAPED AREAS AS SHEET FLOW. RUNOFF FROM THE SITE SHALL NOT BE COLLECTED INTO A PIPE SYSTEM, CONCENTRATED, AND DISCHARGED DOWN SLOPE. CONTROL OFF-SITE DRAINAGE, FLOWING ON TO THE SITE SIMILARLY. NO IMPROVEMENT SHALL OBSTRUCT OR DIVERT RUNOFF TO THE DETRIMENT OF AN ADJACENT, DOWNSTREAM OF DOWN SLOPE PROPERTY.
2. FINAL GRADING PLANS SHALL INCLUDE A COMPLETE EROSION CONTROL PLAN. INTERIM EROSION CONTROL MEASURES, TO BE CARRIED OUT DURING CONSTRUCTION AND BEFORE INSTALLATION OF THE FINAL LANDSCAPING SHALL BE INCLUDED. INTERIM EROSION CONTROL METHOD SHALL INCLUDE, BUT NOT LIMITED TO: SILT FENCE, FIBER ROLLS, EROSION CONTROL BLANKETS, TOWN STANDARD SEEDING SPECIFICATIONS, ETC.
3. A SANITARY SEWER LATERAL CLEANOUT SHALL BE INSTALLED AT THE PROPERTY LINE, IF ONE DOES NOT ALREADY EXIST WITHIN TWO FEET OF THE PROPERTY LINE.
4. A TREE REMOVAL PERMIT WILL BE REQUIRED.
5. DEPENDING ON THE PROPOSED DRIVEWAY AND WALKWAY MATERIAL, A "PRIVATE IMPROVEMENT IN THE PUBLIC RIGHT-OF-WAY AGREEMENT" WILL BE REQUIRED.

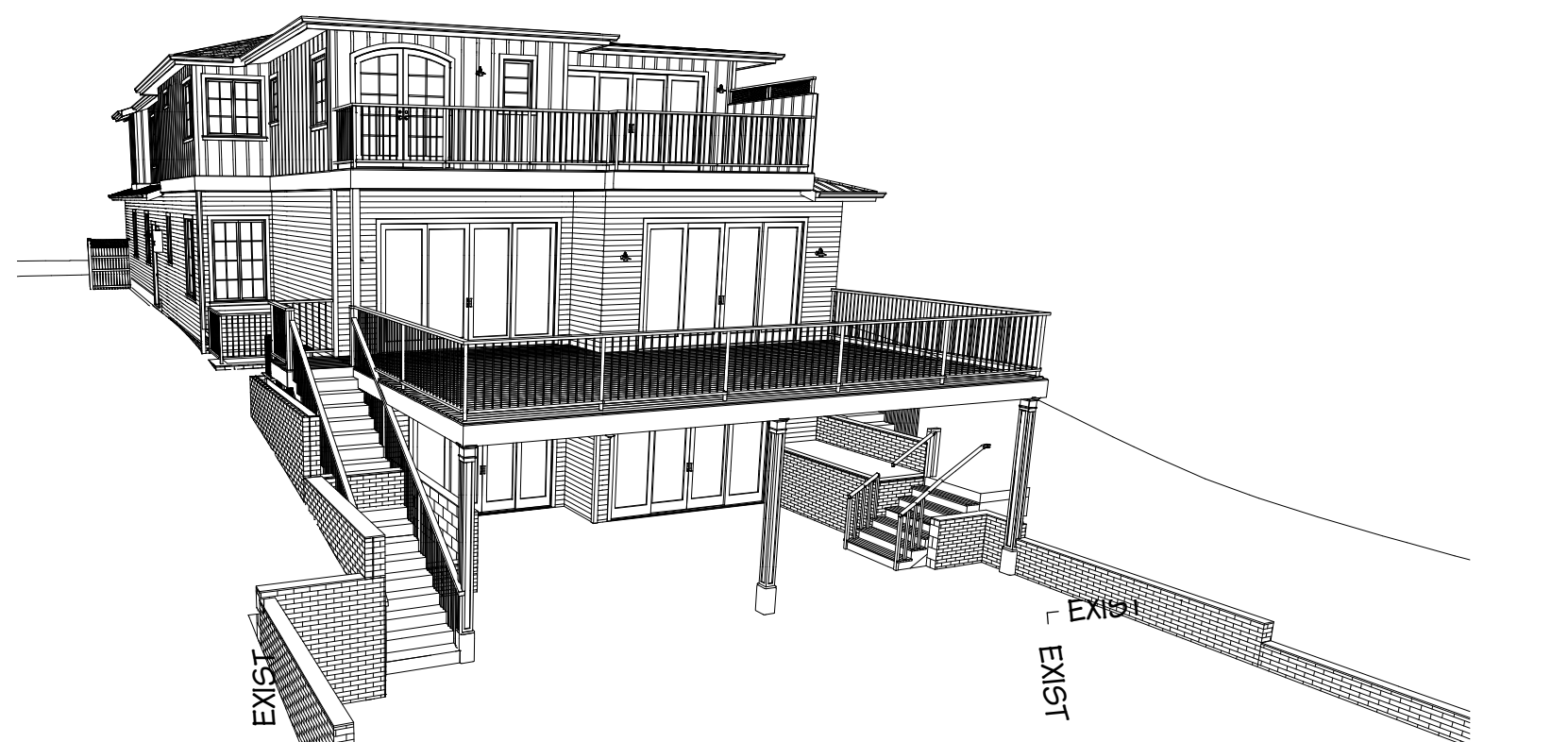
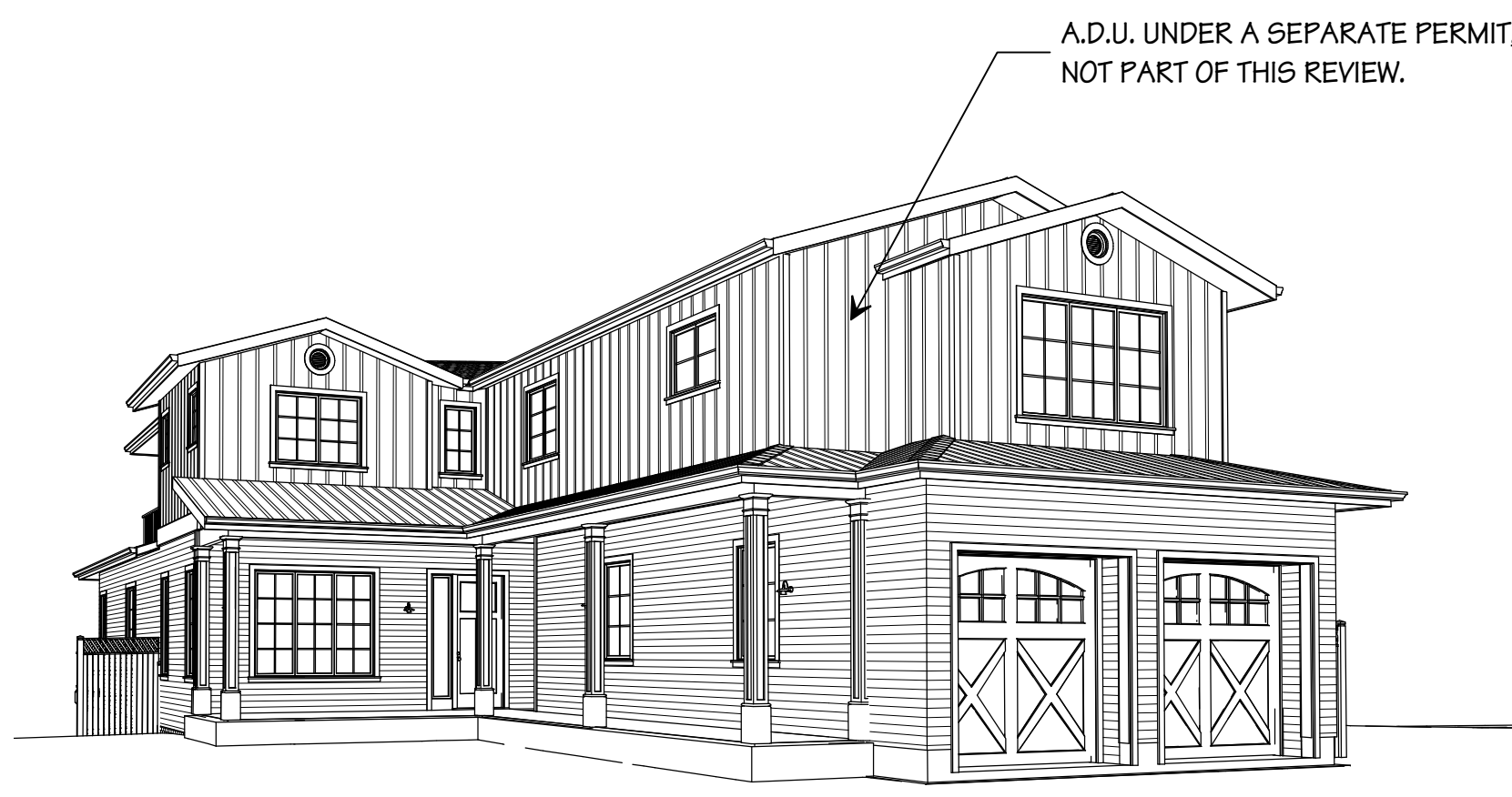
	<p>WESTFALL ENGINEERS, INC. 14963 BIG BASIN WAY, SARATOGA, CA 95070 (408) 867-0844</p>	<p>GRADING AND DRAINAGE PLAN BOTHMAN RESIDENCE 56 CENTRAL AVENUE, LOS GATOS, CA</p>	JOB NO. 6012-043 SHEET C1 OF 3
--	--	---	---

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The table below lists the trees and the condition assessment for each (Table 2).

Table 2: Condition Assessment

Tree Species	#	Trunk Diameter (in.)	Vigor	Structure	Form	Condition
Italian cypress (<i>Cupressus sempervirens</i>)	515	8	Good	Good	Good	Good
Italian cypress (<i>Cupressus sempervirens</i>)	516	12	Good	Good	Good	Good
coast live oak (<i>Quercus agrifolia</i>)	517	11	Good	Poor	Poor	Poor
coast live oak (<i>Quercus agrifolia</i>)	518	9	Good	Poor	Poor	Poor
coast live oak (<i>Quercus agrifolia</i>)	519	12	Good	Good	Fair	Fair
coast live oak (<i>Quercus agrifolia</i>)	520	28	Good	Good	Good	Good
Canary Island date palm (<i>Phoenix canariensis</i>)	521	24	Good	Good	Good	Good
orange (<i>Citrus sinensis</i>)	522	4	Poor	Poor	Poor	Poor
stone pine (<i>Pinus pinea</i>)	523	34	Good	Poor	Poor	Poor
deodar cedar (<i>Cedrus deodara</i>)	524	27	Fair	Fair	Good	Fair
coast live oak (<i>Quercus agrifolia</i>)	525	22	Good	Good	Good	Fair
coast live oak (<i>Quercus agrifolia</i>)	526	27	Good	Poor	Good	Fair
blue oak (<i>Quercus douglasii</i>)	527	24	Good	Fair	Good	Fair
blue oak (<i>Quercus douglasii</i>)	528	28	Good	Good	Good	Fair
coast live oak (<i>Quercus agrifolia</i>)	529	16	Good	Fair	Fair	Fair
coast live oak (<i>Quercus agrifolia</i>)	530	5	Fair	Fair	Fair	Fair
coast live oak (<i>Quercus agrifolia</i>)	531	15	Good	Good	Fair	Fair
bay laurel (<i>Umbellularia californica</i>)	532	4	Good	Fair	Good	Fair
coast live oak (<i>Quercus agrifolia</i>)	533	13	Good	Fair	Fair	Fair
coast live oak (<i>Quercus agrifolia</i>)	534	13	Good	Good	Fair	Fair



A.P.N.: 529-35-041 LOT61
 ZONING: R-1:10
 LOT SIZE: 11,281 S.F.
 EXISTING HOUSE: 1,188 S.F. (TO BE REMOVED)

FIRST FLOOR: SECOND FLOOR: TOTAL:
 NEW HOUSE: 1,435 S.F. 1,230 S.F. 2,665 S.F.

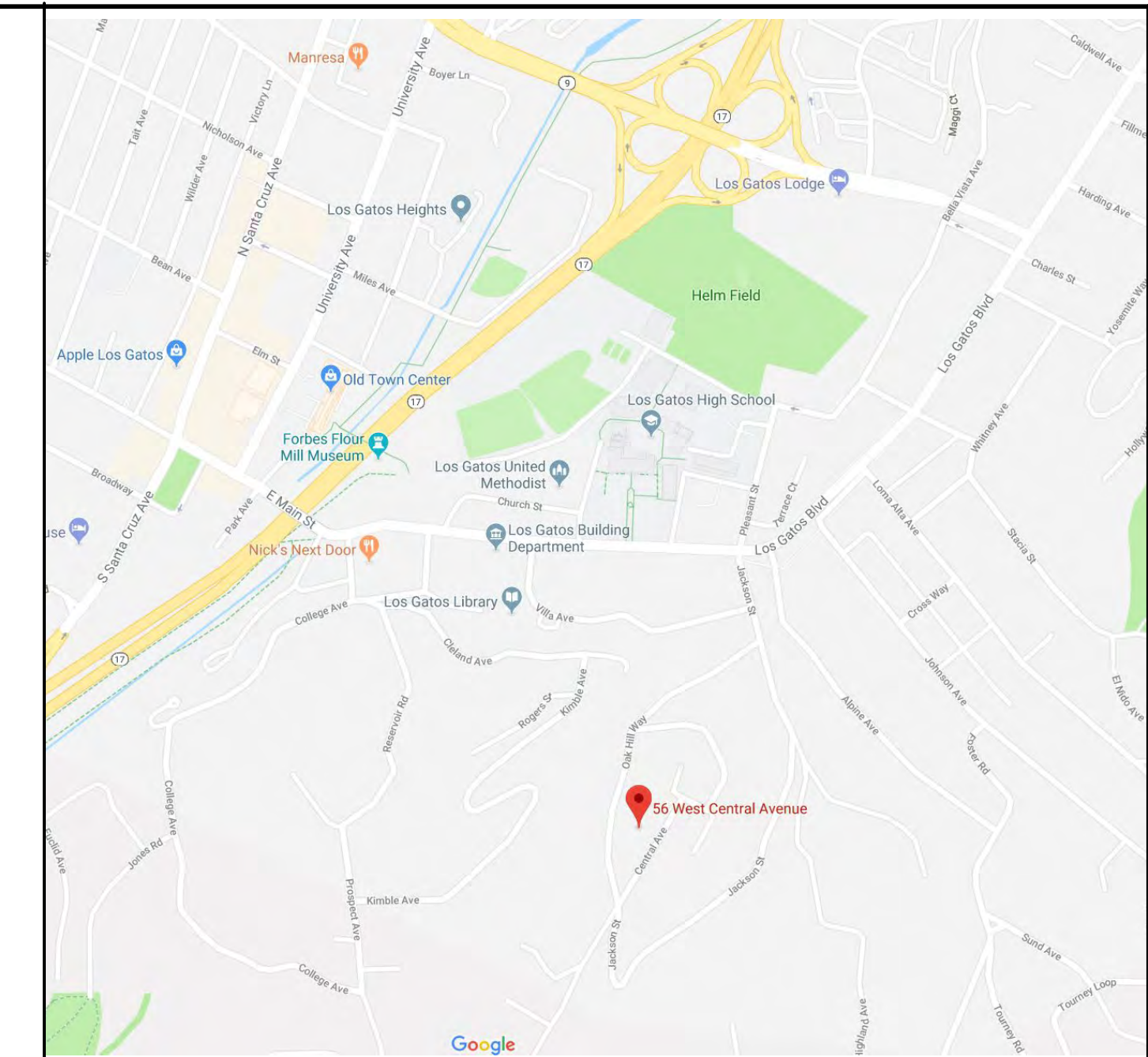
CELLAR: 1,590 S.F.
 GARAGE: 717 S.F.
 FRONT PORCH: 319 S.F.
 COVERED PATIO: 632 S.F.

F.A.R. ALLOWED: 8235.13, X.324 = 2,668 S.F.
 PROPOSED: 2,665 S.F.

LOT COV. ALLOWED: 8235.13, X.40 = 3,294 S.F.
 PROPOSED: 3,129 = 37.9%

TYPE OF CONSTRUCTION: VB
 OCCUPANCY GROUP: R-3, U

THIS PROJECT SHALL COMPLY WITH 2016 CBC, CRC, CMC, CPC, CEC, CFC, CAL GREEN, CAL ENERGY CODE, AND LOCAL ORD.



SITE DATA

VICINITY MAP

SHEET INDEX

- A-1 SITE PLAN
- A-2 1ST FLOOR PLAN
- A-3 2ND FLOOR PLAN
- A-4 CELLAR FLOOR PLAN
- A-5 ELEVATIONS
- A-6 ELEVATIONS, SECTIONS
- A-7 SECTION
- A-8 AREA CALCS
- A-9 STREET SECTION/SCAPE
- A-10 BUILD IT GREEN, SHADOW STUDY
- C-1 GRADING & DRAINAGE PLAN
- C-1 EROSION CONTROL PLAN
- L1.01 LANDSCAPE SITE PLAN
- L1.02 CONCEPTION PLANTING PLAN
- L1.03 PLANTING & MATERIALS BOARD
- L1.04 PLANTING & MATERIALS BOARD

AVE. SLOPE = 18.5%
 LOT SIZE REDUCTION = 10 + (2 X 8.5) = 27%
 11,281 X .27 = 3,045.87
 11,281 - 3,045.87 = 8,235.13 S.F. NET

F.A.R. = .35 - [(A-5) / 25] X .20 =
 .35 - [(8,235 - 5) / 25] X .20 = .324
 8235.13, X .324 = 2,668 S.F.

EARTHWORK QUANTITIES

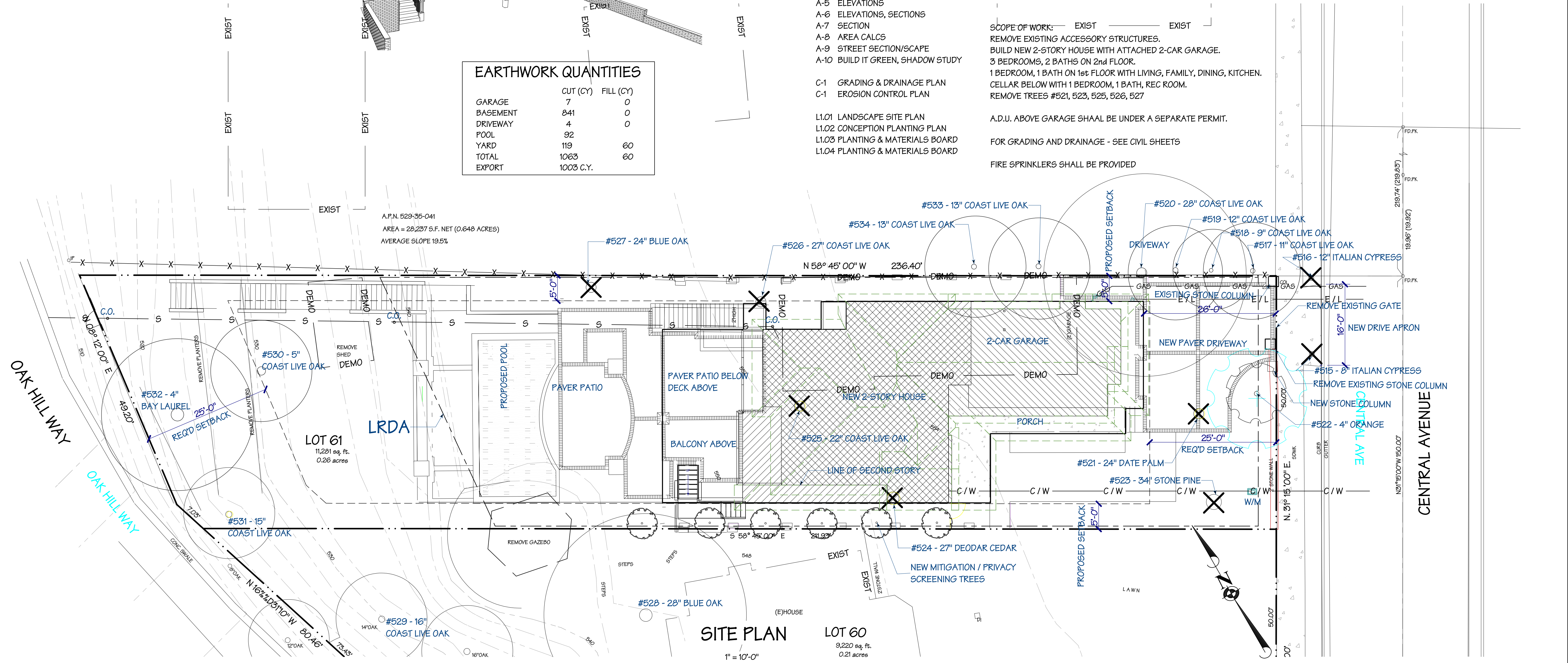
	CUT (CY)	FILL (CY)
GARAGE	7	0
BASEMENT	841	0
DRIVEWAY	4	0
POOL	92	0
YARD	119	60
TOTAL	1063	60
EXPORT	1003 C.Y.	

SCOPE OF WORK: EXIST EXIST
 REMOVE EXISTING ACCESSORY STRUCTURES.
 BUILD NEW 2-STORY HOUSE WITH ATTACHED 2-CAR GARAGE.
 3 BEDROOMS, 2 BATHS ON 2nd FLOOR.
 1 BEDROOM, 1 BATH ON 1st FLOOR WITH LIVING, FAMILY, DINING, KITCHEN.
 CELLAR BELOW WITH 1 BEDROOM, 1 BATH, REC ROOM.
 REMOVE TREES #521, 523, 525, 526, 527

A.D.U. ABOVE GARAGE SHALL BE UNDER A SEPARATE PERMIT.

FOR GRADING AND DRAINAGE - SEE CIVIL SHEETS

FIRE SPRINKLERS SHALL BE PROVIDED



REVISIONS BY

PLANNING	10-9-18	
PLANNING	12-10-18	
PLANNING	3-27-19	
PLANNING	9-3-19	

RICHARD A. HARTMAN
 A.L.A.
 488.996.1496
 HomeArch@gmail.com

HOMETEC
 ARCHITECTURE, INC.
 619 NORTH FIRST STREET, SAN JOSE, CA 95112

NEW HOME FOR:
ANDREW & ASHLEY BOTHMAN
 56 CENTRAL AVENUE, LOS GATOS, CA. 95030

Date 8-30-18
 Scale 1" = 10'-0"
 Drawn RAH
 Job 18-013
 Sheet **A-1**
 of Sheets

WALL TYPES	
	NEW WALLS
	1-HOUR FIRE WALLS, INTERIOR - SEE
	1-HOUR FIRE WALLS, EXTERIOR - SEE

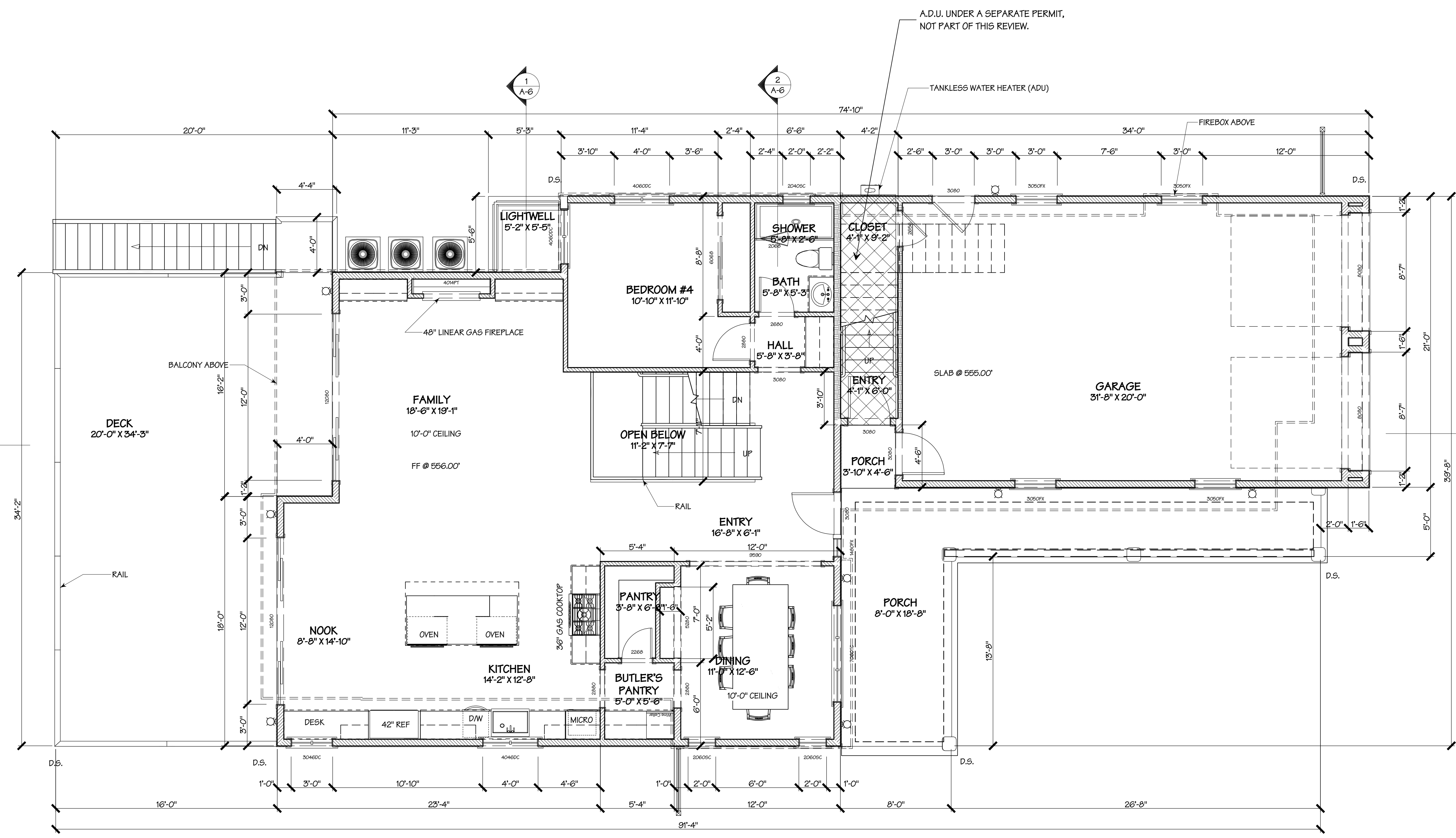
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PLANNING 12-10-18	
PLANNING 3-27-19	
PLANNING 9-3-19	

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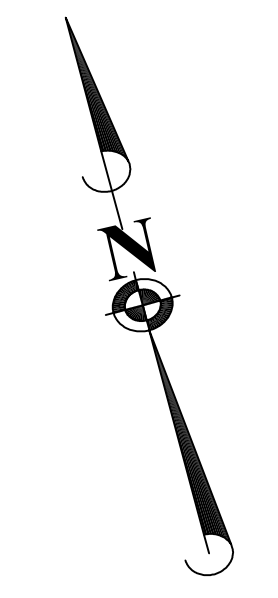
NEW HOME FOR:
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56 CENTRAL AVENUE, LOS GATOS, CA. 95030

Date 8-30-18
Scale 1/4" = 1'-0"
Drawn RAH
Job 18-013
Sheet
A-2
of Sheets



LIVING AREA
1468 SQ. FT.

FIRST FLOOR PLAN



REVISIONS	BY
PLANNING	
10-9-18	
PLANNING	
12-10-18	
PLANNING	
3-27-19	
PLANNING	
9-3-19	

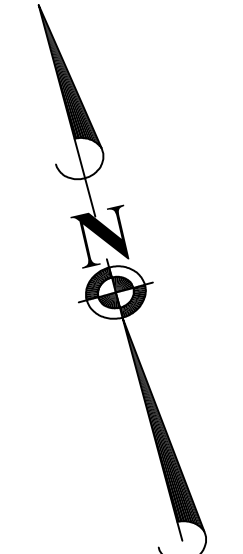
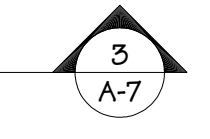
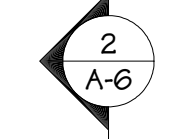
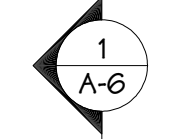
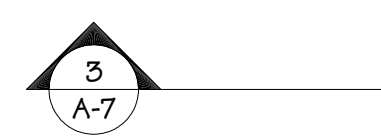
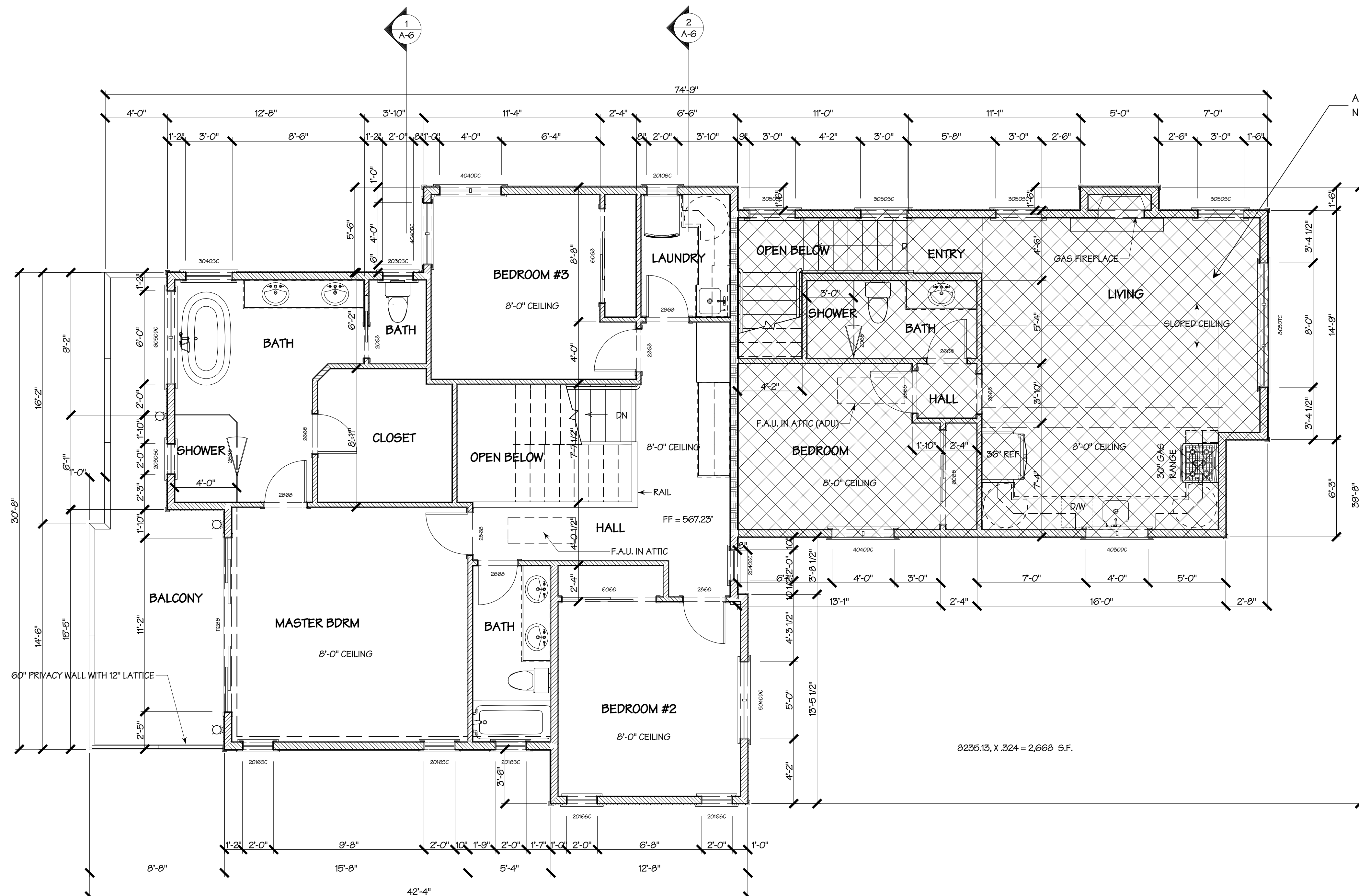
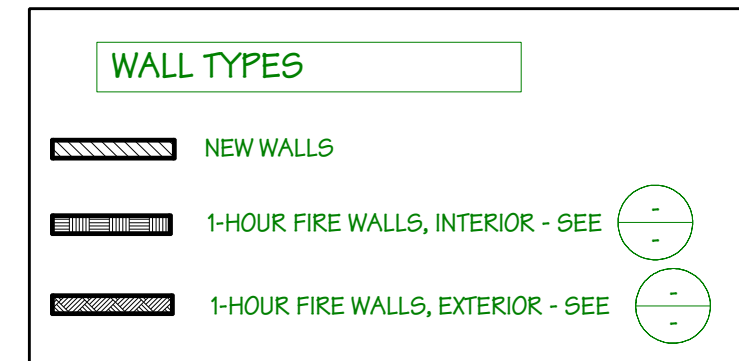
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NEW HOME FOR:
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56 CENTRAL AVENUE, LOS GATOS, CA. 95303

Date 8-30-18
Scale 1/4" = 1'-0"
Drawn RAH
Job 18-013
Sheet

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of Sheets



SECOND FLOOR PLAN

REVISIONS	BY
PLANNING	
10-9-18	
PLANNING	
12-10-18	
PLANNING	
3-27-19	
PLANNING	
9-3-19	

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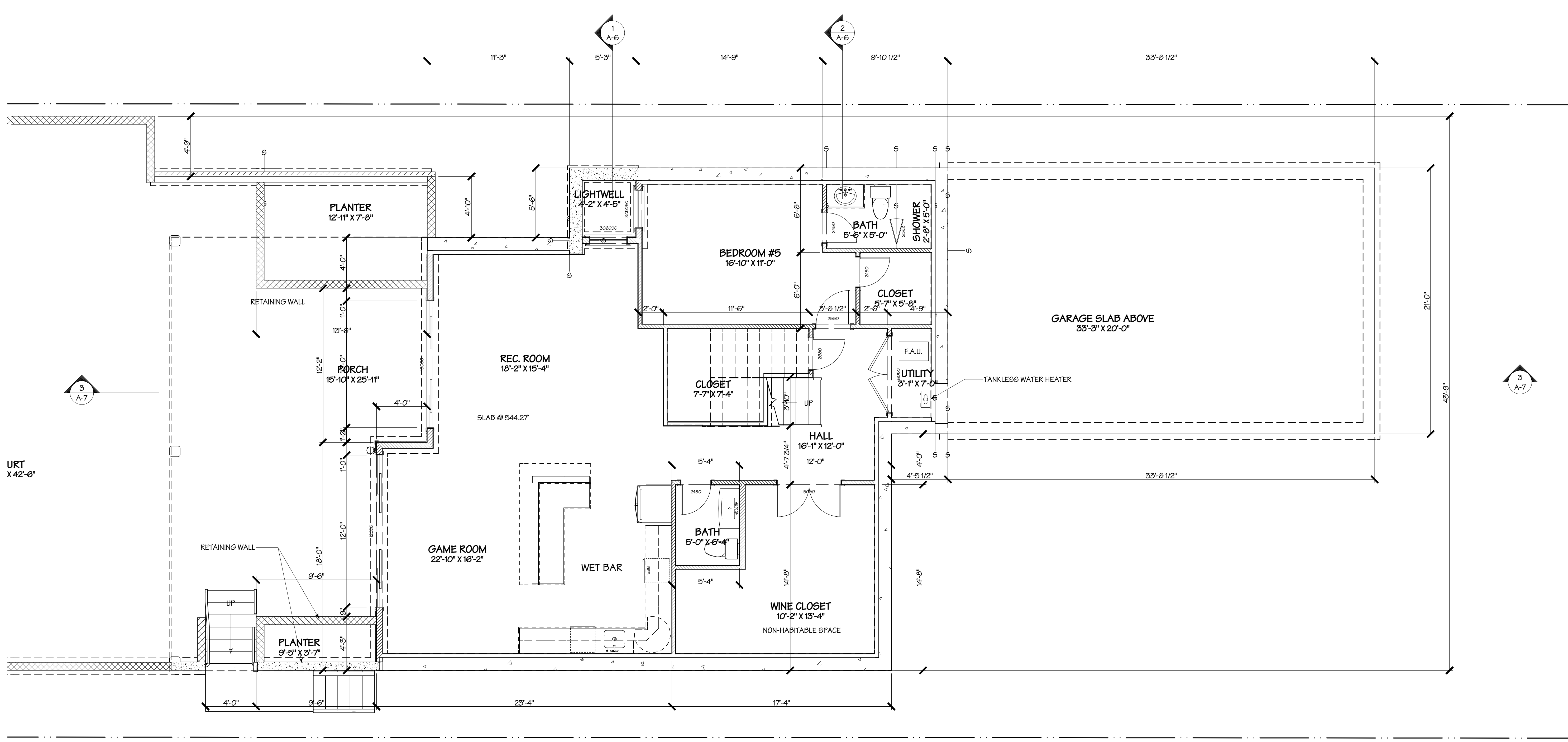
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NEW HOME FOR:
ANDREW & ASHLEY BOTHMAN
56 CENTRAL AVENUE, LOS GATOS, CA. 95303

Date 8-30-18
Scale 1/4" = 1'-0"
Drawn RAH
Job 18-013
Sheet
A-4
of Sheets

WALL TYPES

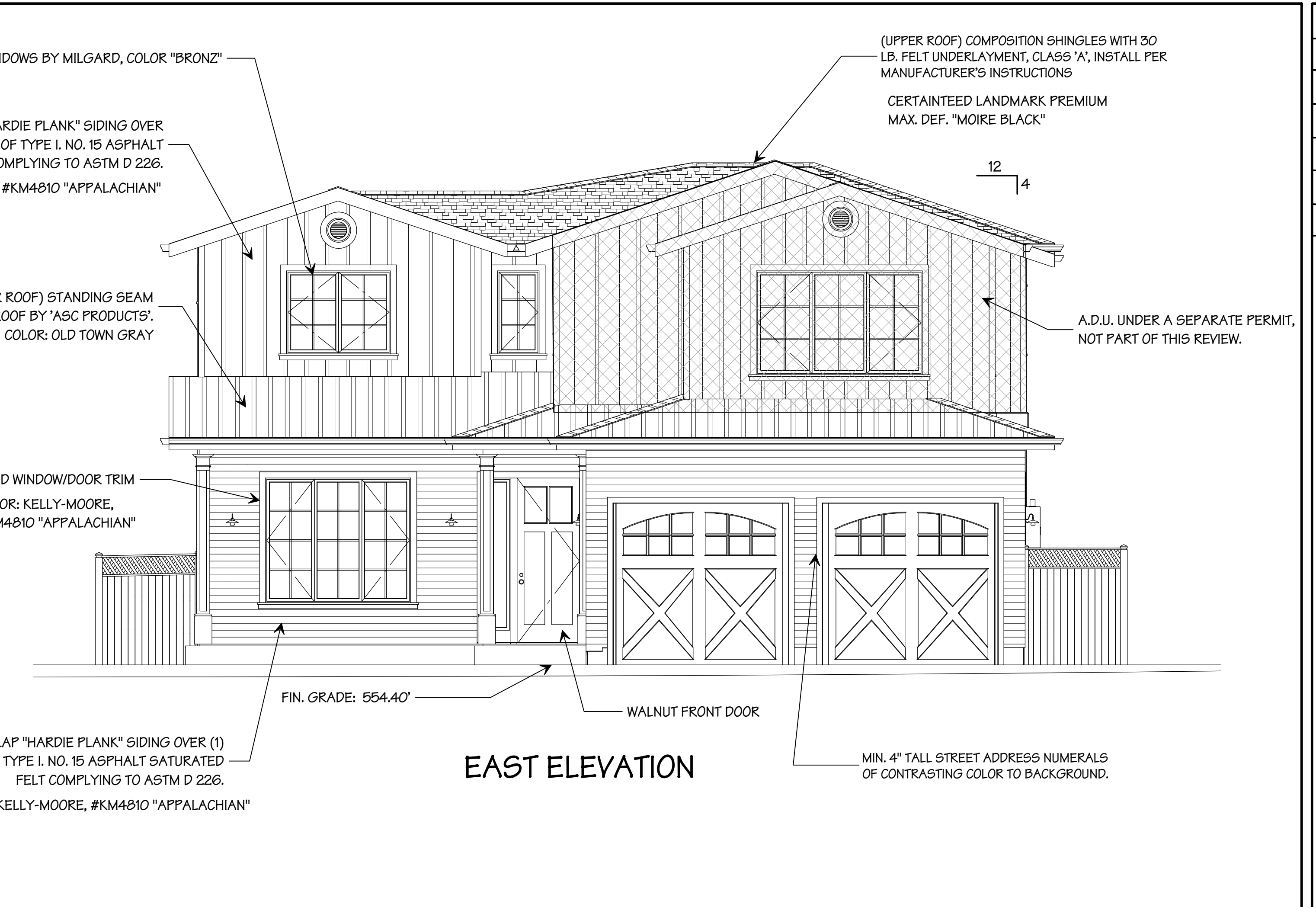
- NEW WALLS
- 1-HOUR FIRE WALLS, INTERIOR - SEE
- 1-HOUR FIRE WALLS, EXTERIOR - SEE



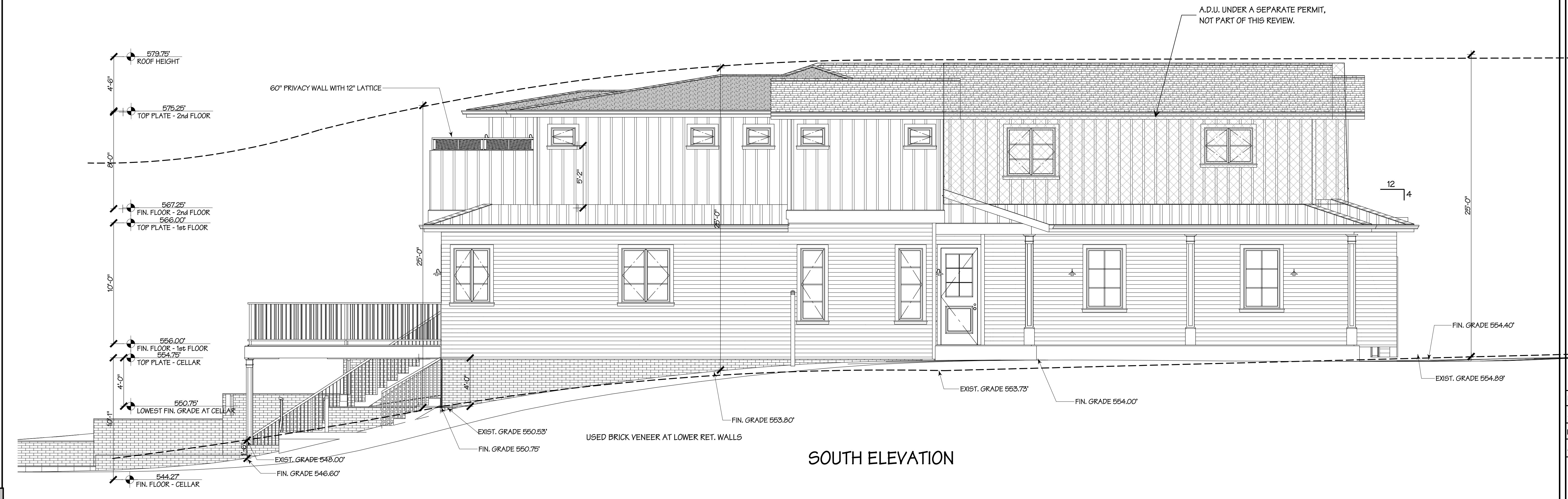
CELLAR FLOOR PLAN



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

REVISIONS	BY
PLANNING 10-9-18	
PLANNING 12-10-18	
PLANNING 3-27-19	
PLANNING 9-3-19	

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56 CENTRAL AVENUE, LOS GATOS, CA. 95303

Date 8-30-18
Scale 1/4" = 1'-0"
Drawn RAH
Job 18-013
Sheet
A-5
of Sheets

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PLANNING 10-9-18	
PLANNING 12-10-18	
PLANNING 3-27-19	
PLANNING 9-3-19	

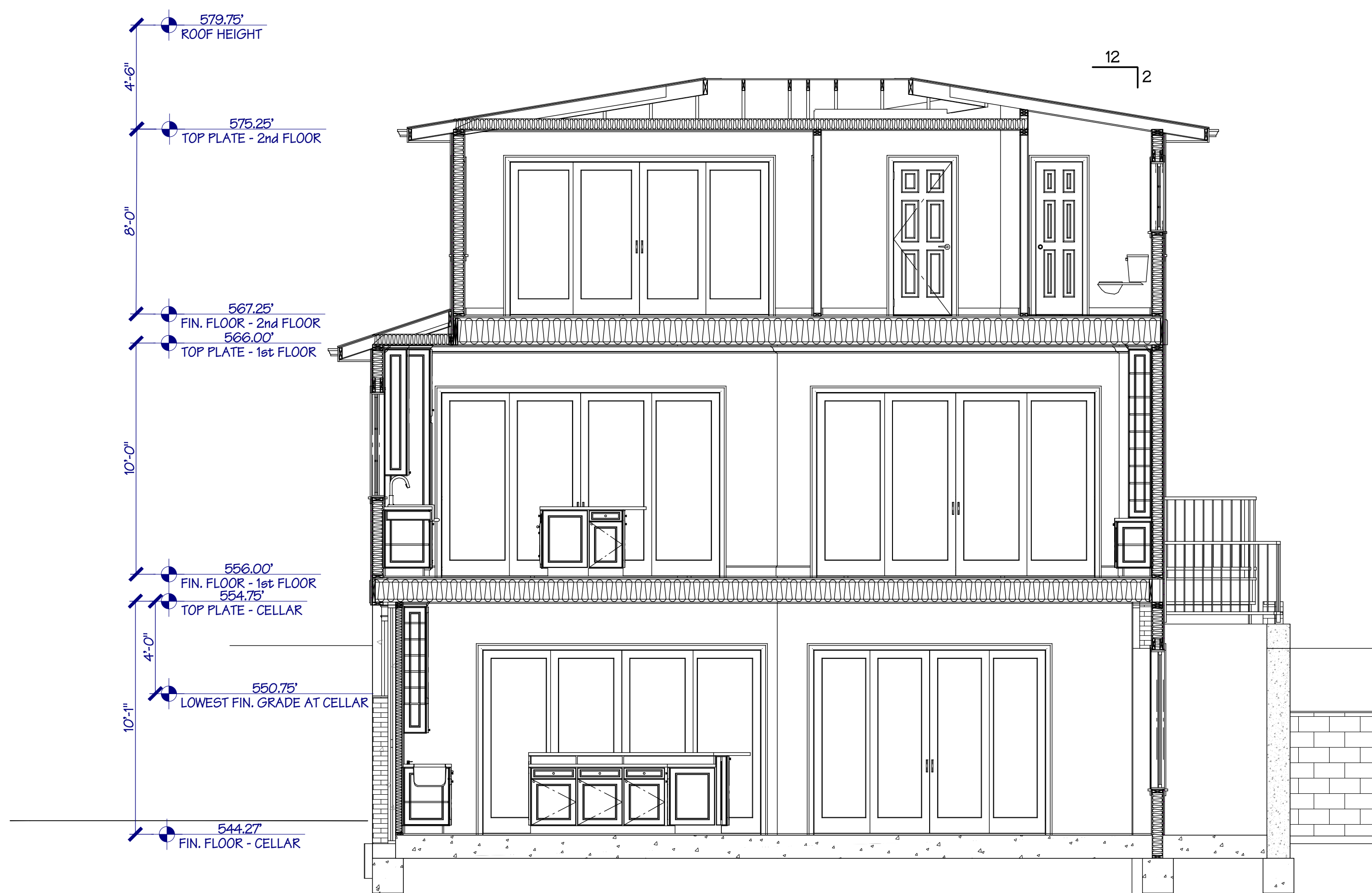
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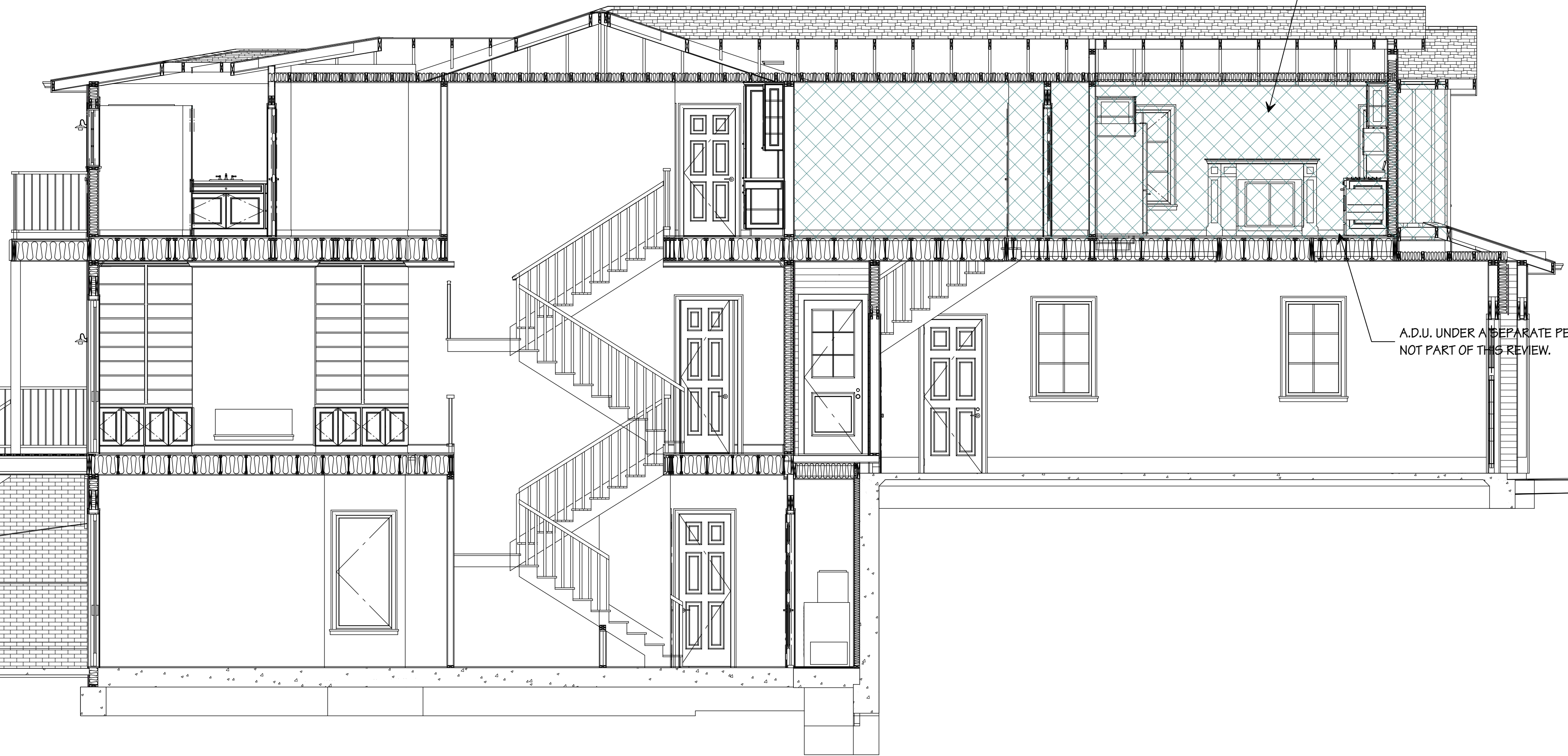
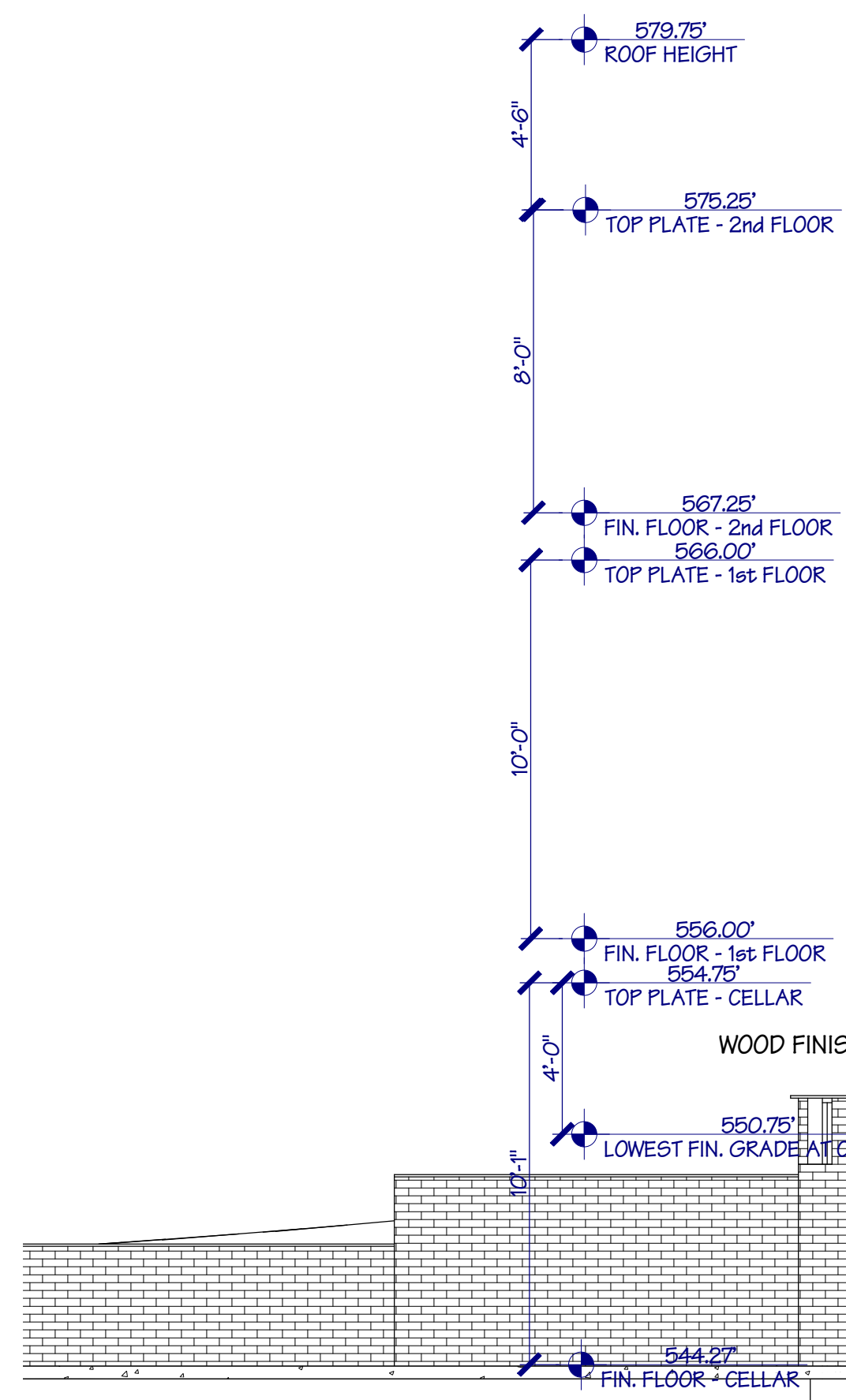
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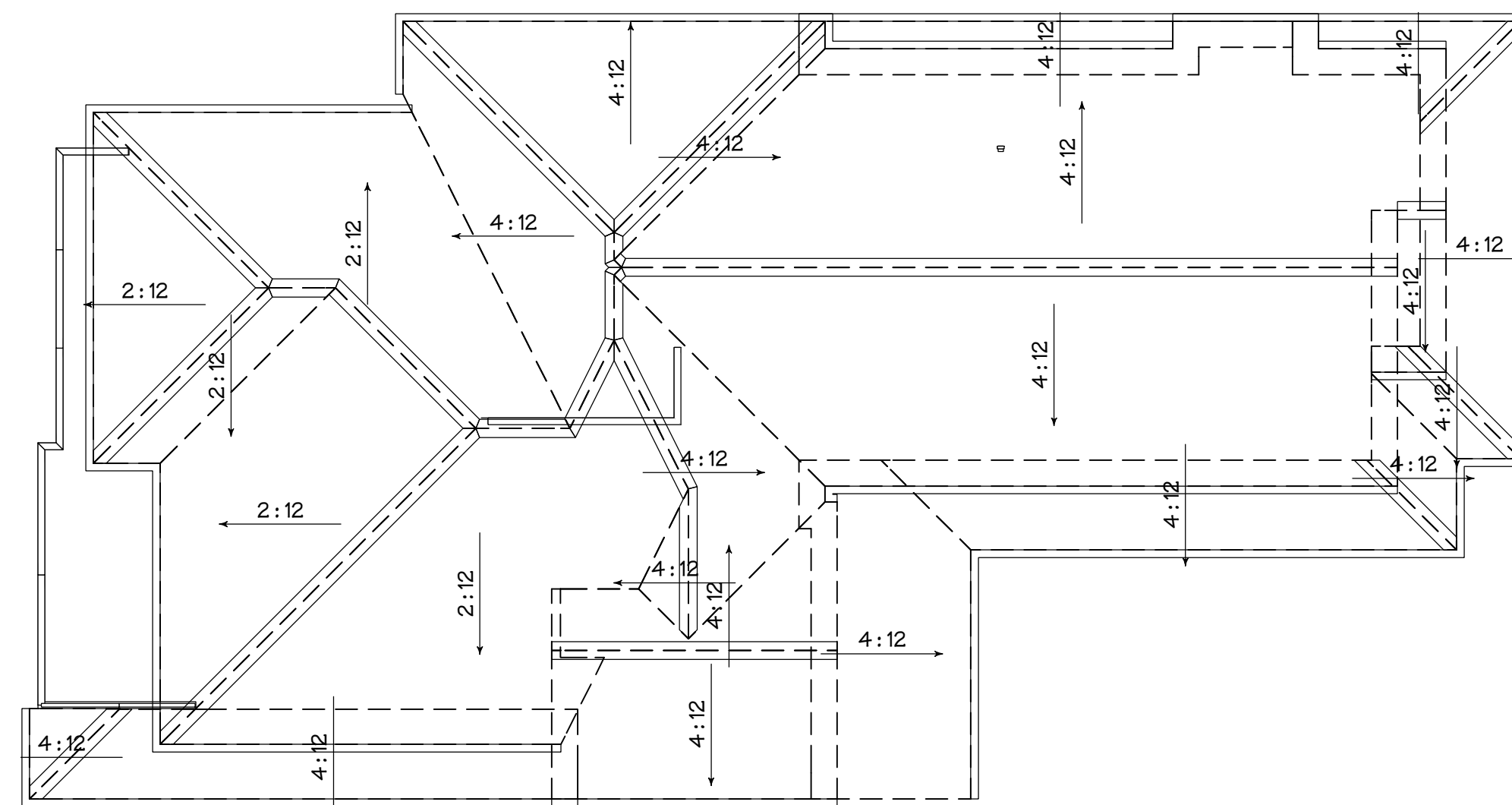
Date 8-30-18
Scale 1/4" = 1'-0"
Drawn RAH
Job 18-013
Sheet

A-6
of Sheets





3 SECTION



ROOF PLAN

1/8" = 1'-0"

REVISIONS	BY
PLANNING 10-9-18	
PLANNING 12-10-18	
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PLANNING 9-3-19	

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NEW HOME FOR:
ANDREW & ASHLEY BOTHMAN
56 CENTRAL AVENUE, LOS GATOS, CA. 95030

Date 8-30-18

Scale 1/4" = 1'-0"

Drawn RAH

Job 18-013

Sheet

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of Sheets

REVISIONS	BY
PLANNING	
10-9-18	
PLANNING	
12-10-18	
PLANNING	
3-27-19	
PLANNING	
9-3-19	

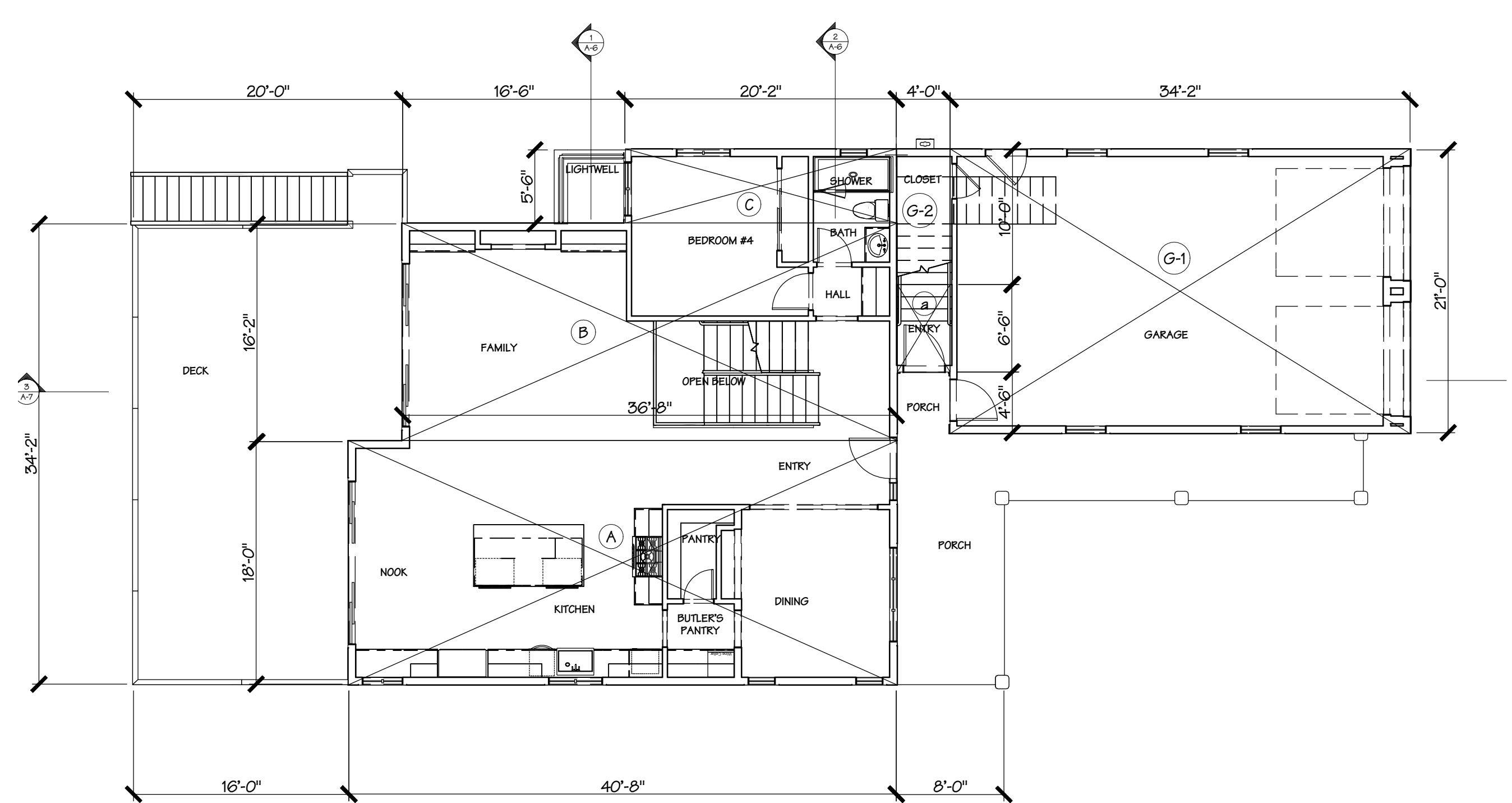
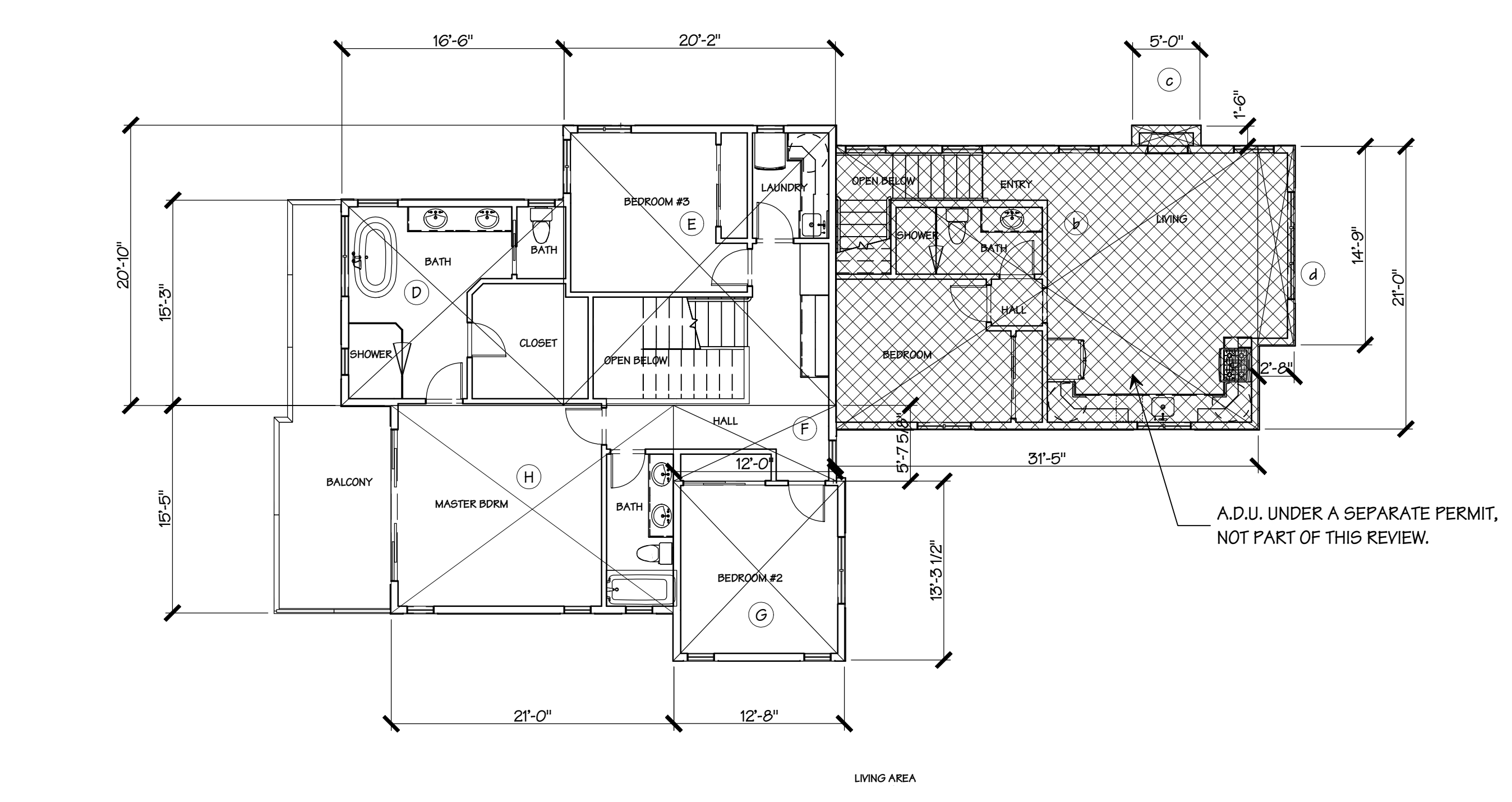
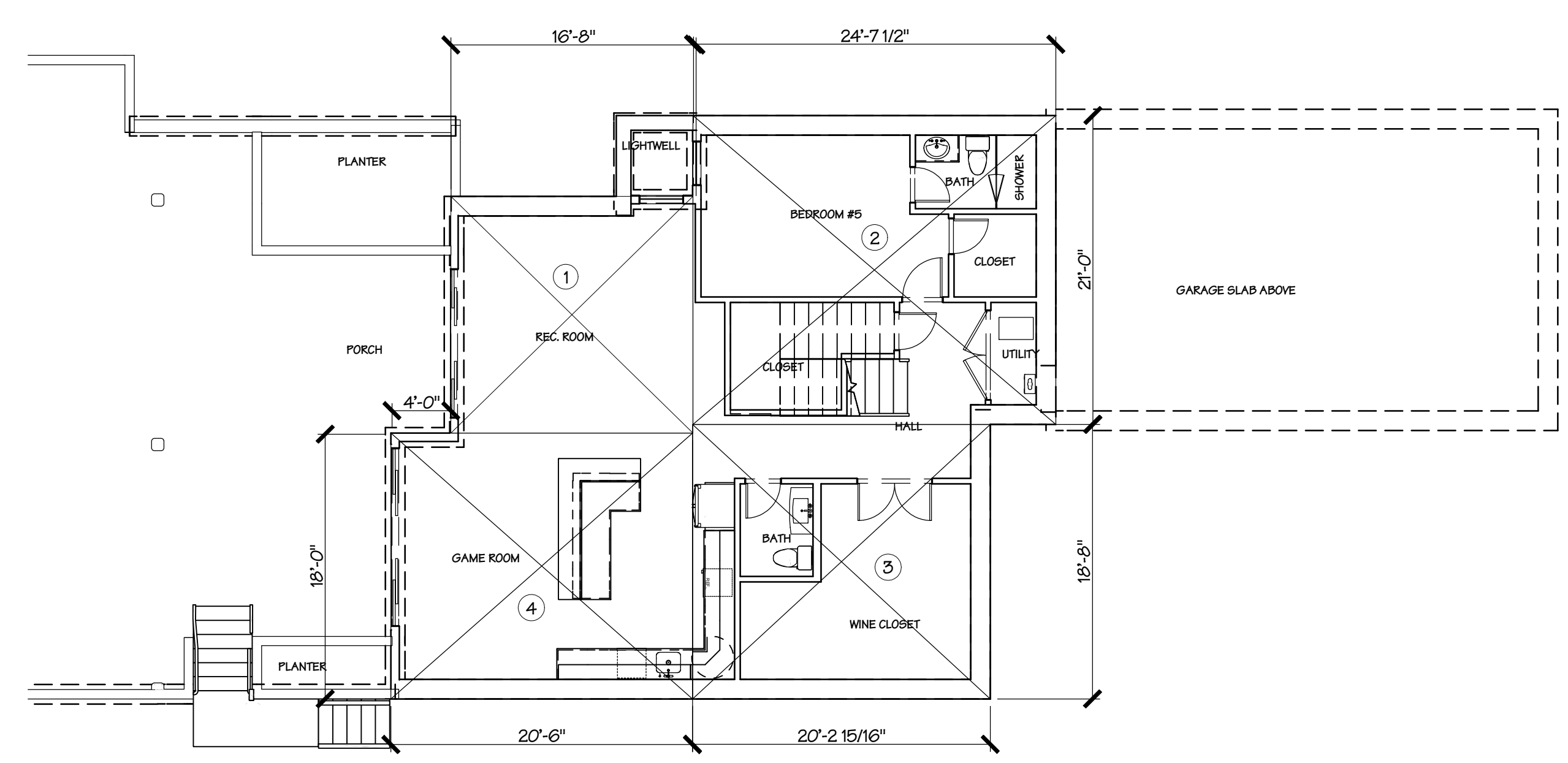
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Date	8 - 30 - 18
Scale	1/4" = 1'-0"
Drawn	RAH
Job	18-013
Sheet	A-8
of	Sheets



GARAGE

G-1: 34.16 X 21 = 696.36
G-2: 4 X 10 = 40

TOTAL GARAGE = 717 S.F.

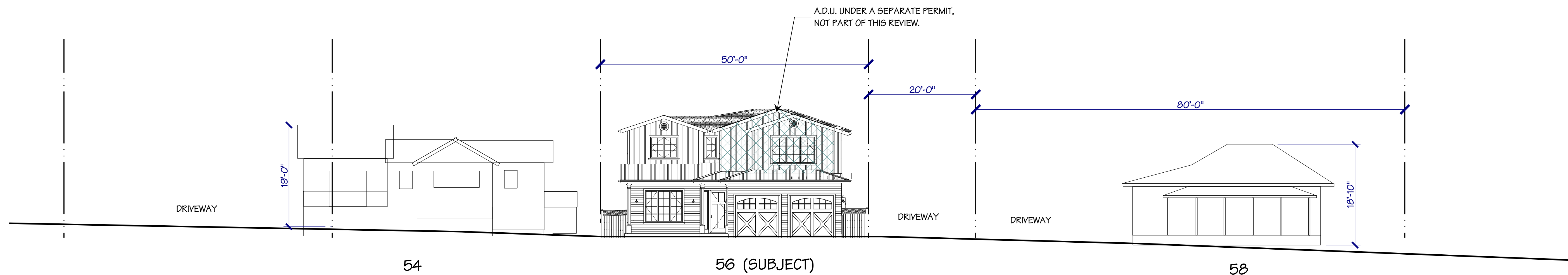
AREA CALCULATIONS

REVISIONS	BY
PLANNING 10-9-18	
PLANNING 12-10-18	
PLANNING 3-27-19	
PLANNING 9-3-19	

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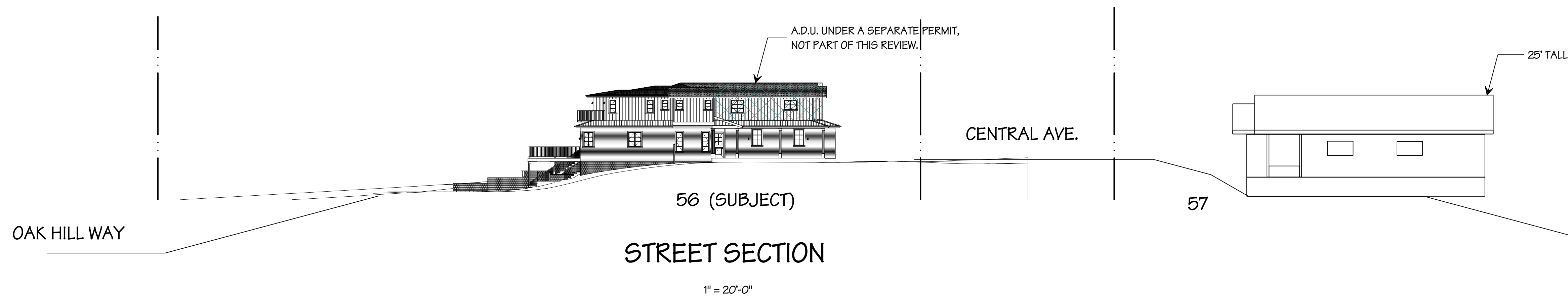


STREET SCAPE (ACROSS STREET)



STREET SCAPE

1" = 10'-0"



STREET SECTION

1" = 20'-0"

NEW HOME FOR:
ANDREW & ASHLEY BOTHMAN
56 CENTRAL AVENUE, LOS GATOS, CA. 95303

Date 8 - 30 - 18
Scale 1/4" = 1'-0"
Drawn RAH
Job 18-013
Sheet

A-9
of Sheets

Single Family GreenPoint Checklist

The GreenPoint Checklist is based on the various green features incorporated into the home and is the basis for the GreenPoint Rated program. A home can be considered green if it fulfills the prerequisites, earns at least 50 points, and meets the minimum points per category. Energy (25%), Indoor Air Quality (Health) (5%), Resources (6%), and Water (9%). Please contact Build It Green for a list of qualified GreenPoint Raters you are interested in pursuing third-party verification. The green building specifications listed herein are described in the New Home Construction Green Building Guidelines, available at www.builditgreen.org.



Points Available	Community	Energy	Indoor Air Quality	Resources	Water
51	21	21	21	21	21

BOTHMAN HOUSE

Points Achieved	Community	Energy	Indoor Air Quality	Resources	Water
127	3	51	23	21	29

1. SITE Points Available Per Measure = 10

- Protect Topsoil from Erosion and Reuse after Construction
 - Limit and Disturb Construction Footprint for Maximum Protection
 - Decompost Instead of Demolishing Existing Buildings On Site
- Recycle Job Site Construction Waste (Including Green Waste)
 - Minimum 95% Waste Diversion by Weight (Recycling or Reuse - Required)
 - Minimum 65% Diversion by Weight (Recycling or Reuse)
 - Minimum 80% Diversion by Weight (Recycling or Reuse)
- Use Recycled Content Aggregate (Minimum 25%)
 - Walkway and Driveway
 - Roadway Base

2. FOUNDATION Points Available Per Measure = 8

- Replace Portland Cement in Concrete with Recycled Flyash or Slag
 - Minimum 20% Flyash or Slag
 - Minimum 25% Flyash or Slag
- Use Frost-Protected Shallow Foundation in Cold Areas (C.E.C. Climate Zone 16)
- Use Radon Resistant Construction in At-Risk Locations Only
- Design and Build Structural Form Concrete
 - Install Termite Shields & Separate All Exterior Wood-to-Concrete Connections by Metal or Plastic Fasteners/Diaphragms
 - All New Paths Have Tack, Batten, or Seal Between All Least 30 Inches from Foundation

3. LANDSCAPING Points Available Per Measure = 19

- Conserved Resource-Efficient Landscapes
 - No Invasive Species Listed by Cal-IPC Are Planted
 - No Plant Species With Invasive Seed Dispersal Mechanisms, Medicinalness, or Other Appropriate Concerns
 - 75% of Plants Are Drought-Tolerant (California Native, Mediterranean, or Other Appropriate Species)
- Use Fire-Safe Landscaping Techniques
- Minimize Turf Areas in Landscape Installed by Builder
 - All Turf Must Have Water Requirement Less Than or Equal to Turf Fescue (50 lb plant factor)
 - Turf Shall Not Be Installed on Slopes Exceeding 10% or in Areas Less Than 8 Feet Wide
 - Turf is 95% of Landscaped Area (Total 2 points)
 - Turf is 90% of Landscaped Area (Total 2 points)
- Plant Shade Trees
- Group Plants by Water Needs (Hydrozoning)
 - Install High-Efficiency Irrigation Systems
 - System Uses Only Low-Flow Drip, Bubblers, or Low-Flow Sprinklers
 - System Uses Non-Chlorinated
 - Incorporate Two Inches of Compost in the Top 6 to 12 Inches of Soil
- Mulch All Planting Beds to the Greater of 2 Inches or Local Water Ordinance Requirement
- Use 90% Salvaged or Recycled-Content Materials for 80% Non-Plant Landscape Elements
- Reduce Light Pollution by Shielding Fixtures and/or Directing Light Downward

4. STRUCTURAL FRAME & BUILDING ENVELOPE Points Available Per Measure = 11

- Apply Optimal Value Engineering
 - Place Rafters and Studs at 24-inch On-Center Framing
 - Use Door and Window Headers as Load
 - Use Only Jack and Crane Slits Required for Load
- Use Engineered Lumber
 - Beams and Headers
 - Installed Engineered Headers
 - Wood Joists or Web Trusses for Floors
 - Wood Joists for Roof Rafters
 - Engineered or Finger-Jointed Studs for Vertical Applications
 - Dimensional Studs for Balloon Framing
 - Overlaid Stud Board for Wall and Roof Sheathing
- Use FSC-Certified Wood
 - Dimensional Lumber, Studs and Timber: Minimum 40%
 - Dimensional Lumber, Studs and Timber: Minimum 70%
 - Panel Products: Minimum 40%
 - Panel Products: Minimum 75%
- Use Solid Wall Systems (Includes SIPs, ICFs, & Any Non-Slick Frame Assembly)
 - Floors
 - Walls
 - Roofs

BOTHMAN HOUSE

Points Achieved	Community	Energy	Indoor Air Quality	Resources	Water
127	3	51	23	21	29

5. REDUCE POLLUTION ENTERING THE HOME FROM THE GARAGE

- Tightly Seal the Air Barrier Between Garage and Living Area
 - Install Garage Exhaust Fan with a Chalked Garage
- Design Energy Paths on Trusses (75% of Attic Insulation Height at Outside Edge of Exterior Wall)
 - Design Energy Paths on Trusses (75% of Attic Insulation Height at Outside Edge of Exterior Wall)
- Design Roof Trusses to Accommodate Ductwork
 - Use Recycled-Content Steel Trusses for 95% of Interior Wall Framing
- Thermal Mass Walls: 5/8-Inch Drywall on All Interior Walls or Walls Weighing more than 40 lbs/cu ft.
 - Minimum 1/8-inch Overhangs and Gutters
 - Minimum 3/8-inch Overhangs and Gutters

Total Points Available in Structural Building Frame and Envelope = 36

6. EXTERIOR FINISH Points Available Per Measure = 7

- Use Recycled-Content (No Virgin Plastic) or FSC-Certified Wood Decking
- Install a Rain Screen Wall System
- Use Durable and Noncombustible Siding Materials
- Select Durable and Noncombustible Roofing Materials

Total Points Available in Exterior Finish = 7

7. INSULATION Points Available Per Measure = 5

- Install Insulation with 75% Recycled Content
 - Walls and Floors
 - Ceiling
- Install Insulation that is Low-Emitting (Certified Section 61300)
 - Walls and Floors
 - Ceiling
- Inspect Quality of Insulation Installation before Applying Drywall

Total Points Available in Insulation = 5

8. PLUMBING Points Available Per Measure = 12

- Distribute Domestic Hot Water Efficiently (Maximum 7 Points)
 - Insulate Hot Water Pipes from Water Heater to Kitchens
 - Insulate All Hot Water Pipes
 - Use Engaged-Front Panel Piping
 - Use Engaged-Front Panel Piping with Demand-Controlled Circulation Loop
 - Use Structural Plumbing with Demand-Controlled Circulation Loop
 - Use Central-Disk Plumbing
- Install Only High-Efficiency Toilets (Dual-Flush or 51.28 gpf)

Total Points Available in Plumbing = 12

9. HEATING, VENTILATION & AIR CONDITIONING Points Available Per Measure = 4

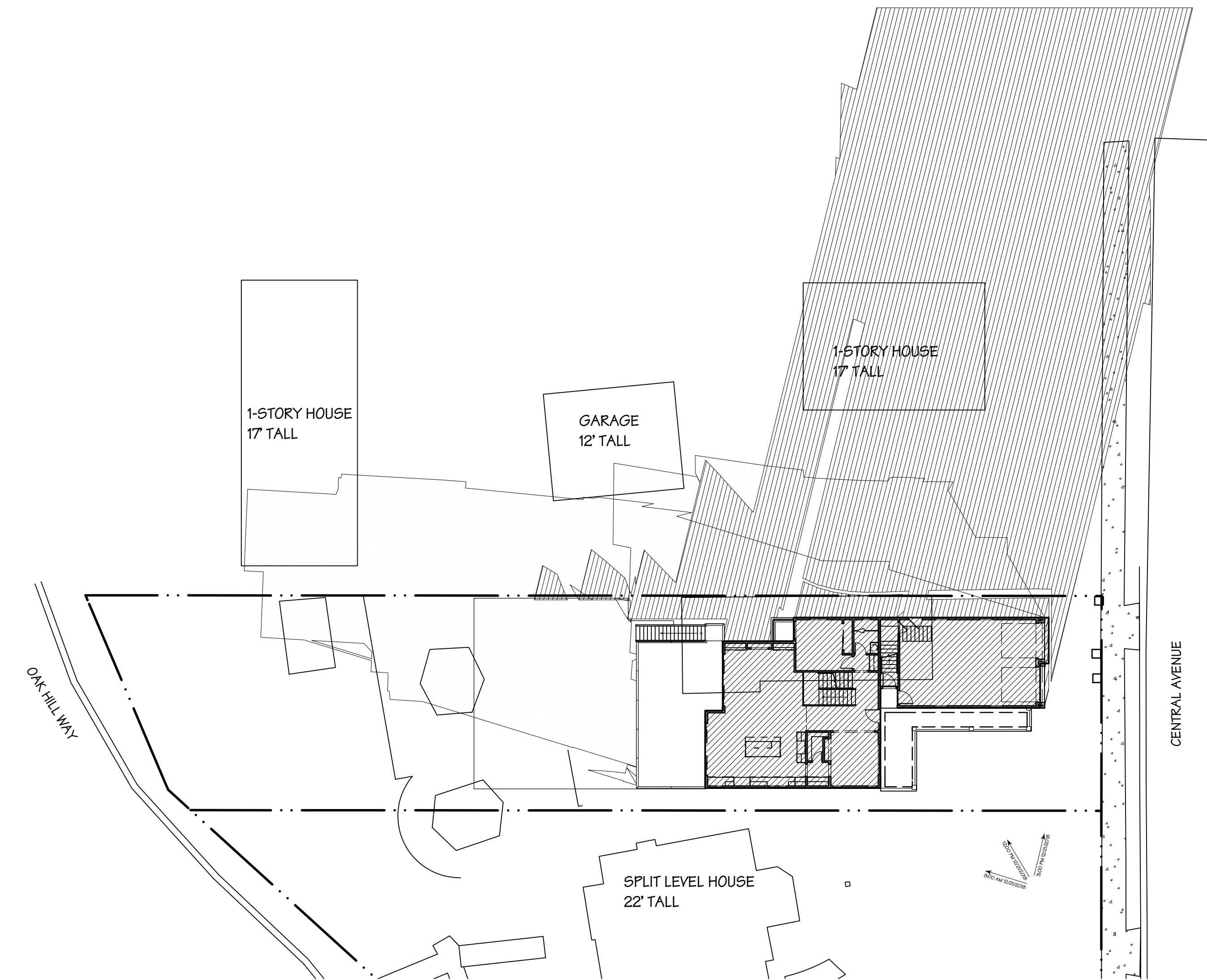
- Design and Install HVAC System to ACCA Manual J, D, and S Recommendations
- Install Sealed Combustion Units
 - Furnace
 - Water Heaters
- Install Zoned, Hydronic Radiant Heating with Strip Edge Insulation
- Install High-Efficiency Air Conditioning with Environmentally-Responsible Refrigerants
- Design and Install Effective Ductwork
 - Install HVAC Unit and Ductwork within Conditioned Space
 - Use Duct Headers on All Duct Joints and Seams
 - Install Ductwork under A/C Insulation (Battled Ducts)
 - Pressure Balance the Ductwork System
 - Protect Ductwork During Construction and Clean All Ducts before Occupancy
- Install High-Efficiency HVAC Filter (MERV 8+)
- Don't Install Fancoils or Install Sealed Gas Appliances with Efficiency Rating Not Less Than 60% using CSA Standards
- Install Effective Exhaust Systems in Bathrooms and Kitchens
 - Install ENERGY STAR Bathrooms Fans Ventilated to the Outside
 - All Bathroom Fans Are on Timer or Humidistat
 - Install Kitchen Range Hood Vented to the Outside
- Install Mechanical Ventilation System for Cooling (Maximum 4 Points)
 - Install ENERGY STAR Ceiling Fans & Light Kits in Living Areas & Bedrooms
 - Install Whole House Fan with Variable Speeds
 - Automatically Controlled Integrated System
 - Automatically Controlled Integrated System with Variable Speed Control
- Install Mechanical Fresh Air Ventilation System (Maximum 3 Points)
 - Any Whole House Ventilator System That Meets ASHRAE 62.2
 - Install Air-Air Heat Exchanger that meets ASHRAE 62.2
 - Install Carbon Monoxide Alarms

Total Points Available in Heating, Ventilation and Air Conditioning = 30

10. RENEWABLE ENERGY Points Available Per Measure = 2

- Pre-Points for Solar Hot Water Heating
- Install Solar Water Heating System
- Install Wiring Conduit for Future Photovoltaic Installation & Provide 200' of South-Facing Roof
- Install Photovoltaic (PV) Panels
 - 50% of electric needs OR 1.2 kW (total 6 points)
 - 60% of electric needs OR 2.4kW (total 12 points)
 - 80% of electric needs OR 3.6 kW (total 18 points)

Total Available Points in Renewable Energy = 2



BOTHMAN HOUSE

Points Achieved	Community	Energy	Indoor Air Quality	Resources	Water
127	3	51	23	21	29

11. BUILDING PERFORMANCE Points Available Per Measure = 10

- Diagnostic Evaluations
 - House Passes Blower Door Test
 - House Passes Combustion Safety Backdraft Test
- Design and Build High Performance Homes - % above Title 24 - minimum 15% Required
- House Obtains ENERGY STAR with Indoor Air Package Certification - *Filter Measure* (Total 45 points, read comment)

Total Available Points in Building Performance = 10

12. FINISHES Points Available Per Measure = 9

- Design Entrances to Reduce Tracked in Contaminants
- Use Low-VOC or Zero-VOC Paint (Maximum 3 Points)
 - Low-VOC Interior Wall/Ceiling Paints (450 gpt VOCs Flat and +150 gpt VOCs Non-Flat)
 - Zero-VOC Interior Wall/Ceiling Paints (45 gpt VOCs Flat)
- Use Low-VOC Water-Based Wood Finishes (120 gpt VOCs)
- Use Low-VOC Caulk and Construction Adhesives (100 gpt VOCs) for All Adhesives
- Use Recycled-Content Paint
- Use Environmentally Preferable Materials for Interior Finish: A) FSC-Certified Wood, B) Reclaimed, C) Rapidly Renewable, D) Recycled-Content or E) Finger-Jointed
 - Cabinets (50% Minimum)
 - Interior Trim (50% Minimum)
 - Shelving (50% Minimum)
 - Doors (50% Minimum)
 - Countertops (50% Minimum)
- Reduce Formaldehyde in Interior Finish (CA Section 61300)
 - Subfloor & Slat Trusses (50% Minimum)
 - Cabinets & Countertops (50% Minimum)
 - Interior Trim (50% Minimum)
 - Shelving (50% Minimum)
- After Installation of Finishes, Test of Indoor Air Shows Formaldehyde Level <27ppb

Total Available Points in Finishes = 9

13. FLOORING Points Available Per Measure = 7

- Use Environmentally Preferable Flooring: A) FSC-Certified Wood, B) Reclaimed or Refinished, C) Rapidly Renewable, D) Recycled-Content, E) Engineered Concrete, Plywood Adhesives Meet 450 gpt VOCs
 - Minimum 15% of Floor Area
 - Minimum 30% of Floor Area
 - Minimum 50% of Floor Area
 - Minimum 75% of Floor Area
- Thermal Mass Floors: Floor Covering Other than Carpet on 50% or More of Concrete Floors
- Flooring Meets Section 61305 or CRI Green Label Plus Requirements (50% Minimum)

Total Available Points in Flooring = 7

14. APPLIANCES AND LIGHTING Points Available Per Measure = 12

- Install Water and Energy Efficient Dishwasher
 - ENERGY STAR (total 1 point)
 - Dishwasher Uses No More Than 6.5 Gallons/Cycle (total 2 points)
- Install ENERGY STAR Clothes Washing Machine with Water Factor of 6 or Less
 - Meets Energy Star andCEE Tier 2 requirements (modified energy factor 2.0, Water Factor 6.0) (total 2 points)
 - Meets Energy Star andCEE Tier 2 requirements (modified energy factor 2.2, Water Factor 4.0 or less) (total 5 points)
- Install ENERGY STAR Refrigerator
 - ENERGY STAR Qualified < 25 Cubic-Foot Capacity
 - ENERGY STAR Qualified < 20 Cubic-Foot Capacity
- Install Built-In Recycling Center
 - Built-In Recycling Center
 - Built-In Composting Center

Total Available Points in Appliances and Lighting = 12

15. OTHER Points Available Per Measure = 3

- Incorporate GreenPoint Rated Checklist in Blueprints - *Required*
- Create Homeowner Manual of Green Features/Benefits
- Community Design Measures & Local Priorities: See the Community Planning & Design section in Chapter 4 of the New Home Guidelines for measures. Maximum of 10 points for suggested measures. Local requirements may also be listed here.

Measure	Community	Energy	Indoor Air Quality	Resources	Water
Enter description here, and enter points available for measure in appropriate categories to the right.	0	0	0	0	0
Enter description here, and enter points available for measure in appropriate categories to the right.	0	0	0	0	0
Enter description here, and enter points available for measure in appropriate categories to the right.	0	0	0	0	0
Enter description here, and enter points available for measure in appropriate categories to the right.	0	0	0	0	0
- Innovation: List innovative measures that meet the green building objectives of the Guidelines. Enter up to a maximum combined total of 20 pts. See Innovation Checklist for suggested measures, using the link to the right.

Innovation	Community	Energy	Indoor Air Quality	Resources	Water
Innovation in Community: Enter description here, and enter points available for measure in appropriate categories to the right.	0	0	0	0	0
Innovation in Energy: Enter description here, and enter points available for measure in appropriate categories to the right.	0	0	0	0	0
Innovation in Indoor Air Quality: Enter description here, and enter points available for measure in appropriate categories to the right.	0	0	0	0	0
Innovation in Resources: Enter description here, and enter points available for measure in appropriate categories to the right.	0	0	0	0	0
Innovation in Water: Enter description here, and enter points available for measure in appropriate categories to the right.	0	0	0	0	0

Total Available Points in Other = 43

BOTHMAN HOUSE

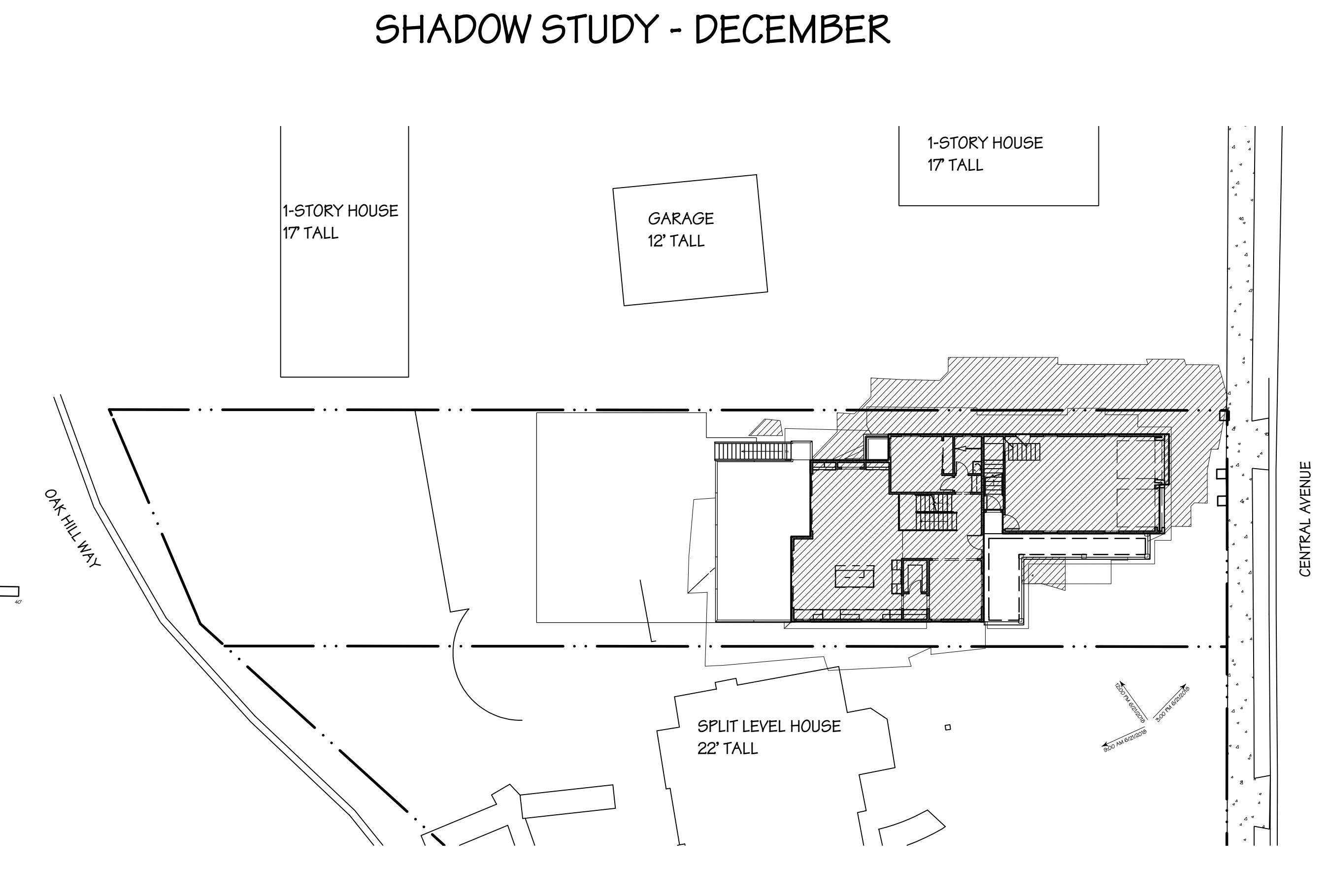
Points Achieved	Community	Energy	Indoor Air Quality	Resources	Water
127	3	51	23	21	29

Summary

Category	Total Available Points	Community	Energy	Indoor Air Quality	Resources	Water
Total Available Points in Specific Categories*	4+	96+	42+	66+	43+	
Minimum Points Required in Specific Categories	0	30	5	8	9	
Total Points Achieved	127	3	51	23	21	29

Project has not yet met the following recommended minimum requirements:

- 1. Obtain Pre-pointed Solar Hot Water Pre-points

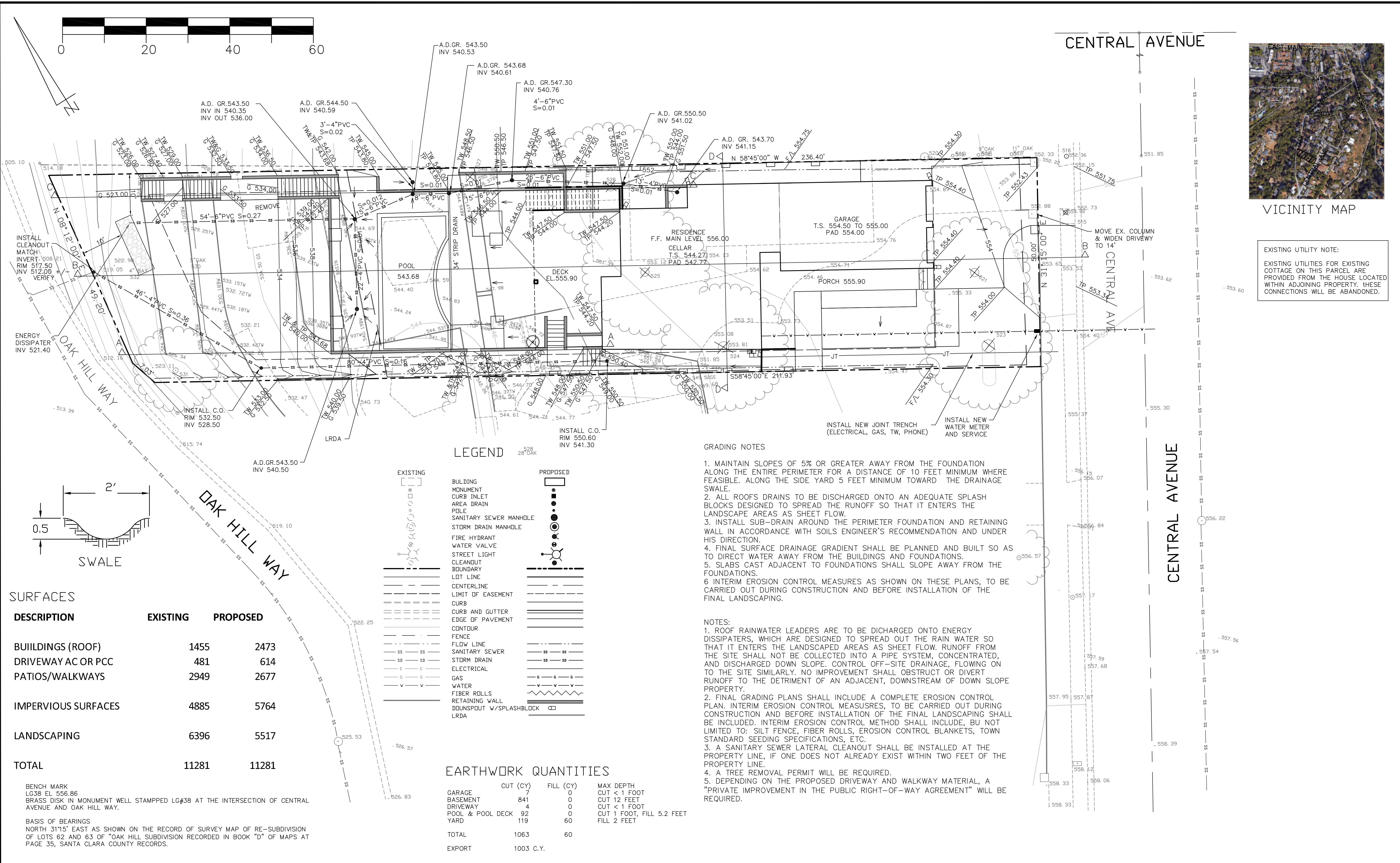


REVISIONS	BY
PLANNING 10-9-10	
PLANNING 12-10-10	
PLANNING 3-27-11	
PLANNING 9-3-19	

RICHARD A. HARTMAN
A.L.A.
HOMETEC ARCHITECTURE, INC.
619 NORTH FIRST STREET, SAN JOSE, CA 95112
408.996.1496
HometecArch@gmail.com

NEW HOME FOR:
ANDREW & ASHLEY BOTHMAN
56 CENTRAL AVENUE, LOS GATOS, CA. 95030

Date	8 - 30 - 10
Scale	1/4" = 1'-0"
Drawn	RAH
Job	10-013
Sheet	A-10
of	Sheets



VICINITY MAP

EXISTING UTILITY NOTE:
 EXISTING UTILITIES FOR EXISTING COTTAGE ON THIS PARCEL ARE PROVIDED FROM THE HOUSE LOCATED WITHIN ADJOINING PROPERTY. THESE CONNECTIONS WILL BE ABANDONED.

GRADING NOTES

1. MAINTAIN SLOPES OF 5% OR GREATER AWAY FROM THE FOUNDATION ALONG THE ENTIRE PERIMETER FOR A DISTANCE OF 10 FEET MINIMUM WHERE FEASIBLE. ALONG THE SIDE YARD 5 FEET MINIMUM TOWARD THE DRAINAGE SWALE.
2. ALL ROOF DRAINS TO BE DISCHARGED ONTO AN ADEQUATE SPLASH BLOCKS DESIGNED TO SPREAD THE RUNOFF SO THAT IT ENTERS THE LANDSCAPE AREAS AS SHEET FLOW.
3. INSTALL SUB-DRAIN AROUND THE PERIMETER FOUNDATION AND RETAINING WALL IN ACCORDANCE WITH SOILS ENGINEER'S RECOMMENDATION AND UNDER HIS DIRECTION.
4. FINAL SURFACE DRAINAGE GRADIENT SHALL BE PLANNED AND BUILT SO AS TO DIRECT WATER AWAY FROM THE BUILDINGS AND FOUNDATIONS.
5. SLABS CAST ADJACENT TO FOUNDATIONS SHALL SLOPE AWAY FROM THE FOUNDATIONS.
6. INTERIM EROSION CONTROL MEASURES AS SHOWN ON THESE PLANS, TO BE CARRIED OUT DURING CONSTRUCTION AND BEFORE INSTALLATION OF THE FINAL LANDSCAPING.

NOTES:

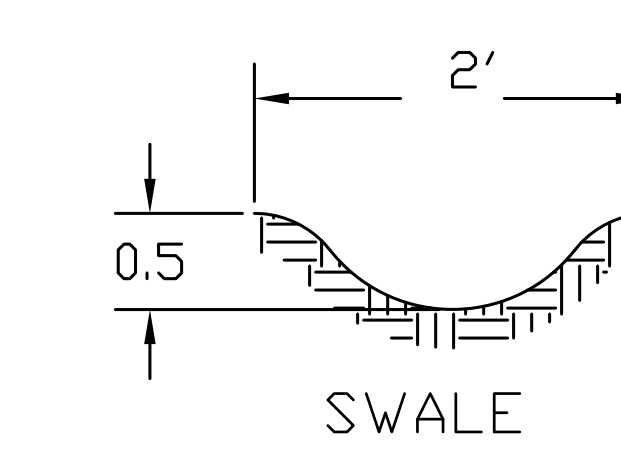
1. ROOF RAINWATER LEADERS ARE TO BE DISCHARGED ONTO ENERGY DISSIPATORS, WHICH ARE DESIGNED TO SPREAD OUT THE RAIN WATER SO THAT IT ENTERS THE LANDSCAPED AREAS AS SHEET FLOW. RUNOFF FROM THE SITE SHALL NOT BE COLLECTED INTO A PIPE SYSTEM, CONCENTRATED, AND DISCHARGED DOWN SLOPE. CONTROL OFF-SITE DRAINAGE, FLOWING ON TO THE SITE SIMILARLY. NO IMPROVEMENT SHALL OBSTRUCT OR DIVERT RUNOFF TO THE DETRIMENT OF AN ADJACENT, DOWNSTREAM OF DOWN SLOPE PROPERTY.
2. FINAL GRADING PLANS SHALL INCLUDE A COMPLETE EROSION CONTROL PLAN. INTERIM EROSION CONTROL MEASURES, TO BE CARRIED OUT DURING CONSTRUCTION AND BEFORE INSTALLATION OF THE FINAL LANDSCAPING SHALL BE INCLUDED. INTERIM EROSION CONTROL METHOD SHALL INCLUDE, BU NOT LIMITED TO: SILT FENCE, FIBER ROLLS, EROSION CONTROL BLANKETS, TOWN STANDARD SEEDING SPECIFICATIONS, ETC.
3. A SANITARY SEWER LATERAL CLEANOUT SHALL BE INSTALLED AT THE PROPERTY LINE, IF ONE DOES NOT ALREADY EXIST WITHIN TWO FEET OF THE PROPERTY LINE.
4. A TREE REMOVAL PERMIT WILL BE REQUIRED.
5. DEPENDING ON THE PROPOSED DRIVEWAY AND WALKWAY MATERIAL, A "PRIVATE IMPROVEMENT IN THE PUBLIC RIGHT-OF-WAY AGREEMENT" WILL BE REQUIRED.

LEGEND

EXISTING	PROPOSED

EARTHWORK QUANTITIES

	CUT (CY)	FILL (CY)	MAX DEPTH
GARAGE	7	0	CUT < 1 FOOT
BASEMENT	841	0	CUT 12 FEET
DRIVEWAY	4	0	CUT < 1 FOOT
POOL & POOL DECK	92	0	CUT 1 FOOT, FILL 5.2 FEET
YARD	119	60	FILL 2 FEET
TOTAL	1063	60	
EXPORT	1003 C.Y.		



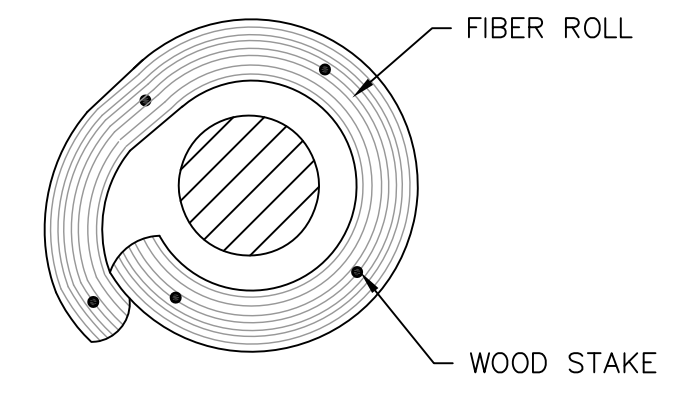
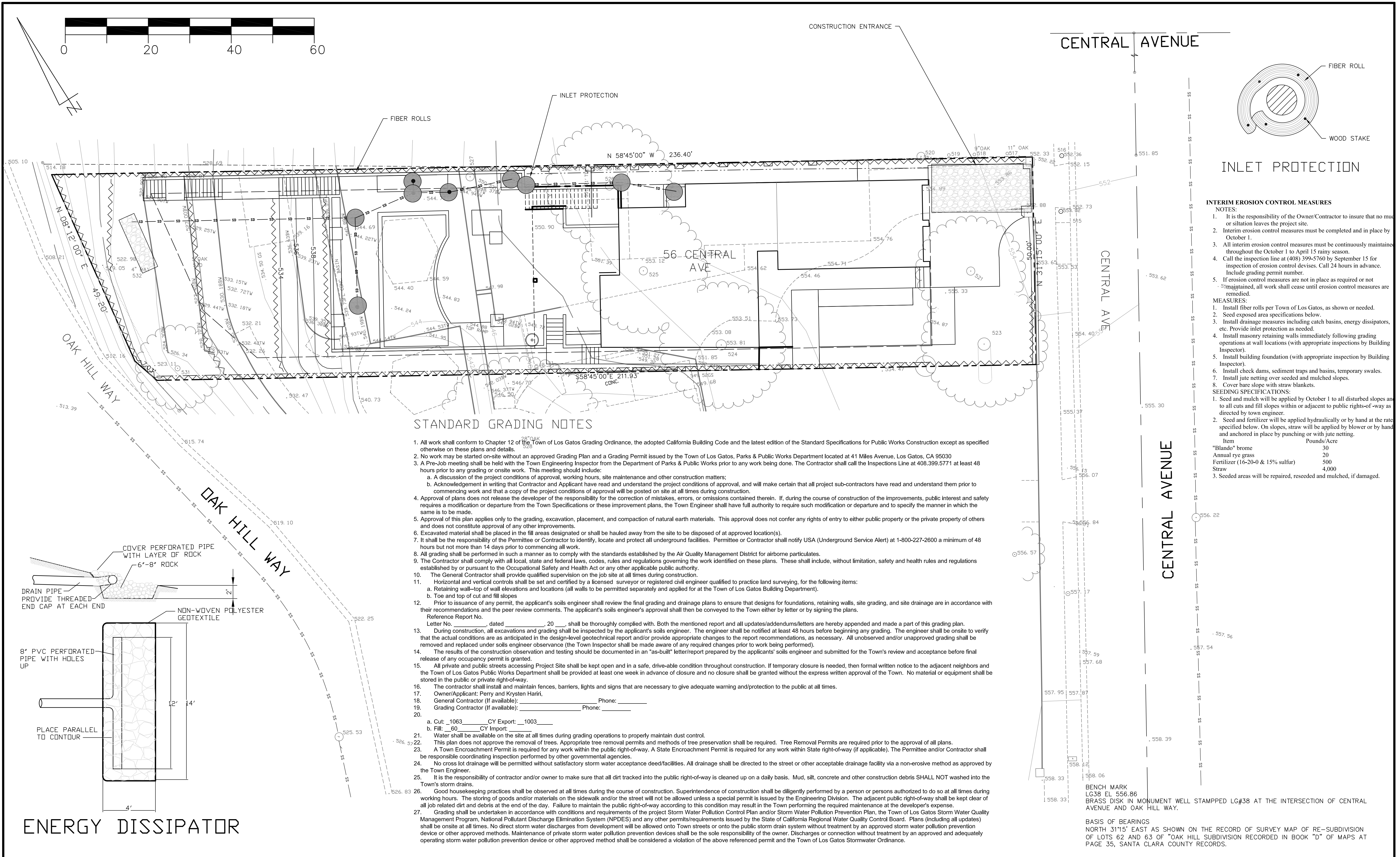
SURFACES

DESCRIPTION	EXISTING	PROPOSED
BUILDINGS (ROOF)	1455	2473
DRIVEWAY AC OR PCC	481	614
PATIOS/WALKWAYS	2949	2677
IMPERVIOUS SURFACES	4885	5764
LANDSCAPING	6396	5517
TOTAL	11281	11281

BENCH MARK
 LG38 EL 556.86
 BRASS DISK IN MONUMENT WELL STAMPED LG#38 AT THE INTERSECTION OF CENTRAL AVENUE AND OAK HILL WAY.

BASIS OF BEARINGS
 NORTH 31°15' EAST AS SHOWN ON THE RECORD OF SURVEY MAP OF RE-SUBDIVISION OF LOTS 62 AND 63 OF "OAK HILL SUBDIVISION RECORDED IN BOOK "D" OF MAPS AT PAGE 35, SANTA CLARA COUNTY RECORDS.

NO.	BY	DATE	REVISION	BY	DATE	DATE: May 2019 SCALE: HOR. 1" = 10' VERT. DESIGNED: [Blank] DRAWN: JK, HB PROJ. ENGR: [Blank]	 WESTFALL ENGINEERS, INC. 14583 BIG BASIN WAY, SARATOGA, CA 95070 (408)867-0244	GRADING AND DRAINAGE PLAN BOTHMAN RESIDENCE 56 CENTRAL AVENUE, LOS GATOS, CA	JOB NO. 2012-043 SHEET C1 OF 3
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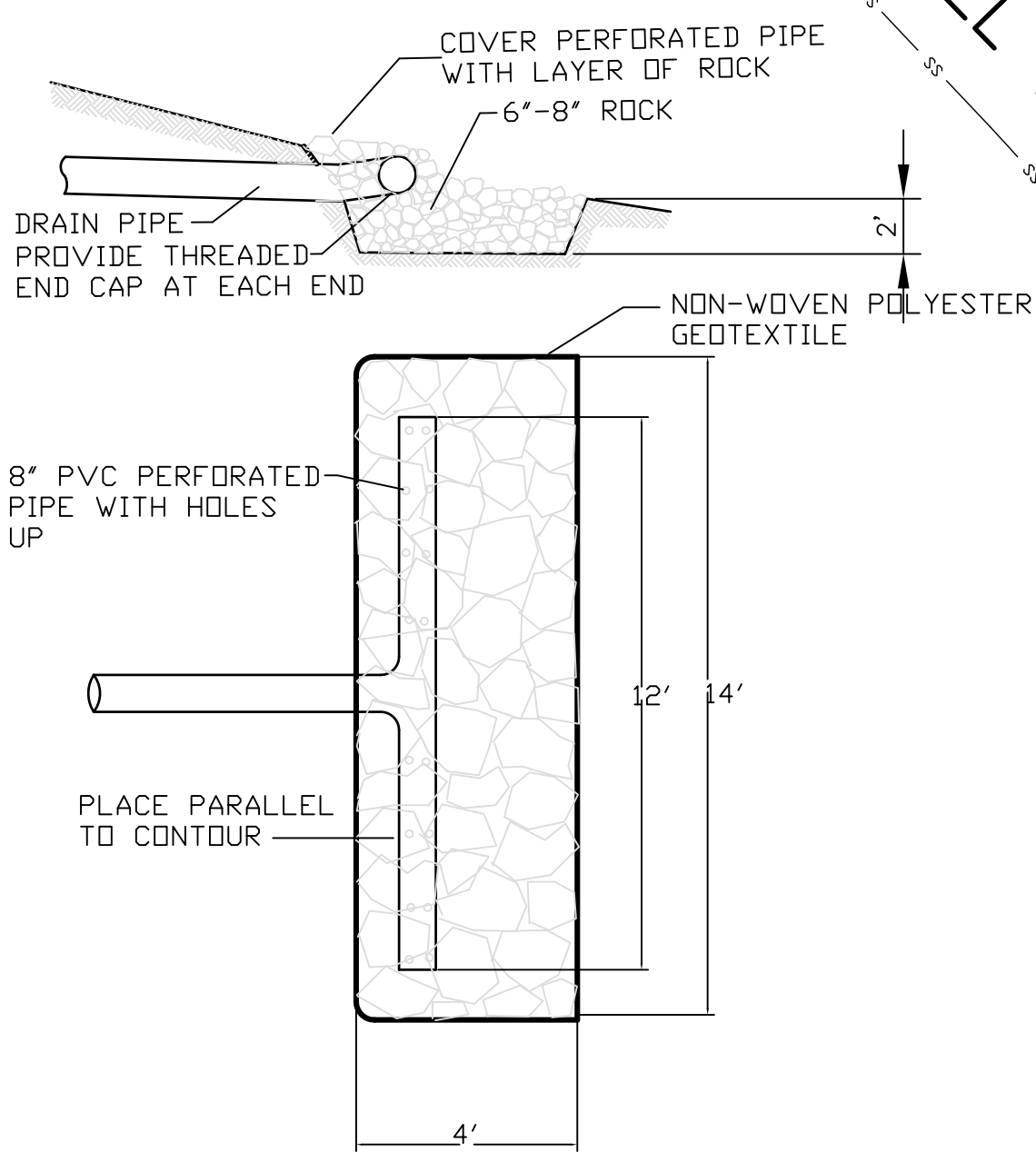


INLET PROTECTION

- INTERIM EROSION CONTROL MEASURES**
- NOTES:
- It is the responsibility of the Owner/Contractor to insure that no mud or siltation leaves the project site.
 - Interim erosion control measures must be completed and in place by October 1.
 - All interim erosion control measures must be continuously maintained throughout the October 1 to April 15 rainy season.
 - Call the inspection line at (408) 399-5760 by September 15 for inspection of erosion control devices. Call 24 hours in advance. Include grading permit number.
 - If erosion control measures are not in place as required or not maintained, all work shall cease until erosion control measures are remedied.
- MEASURES:**
- Install fiber rolls per Town of Los Gatos, as shown or needed.
 - Seed exposed area specifications below.
 - Install drainage measures including catch basins, energy dissipators, etc. Provide inlet protection as needed.
 - Install masonry retaining walls immediately following grading operations at wall locations (with appropriate inspections by Building Inspector).
 - Install building foundation (with appropriate inspection by Building Inspector).
 - Install check dams, sediment traps and basins, temporary swales.
 - Install jute netting over seeded and mulched slopes.
 - Cover bare slope with straw blankets.
- SEEDING SPECIFICATIONS:**
- Seed and mulch will be applied by October 1 to all disturbed slopes and to all cuts and fill slopes within or adjacent to public rights-of-way as directed by town engineer.
 - Seed and fertilizer will be applied hydraulically or by hand at the rate specified below. On slopes, straw will be applied by blower or by hand and anchored in place by punching or with jute netting.
- | Item | Pounds/Acre |
|-----------------------------------|-------------|
| "Blando" bromo | 30 |
| Annual rye grass | 20 |
| Fertilizer (16-20-0 & 15% sulfur) | 500 |
| Straw | 4,000 |
3. Seeded areas will be repaired, reseeded and mulched, if damaged.

STANDARD GRADING NOTES

- All work shall conform to Chapter 12 of the Town of Los Gatos Grading Ordinance, the adopted California Building Code and the latest edition of the Standard Specifications for Public Works Construction except as specified otherwise on these plans and details.
- No work may be started on-site without an approved Grading Plan and a Grading Permit issued by the Town of Los Gatos, Parks & Public Works Department located at 41 Miles Avenue, Los Gatos, CA 95030
- A Pre-Job meeting shall be held with the Town Engineering Inspector from the Department of Parks & Public Works prior to any work being done. The Contractor shall call the Inspections Line at 408.399.5771 at least 48 hours prior to any grading or onsite work. This meeting should include:
 - A discussion of the project conditions of approval, working hours, site maintenance and other construction matters;
 - Acknowledgement in writing that Contractor and Applicant have read and understand the project conditions of approval, and will make certain that all project sub-contractors have read and understand them prior to commencing work and that a copy of the project conditions of approval will be posted on site at all times during construction.
- Approval of plans does not release the developer of the responsibility for the correction of mistakes, errors, or omissions contained therein. If, during the course of construction of the improvements, public interest and safety requires a modification or departure from the Town Specifications or these improvement plans, the Town Engineer shall have full authority to require such modification or departure and to specify the manner in which the same is to be made.
- Approval of this plan applies only to the grading, excavation, placement, and compaction of natural earth materials. This approval does not confer any rights of entry to either public property or the private property of others and does not constitute approval of any other improvements.
- Excavated material shall be placed in the fill areas designated or shall be hauled away from the site to be disposed of at approved location(s).
- It shall be the responsibility of the Permittee or Contractor to identify, locate and protect all underground facilities. Permittee or Contractor shall notify USA (Underground Service Alert) at 1-800-227-2600 a minimum of 48 hours but not more than 14 days prior to commencing all work.
- All grading shall be performed in such a manner as to comply with the standards established by the Air Quality Management District for airborne particulates.
- The Contractor shall comply with all local, state and federal laws, codes, rules and regulations governing the work identified on these plans. These shall include, without limitation, safety and health rules and regulations established by or pursuant to the Occupational Safety and Health Act or any other applicable public authority.
- The General Contractor shall provide qualified supervision on the job site at all times during construction.
- Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items:
 - Retaining wall-top of wall elevations and locations (all walls to be permitted separately and applied for at the Town of Los Gatos Building Department).
 - Toe and top of cut and fill slopes
- Prior to issuance of any permit, the applicant's soils engineer shall review the final grading and drainage plans to ensure that designs for foundations, retaining walls, site grading, and site drainage are in accordance with their recommendations and the peer review comments. The applicant's soils engineer's approval shall then be conveyed to the Town either by letter or by signing the plans. Reference Report No. _____ Letter No. _____, dated _____, 20____ shall be thoroughly complied with. Both the mentioned report and all updates/addendums/letters are hereby appended and made a part of this grading plan.
- During construction, all excavations and grading shall be inspected by the applicant's soils engineer. The engineer shall be notified at least 48 hours before beginning any grading. The engineer shall be onsite to verify that the actual conditions are as anticipated in the design-level geotechnical report and/or provide appropriate changes to the report recommendations, as necessary. All unobserved and/or unapproved grading shall be removed and replaced under soils engineer observation (the Town Inspector shall be made aware of any required changes prior to work being performed).
- The results of the construction observation and testing should be documented in an "as-built" letter/report prepared by the applicants' soils engineer and submitted for the Town's review and acceptance before final release of any occupancy permit is granted.
- All private and public streets accessing Project Site shall be kept open and in a safe, drive-able condition throughout construction. If temporary closure is needed, then formal written notice to the adjacent neighbors and the Town of Los Gatos Public Works Department shall be provided at least one week in advance of closure and no closure shall be granted without the express written approval of the Town. No material or equipment shall be stored in the public or private right-of-way.
- The contractor shall install and maintain fences, barriers, lights and signs that are necessary to give adequate warning and protection to the public at all times.
- Owner/Applicant: Perry and Krysten Hanin.
- General Contractor (If available): _____ Phone: _____
- Grading Contractor (If available): _____ Phone: _____
- Grading Contractor (If available): _____ Phone: _____
- a. Cut: 1063 _____ CY Export; 1003 _____
- b. Fill: 60 _____ CY Import;
- Water shall be available on the site at all times during grading operations to properly maintain dust control.
- This plan does not approve the removal of trees. Appropriate tree removal permits and methods of tree preservation shall be required. Tree Removal Permits are required prior to the approval of all plans.
- A Town Encroachment Permit is required for any work within the public right-of-way. A State Encroachment Permit is required for any work within State right-of-way (if applicable). The Permittee and/or Contractor shall be responsible coordinating inspection performed by other governmental agencies.
- No cross lot drainage will be permitted without satisfactory storm water acceptance deed/facilities. All drainage shall be directed to the street or other acceptable drainage facility via a non-erosive method as approved by the Town Engineer.
- It is the responsibility of contractor and/or owner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT washed into the Town's storm drains.
- Good housekeeping practices shall be observed at all times during the course of construction. Superintendence of construction shall be diligently performed by a person or persons authorized to do so at all times during working hours. The storing of goods and/or materials on the sidewalk and/or the street will not be allowed unless a special permit is issued by the Engineering Division. The adjacent public right-of-way shall be kept clear of all job related dirt and debris at the end of the day. Failure to maintain the public right-of-way according to this condition may result in the Town performing the required maintenance at the developer's expense.
- Grading shall be undertaken in accordance with conditions and requirements of the project Storm Water Pollution Control Plan and/or Storm Water Pollution Prevention Plan, the Town of Los Gatos Storm Water Quality Management Program, National Pollutant Discharge Elimination System (NPDES) and any other permits/requirements issued by the State of California Regional Water Quality Control Board. Plans (including all updates) shall be onsite at all times. No direct storm water discharges from development will be allowed onto Town streets or onto the public storm drain system without treatment by an approved storm water pollution prevention device or other approved methods. Maintenance of private storm water pollution prevention devices shall be the sole responsibility of the owner. Discharges or connection without treatment by an approved and adequately operating storm water pollution prevention device or other approved method shall be considered a violation of the above referenced permit and the Town of Los Gatos Stormwater Ordinance.



ENERGY DISSIPATOR

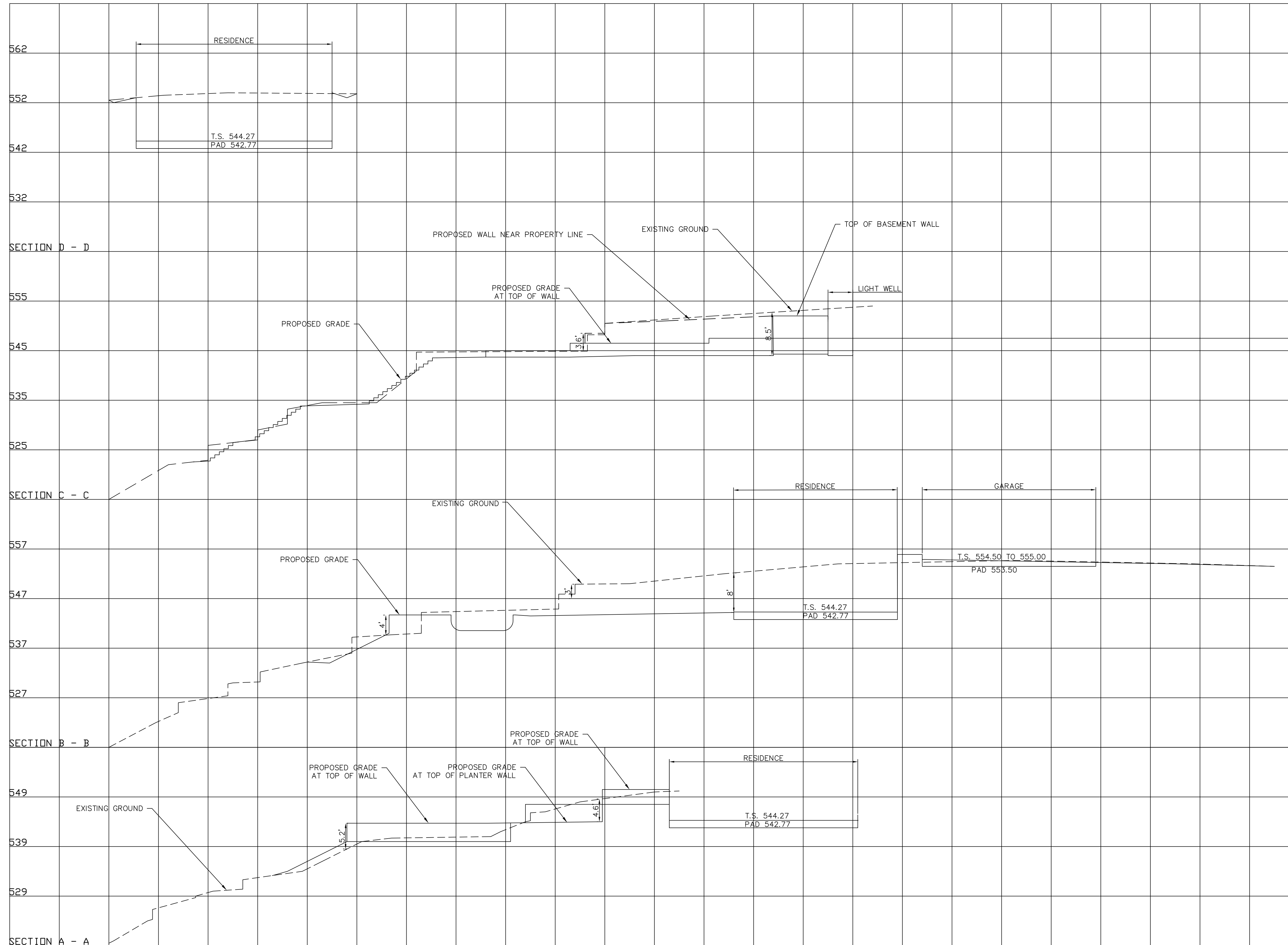
NO.	BY	DATE	REVISION	BY	DATE

DATE: May 2019
 SCALE: HOR. 1" = 10'
 VERT. _____
 DESIGNED: _____
 DRAWN: JK, HB
 PROJ. ENGR: _____

WESTFALL ENGINEERS, INC.
 14583 BIG BASIN WAY, SARATOGA, CA 95070 (408)867-0244

EROSION CONTROL PLAN
BOTHMAN RESIDENCE
 56 CENTRAL AVENUE, LOS GATOS, CA

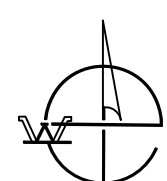
JOB NO. 2012-043
 SHEET C2
 OF 3



VERTICAL SCALE: 1 inch = 10 feet
 HORIZONTAL SCALE: 1 inch = 10 feet

NO.	BY	DATE	REVISION	BY	DATE	DATE: May 2019
						SCALE: HDR. 1"=10' VERT. 1"=10'
						DESIGNED:
						DRAWN: JK, HB
						PRDJ. ENGR:

BY: KAREL CYMBAL, RCE 34534
 DATE:



WESTFALL ENGINEERS, INC.
 14583 BIG BASIN WAY, SARATOGA, CA 95070 (408)867-0244

SECTIONS
BOTHMAN RESIDENCE
 56 CENTRAL AVENUE, LOS GATOS, CA

JOB NO.
 2012-043
 SHEET C3
 OF 3

CONSULTANT:

BOTHMAN RESIDENCE
56 CENTRAL AVENUE
LOS GATOS, CA 95030
ANDREW & ASHLEY BOTHMAN
228 SUNSHINE AVENUE
CAMPBELL, CA 95008

PROJECT:

REVISIONS:

MARK	DATE	DESCRIPTION

DRAWING TITLE:
LANDSCAPE SITE PLAN

DATE: 03/25/2019

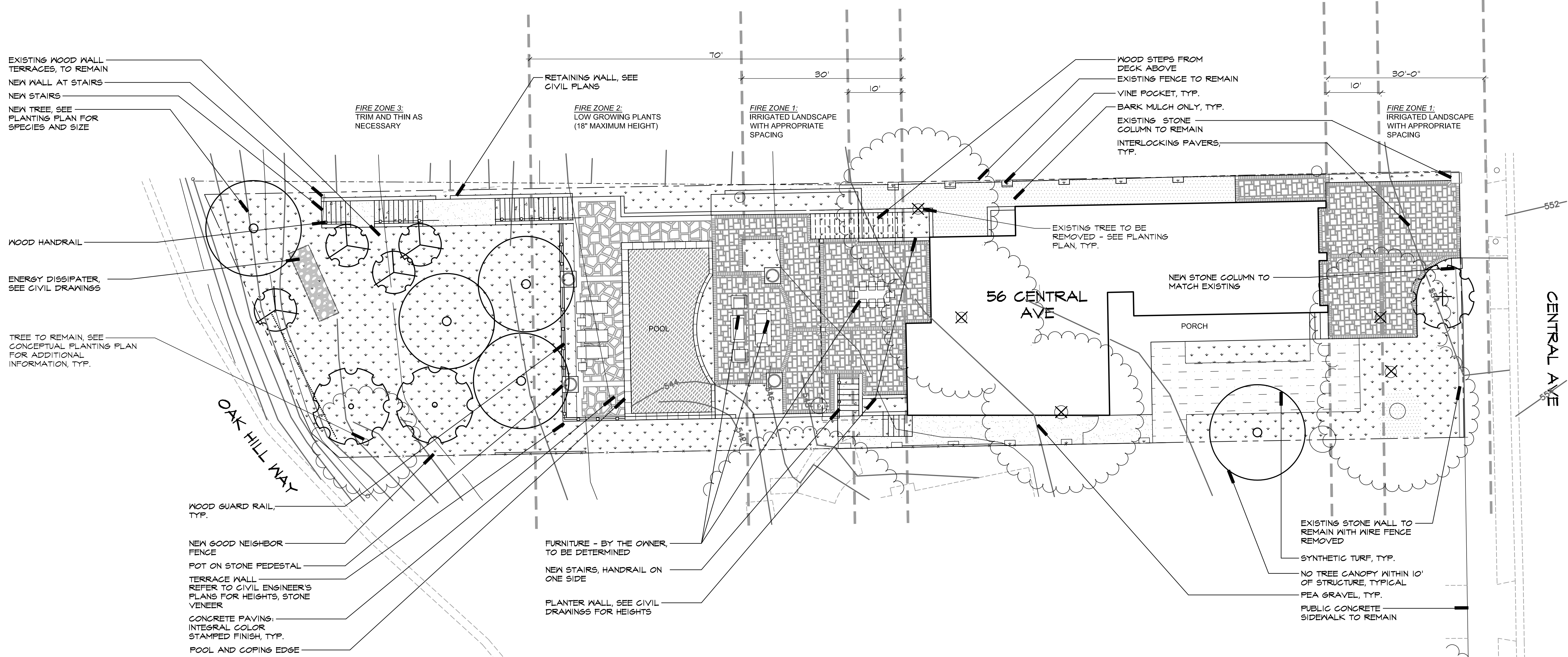
JOB NUMBER: 1828

DRAWN: KU CHECKED: EP

SCALE: AS NOTED

SHEET NUMBER

L1.01



EXISTING WOOD WALL TERRACES, TO REMAIN
NEW WALL AT STAIRS
NEW STAIRS
NEW TREE, SEE PLANTING PLAN FOR SPECIES AND SIZE

WOOD HANDRAIL
ENERGY DISSIPATER, SEE CIVIL DRAWINGS
TREE TO REMAIN, SEE CONCEPTUAL PLANTING PLAN FOR ADDITIONAL INFORMATION, TYP.

WOOD GUARD RAIL, TYP.
NEW GOOD NEIGHBOR FENCE
POT ON STONE PEDESTAL
TERRACE WALL, REFER TO CIVIL ENGINEER'S PLANS FOR HEIGHTS, STONE VENEER
CONCRETE PAVING, INTEGRAL COLOR STAMPED FINISH, TYP.
POOL AND COPING EDGE

WOOD GUARD RAIL, TYP.
NEW GOOD NEIGHBOR FENCE
POT ON STONE PEDESTAL
TERRACE WALL, REFER TO CIVIL ENGINEER'S PLANS FOR HEIGHTS, STONE VENEER
CONCRETE PAVING, INTEGRAL COLOR STAMPED FINISH, TYP.
POOL AND COPING EDGE

RETAINING WALL, SEE CIVIL PLANS
FIRE ZONE 2: LOW GROWING PLANTS (18" MAXIMUM HEIGHT)
FIRE ZONE 3: TRIM AND THIN AS NECESSARY

FURNITURE - BY THE OWNER, TO BE DETERMINED
NEW STAIRS, HANDRAIL ON ONE SIDE
PLANTER WALL, SEE CIVIL DRAWINGS FOR HEIGHTS

FIRE ZONE 1: IRRIGATED LANDSCAPE WITH APPROPRIATE SPACING

WOOD STEPS FROM DECK ABOVE
EXISTING FENCE TO REMAIN
VINE POCKET, TYP.
BARK MULCH ONLY, TYP.
EXISTING STONE COLUMN TO REMAIN
INTERLOCKING PAVERS, TYP.

FIRE ZONE 1: IRRIGATED LANDSCAPE WITH APPROPRIATE SPACING

56 CENTRAL AVE

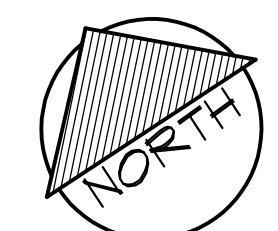
NEW STONE COLUMN TO MATCH EXISTING

PORCH

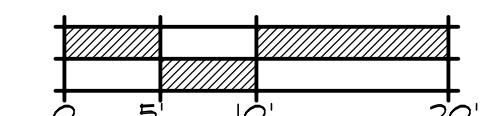
EXISTING STONE WALL TO REMAIN WITH WIRE FENCE REMOVED
SYNTHETIC TURF, TYP.
NO TREE CANOPY WITHIN 10' OF STRUCTURE, TYPICAL
PEA GRAVEL, TYP.
PUBLIC CONCRETE SIDEWALK TO REMAIN

LEGEND

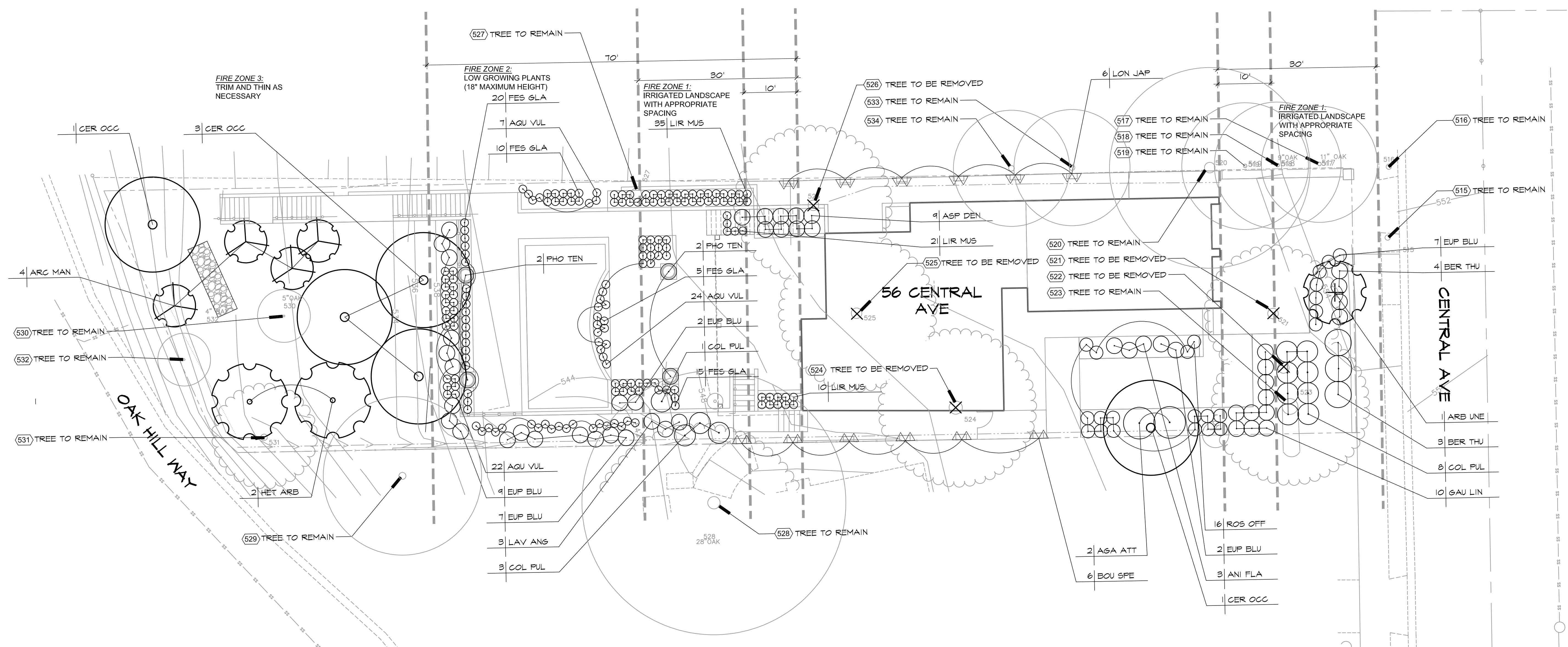
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	INTERLOCKING PAVERS, SEE DETAIL ON SHEET L1.03		PEA GRAVEL
	CONCRETE PAVING, INTEGRAL COLOR STAMPED FINISH		SYNTHETIC TURF
	CONCRETE PAVING, INTEGRAL COLOR MEDIUM BROOM FINISH		STANDARD SHRUB AND GROUND COVER PLANTING
	GOOD NEIGHBOR WOOD FENCE, 6' HIGH		BARK MULCH ONLY
	WOOD GUARD RAIL, 42" HIGH		
	WOOD HANDRAIL AT STEPS		



SCALE: 1" = 10'-0"



REFER TO PLANTING PLAN, L1.02



EXISTING TREE LEGEND

ID	BOTANICAL NAME	COMMON NAME	TRUNK DIA. (IN.)	HEIGHT (FT.)	CANOPY DIA. (FT.)	CONDITION	SUITABILITY	IMPACT	STATUS
515	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	8	35	4	GOOD	FAIR	LOW	PROTECTED
516	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	12	35	4	GOOD	FAIR	LOW	PROTECTED
517	QUERCUS AGRIFOLIA	COAST LIVE OAK	11	25	25	POOR	FAIR	MOD/HIGH	PROTECTED
518	QUERCUS AGRIFOLIA	COAST LIVE OAK	9	25	25	POOR	FAIR	MOD/HIGH	PROTECTED
519	QUERCUS AGRIFOLIA	COAST LIVE OAK	12	25	25	FAIR	FAIR	MOD/HIGH	PROTECTED
520	QUERCUS AGRIFOLIA	COAST LIVE OAK	28	45	38	GOOD	FAIR	MOD/HIGH	LARGE PROTECTED
521	PHOENIX CANARIENSIS	CANARY ISLAND DATE PALM	24	40	20	GOOD	POOR	HIGH	PROTECTED
522	CITRUS SINENSIS	ORANGE	4	6	6	POOR	POOR	HIGH	EXEMPT
523	PINUS FINEA	STONE PINE	34	55	50	POOR	POOR	HIGH	PROTECTED
524	CEDRUS DEODARA	DEODAR CEDAR	27	55	45	FAIR	POOR	HIGH	PROTECTED
525	QUERCUS AGRIFOLIA	COAST LIVE OAK	22	45	40	FAIR	FAIR	HIGH	PROTECTED
526	QUERCUS AGRIFOLIA	COAST LIVE OAK	27	45	40	FAIR	FAIR	HIGH	LARGE PROTECTED
527	QUERCUS DOUGLASII	BLUE OAK	24	45	40	FAIR	FAIR	HIGH	LARGE PROTECTED
528	QUERCUS DOUGLASII	BLUE OAK	28	55	50	FAIR	FAIR	LOW	LARGE PROTECTED
529	QUERCUS AGRIFOLIA	COAST LIVE OAK	16	30	30	FAIR	FAIR	LOW	PROTECTED
530	QUERCUS AGRIFOLIA	COAST LIVE OAK	5	15	10	FAIR	FAIR	HIGH	PROTECTED
531	QUERCUS AGRIFOLIA	COAST LIVE OAK	15	30	30	FAIR	FAIR	MOD/HIGH	PROTECTED
532	UMBELLULARIA CALIFORNICA	BAY LAUREL	4	20	10	FAIR	FAIR	HIGH	PROTECTED
533	QUERCUS AGRIFOLIA	COAST LIVE OAK	13	35	30	FAIR	FAIR	MOD/HIGH	PROTECTED
534	QUERCUS AGRIFOLIA	COAST LIVE OAK	13	35	30	FAIR	FAIR	MOD/HIGH	PROTECTED

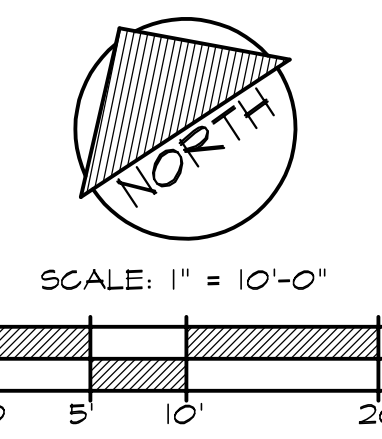
- EXISTING TREE NOTES**
- ALL EXISTING TREES TO BE REMOVED SHALL RECEIVE ADDITIONAL REVIEW BY A CERTIFIED ARBORIST.
 - (13) NEW TREES ARE PROPOSED TO MITIGATE (5) EXISTING TREES TO BE REMOVED.
(6) 36" BOX AND (7) 24" BOX

PROPOSED PLANT LEGEND

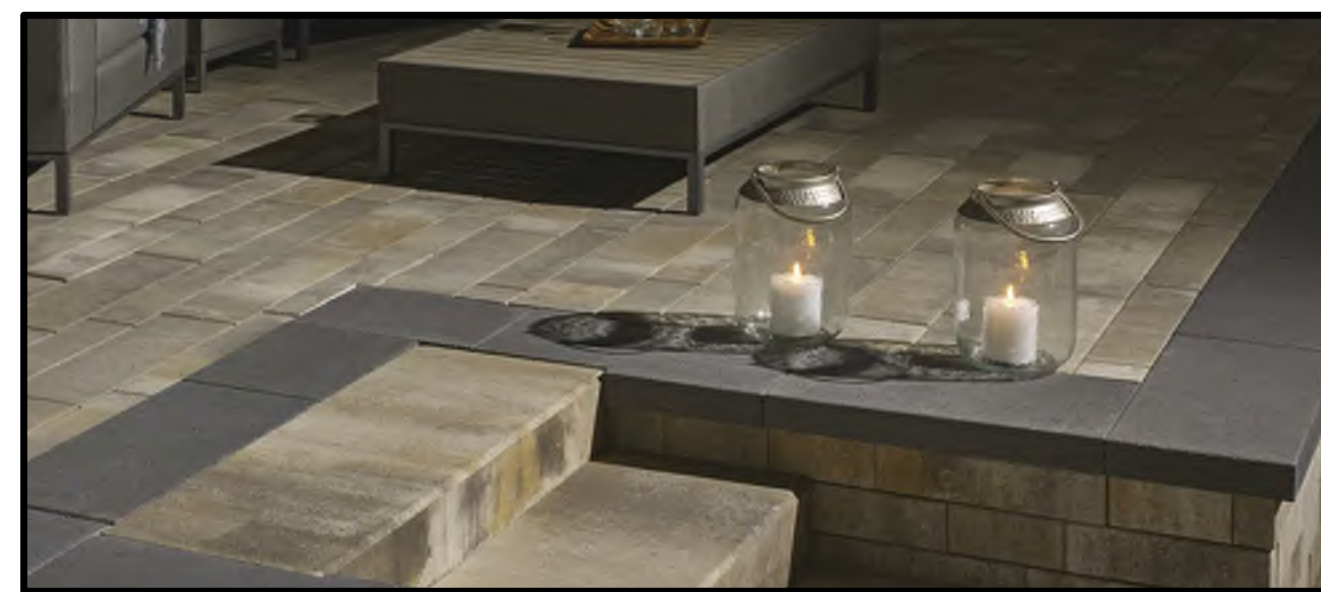
ABBR.	BOTANICAL NAME	COMMON NAME	CONT. SIZE	MATURE SIZE	QUANTITY
TREES					
ARB UNE	ARBUS UNEDO	STRAWBERRY TREE	36" BOX	25'W X 25'H	1
ARC MAN	ARCTOSTAPHYLOS MANZANITA 'DR HURD'	MANZANITA	24" BOX	10'W X 10'H	5
CER OCC	CERCIS OCCIDENTALIS	WESTERN RED BUD	36" BOX MULTI TRUNK	18'W X 18'H	5
HET ARB	HETEROMELES ARBUTIFOLIA	TOYON	24" BOX	15'W X 15'H	2
AGA ATT	AGAVE ATTENUATA	FOX TAIL AGAVE	5 GAL.	6'W X 6'H	2
ASP DEN	ASPARAGUS DENSIFLORUS 'MYERS'	MYERS ASPARAGUS	5 GAL.	3'W X 3'H	4
ANI FLA	ANIGOZANTHOS FLAVIDUM 'BIG RED'	RED KANGAROO PAW	5 GAL.	3'W X 4'H	3
AQU VUL	AQUILEGIA VULGARIS	COLUMBINE	1 GAL.	12'W X 24'H	58
BER THU	BERBERIS THUNBERGII	JAPANESE BARBERRY	5 GAL.	5'W X 5'H	3
COL PUL	COLEONEMA PULCHELLUM 'SUNSET GOLD'	DIOSMA	5 GAL.	5'W X 5'H	12
EUP BLU	EUPHORBIA SEQUIERIANA 'BLUE HAZE'	BLUE HAZE SPURGE	5 GAL.	3'W X 18'H	27
FES GLA	FESTUCA GLAUGA OVINA	BLUE FESCUE	1 GAL.	12'W X 12'H	50
GAU LIN	GAURA LINDHEIMERI	GAURA	1 GAL.	3'W X 3'H	10
LAV ANG	LAVANDULA ANGUSTIFOLIA 'MUMSTEAD'	ENGLISH LAVENDER	5 GAL.	36'W X 36'H	3
LIR MUS	LIRIOPE MUSCARI 'VARIEGATA'	LILY TURF	1 GAL.	24'W X 24'H	50
PHO TEN	PHORMIUM TENAX 'PLATTS BLACK'	NEW ZEALAND FLAX	5 GAL.	36'W X 36'H	4
ROS OFF	ROSMARINUS OFFICINALIS 'LOCKWOOD DE FOREST'	ROSEMARY	5 GAL.	30'W X 30'H	16
VINES					
BOU SPE	BOUGAINVILLEA SPECTABILIS 'SAN DIEGO RED'	BOUGAINVILLEA	5 GAL.	8'W X 15'H	6
LON PER	LONICERA JAPONICA 'PURPUREUM'	JAPANESE HONEYSUCKLE	5 GAL.	6'W X 10'H	6

IRRIGATION NOTES

- ALL PLANTING AREAS SHALL BE IRRIGATED WITH A NETAFIM TYPE DRIP SYSTEM.
- ALL TREES SHALL BE IRRIGATED BY (2) TREE BUBBLERS IN DRAIN TUBES.
- AN AUTOMATIC WEATHER-BASED IRRIGATION CONTROLLER WITH AN ET SENSOR SHALL BE INSTALLED AND CONTROL THE ENTIRE IRRIGATION SYSTEM.
- ALL IRRIGATION SHALL BE DESIGNED AND INSTALLED IN COMPLIANCE WITH THE WATER EFFICIENT LANDSCAPE ORDINANCE.



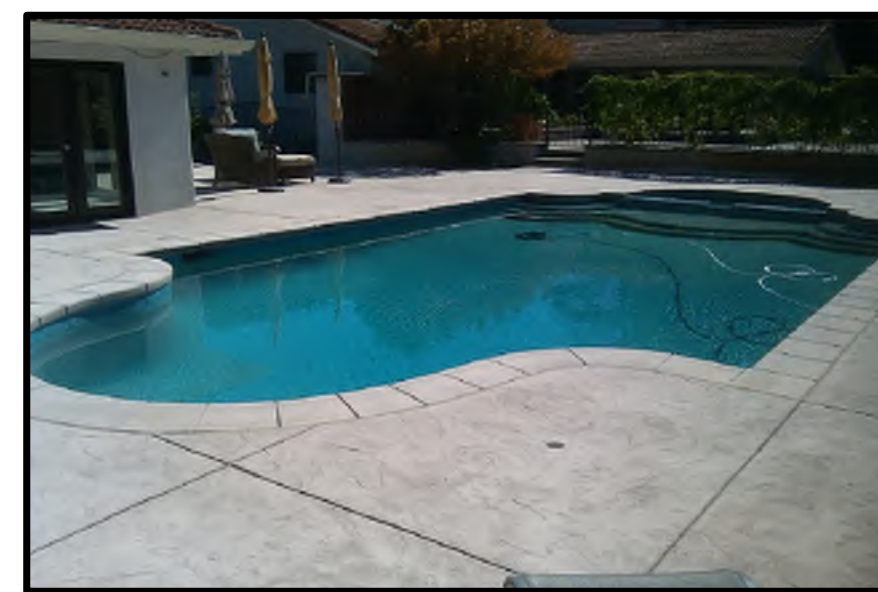
HARDSCAPE:



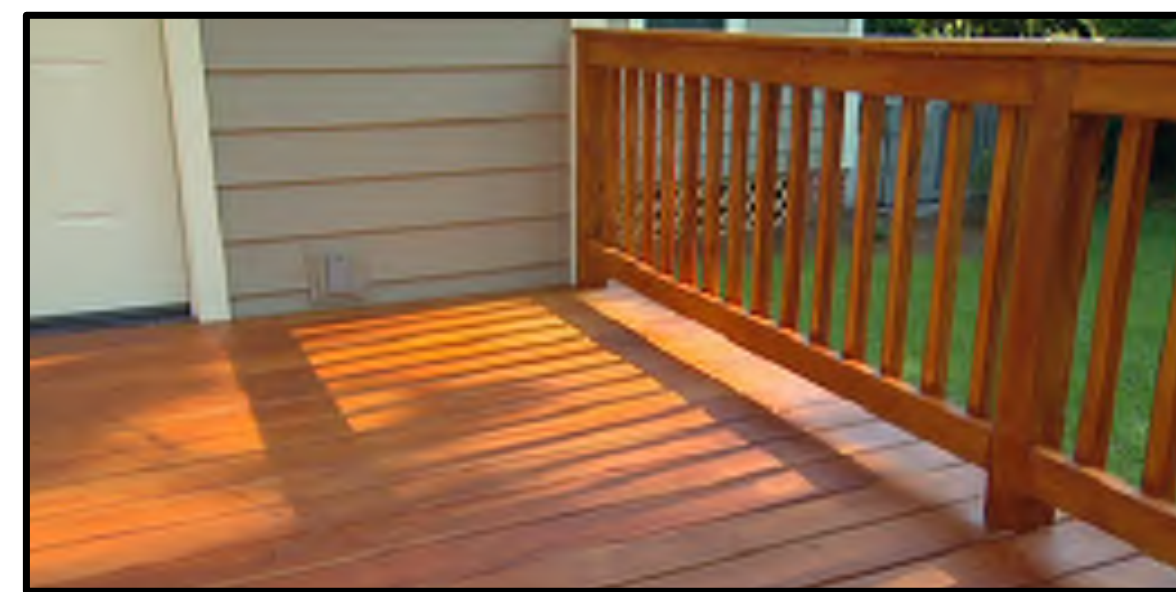
INTERLOCKING PAVERS



POOL COPING



COLOR STAMPED CONCRETE AT POOL



1ST FLOOR DECKING



1/4" GRANITE GRAVEL PATH



SYNTHETIC TURF

SITE ELEMENTS:



HANDRAIL AT STEPS



GUARD RAIL AT POOL AREA



TERRACE WALL



TERRACE CAP
(MULTIPLE COLORS AVAILABLE)



CERAMIC POT



GOOD NEIGHBOR FENCE



POTS ON STONE PEDESTALS



ROCK WALL IN FRONT YARD

FIREZONE 1 SHRUBS & GRASSES (IRRIGATED ORNAMENTALS):



AGAVE ATTENUATA
AGAVE



ANIGOZANTHOS SP.
KANGAROO PAW



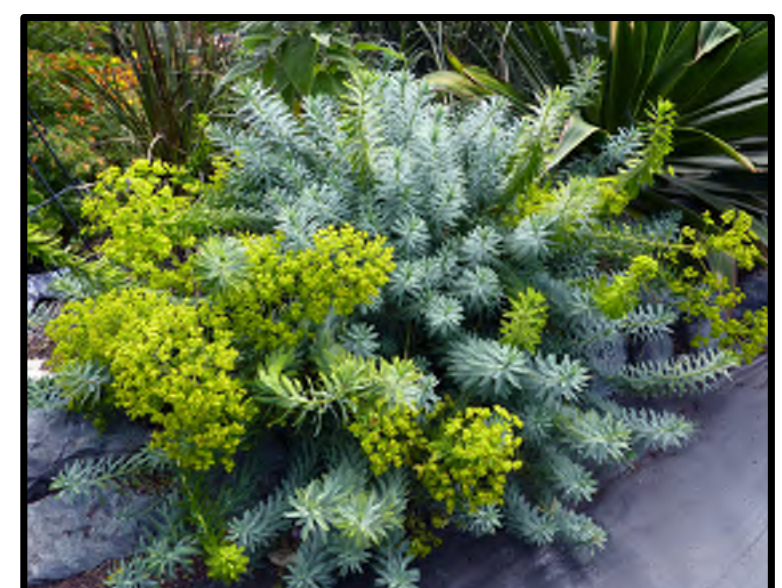
ASPARAGUS DENSIFLORUS "MYERS"
MYERS ASPARAGUS



ARCTOSTAPHYLOS DENSIFLORA
'HOWARD McMINN'
HOWARD McMINN MANZANITA



COLEONEMA PULCHERIMA 'SUNSET GOLD'
BREATH OF HEAVEN



EUPHORBIA 'BLUE HAZE'
SPURGE



FESTUCA GLAUCA
BLUE OAT GRASS



GAURA LINDHEIMERI
WHITE GAURA



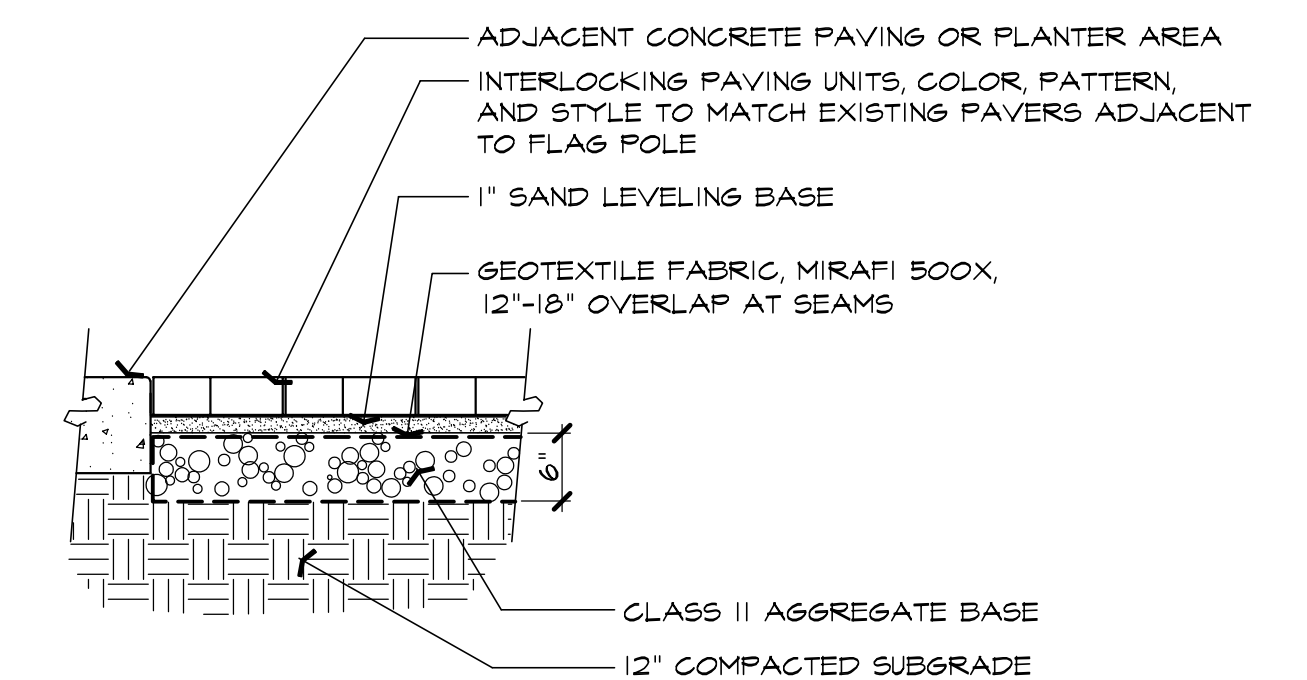
LIRIOPE MUSCARI
VARIEGATED LILY TURF



PHORMIUM TENAX
NEW ZEALAND FLAX



ROSMARINUS OFFICINALIS 'TUSCAN BLUE'
UPRIGHT TUSCAN BLUE ROSEMARY



NOTES:

1. INTERLOCKING PAVING UNITS TO BE 60 MM MIN. THICKNESS CONCRETE AND SHALL HAVE MIN. COMP. STRENGTH OF 8,000 PSI.
2. PAVERS SHALL BE FLUSH W/ CONCRETE BANDING & ADJACENT PAVING.
3. LAYOUT PAVERS PRIOR TO INSTALLATION & SPACE SO THAT NO PAVERS REQUIRE SAWCUTTING LESS THAN 2" IN ANY DIRECTION.
4. INSTALL PAVERS W/ TIGHT JOINTS. FILL VOIDS W/ SAND & COMPACT UNTIL ALL JOINTS ARE TIGHT.
5. PAVER SURFACE SHALL BE SMOOTH AND CONTINUOUS SURFACE WITH NO GAPS.
6. PAVERS SHALL BE CALSTONE, ANTIQUE MISSION.
COLOR: TAN/BROWN/CHARCOAL
PATTERN: FIELD, MISSION 3; BAND 4X8

INTERLOCKING PAVERS DETAIL

FIREZONE 2 SHRUBS & GRASSES (LOW GROWING FIRE BREAK):



AQUILEGIA VULGARIS
COLUMBINE



AEONIUM 'GARNET'



ARTEMISIA CALIFORNICA
CALIFORNIA SAGEBRUSH



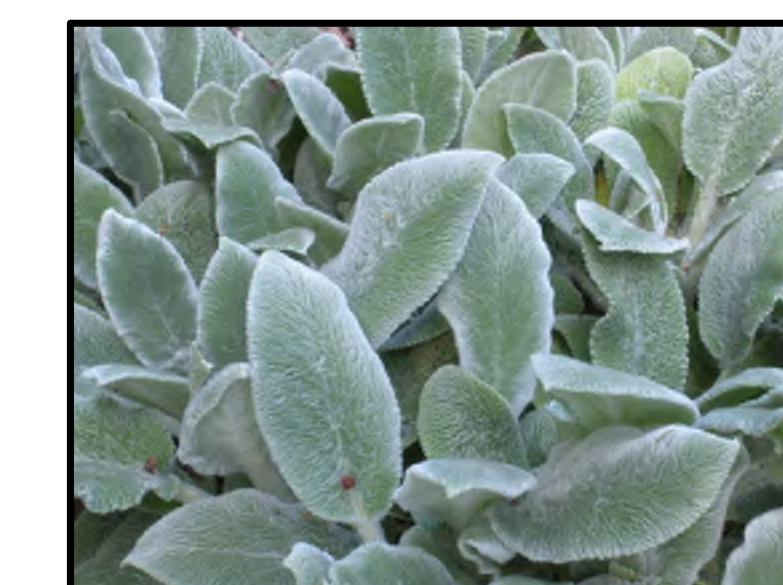
FESTUCA GLAUCA
BLUE OAT GRASS



LAVANDULA SP.
LAVENDER



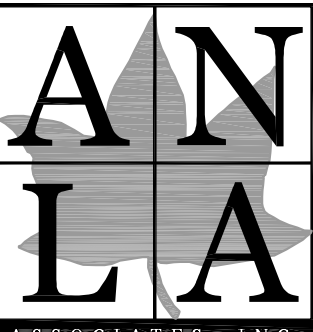
PENSTEMON EATONII
FIRECRACKER BEARD TONGUE



STACHYS 'SILVER CARPET'
LAMB'S EAR



ZAUSCHNERIA CALIFORNICA
CALIFORNIA FUSCHIA



1213 Lincoln Ave, Suite 211
San Jose, CA 95125
T. 408.292.2195
www.anla-associates.com

CONSULTANT:

PROJECT: **BOTHMAN RESIDENCE**
66 CENTRAL AVENUE
LOS GATOS, CA 95030
OWNER: **ANDREW & ASHLEY BOTHMAN**
228 SUNSHINE AVENUE
CAMPBELL, CA 95008

REVISIONS:		
MARK	DATE	DESCRIPTION

DRAWING TITLE:
PLANTING AND MATERIALS BOARD

DATE: 03/25/2019
JOB NUMBER: 1828
DRAWN: KU CHECKED: EP
SCALE: AS NOTED

SHEET NUMBER
L1.03

FIREZONE 3 SHRUBS & GRASSES (SPARSELY PLANTED):



ARTEMISIA CALIFORNICA
CALIFORNIA SAGEBRUSH



ARCTOSTAPHYLOS DENSIFLORA
'HOWARD McMINN'
HOWARD McMINN MANZANITA



CEANOTHUS SP.
CALIFORNIA LILAC



LAVANDULA SP.
LAVENDER



ROSMARINUS OFFICINALIS
'TUSCAN BLUE'
UPRIGHT TUSCAN BLUE
ROSEMARY

GROUND COVERS:



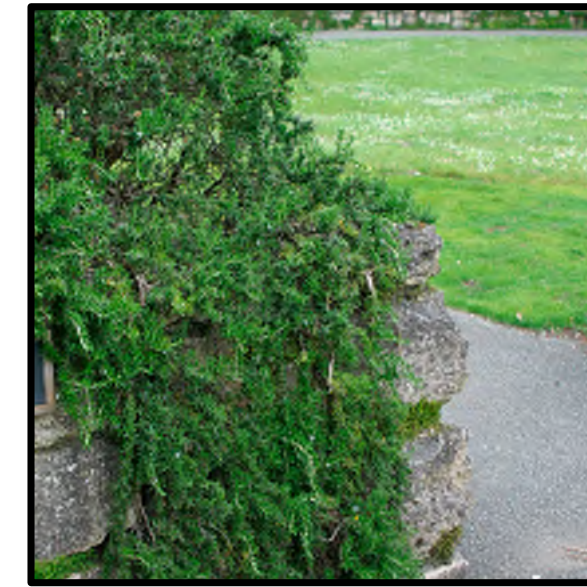
ARCTOSTAPHYLOS 'EMERALD CARPET'
CARPET MANZANITA



ASARUM CAUDATUM
WILD GINGER



LIRIOPE SPICATA
CREEPING LILY TURF



ROSMARINUS OFFICINALIS 'PROSTRATUS'
CREEPING ROSEMARY



VINES:



BOUGAINVILLEA SP.



LONICERA SP.
JAPANESE HONEYSUCKLE



WISTERIA SINENSIS
CHINESE WISTERIA

TREES:



ARBUTUS UNEDO
STRAWBERRY TREE



ARCTOTAPHYLOS MANZANITA "DR HURD"
MANZANITA



ACER SP.
MAPLE TREE



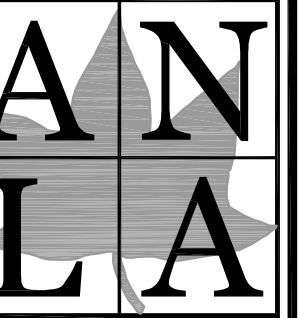
CERIS OCCIDENTALIS
WESTERN REDBUD



WESTERN REDBUD IN BLOOM



HETEROMELES ABUTILIFOLIA
TOYON



ASSOCIATES INC.
1213 Lincoln Ave, Suite 211
San Jose, CA 95125
T. 408.292.2196
www.anla-associates.com

CONSULTANT:

PROJECT: BOTHMAN RESIDENCE

56 CENTRAL AVENUE
LOS GATOS, CA 95030

OWNER: ANDREW & ASHLEY BOTHMAN

228 SUNSHINE AVENUE
CAMPBELL, CA 95008

REVISIONS:

MARK	DATE	DESCRIPTION

DRAWING TITLE:

**PLANTING
AND
MATERIALS
BOARD**

DATE: 03/25/2019

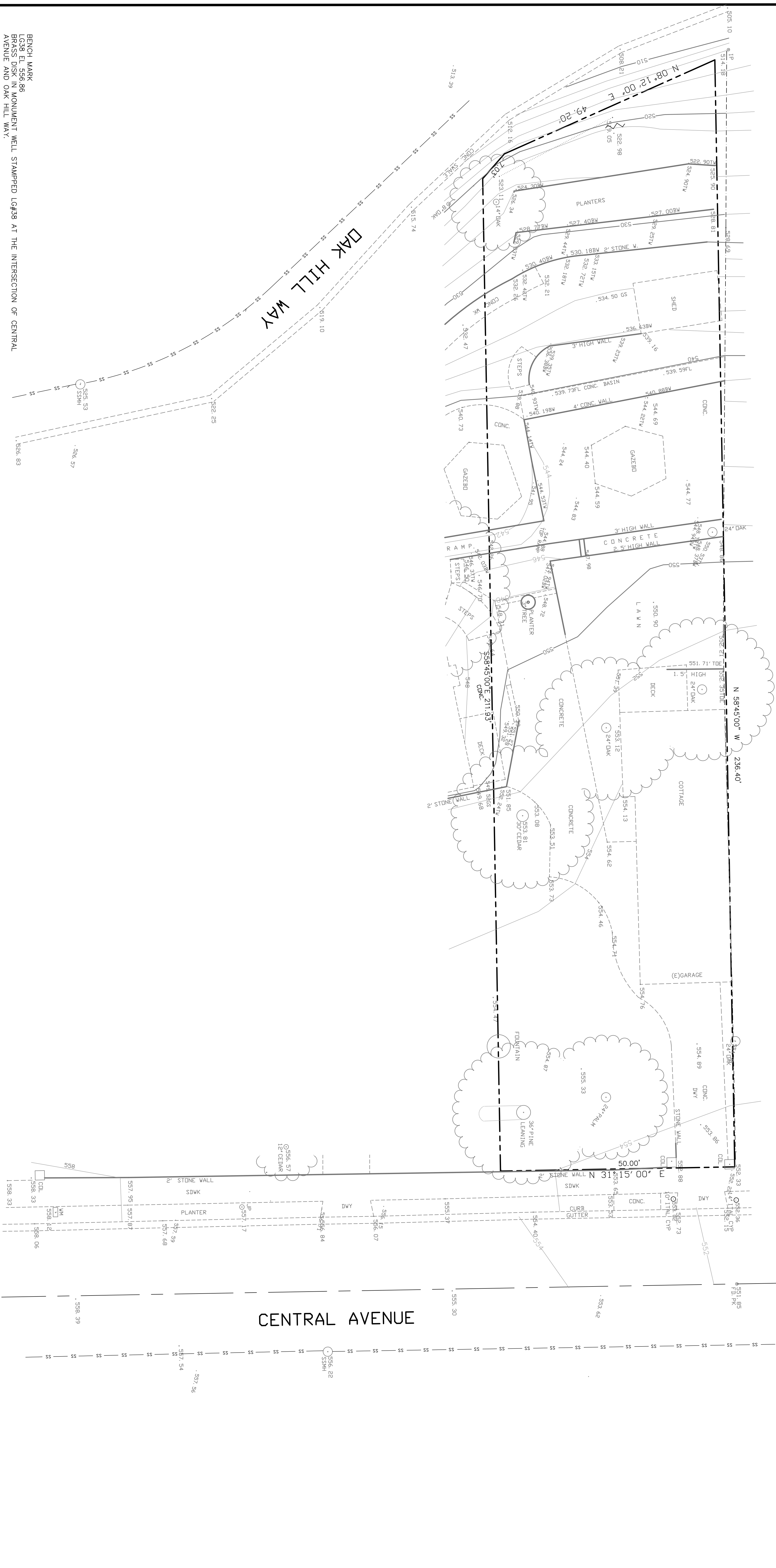
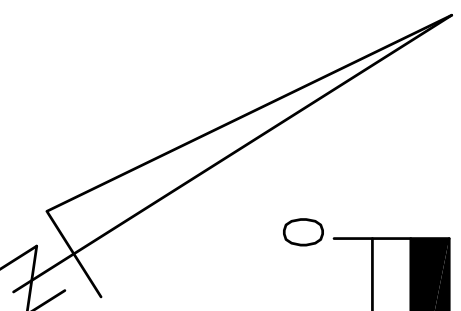
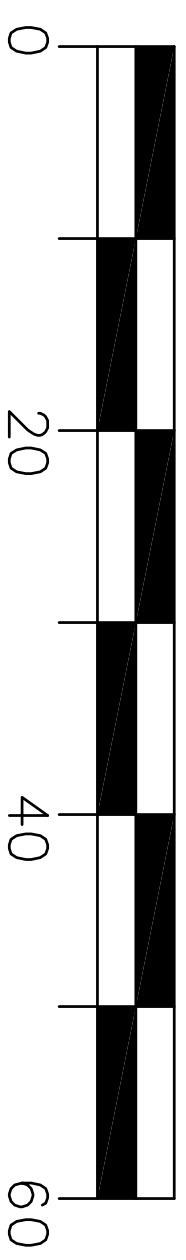
JOB NUMBER: 1828

DRAWN: KU CHECKED: EP

SCALE: AS NOTED

SHEET NUMBER

L1.04



BENCH MARK
 LG38 EL. 556.86
 BRASS DISK IN MONUMENT WELL STAMPED LG#38 AT THE INTERSECTION OF CENTRAL AVENUE AND OAK HILL WAY.

BASE OF BEARINGS
 NORTH, 3.115' EAST AS SHOWN ON THE RECORD OF SURVEY MAP OF RE-SUBDIVISION OF LOTS 62 AND 63 OF "OAK HILL SUBDIVISION RECORDED IN BOOK "D" OF MAPS AT PAGE 35, SANTA CLARA COUNTY RECORDS.

NO.	BY	DATE	REVISION

DATE:	BY:
AUGUST 2018	KAREL CYMBAL, RCE 34534

WESTFALL ENGINEERS, INC.
 14593 BIG BASIN WAY, SARATOGA, CA 95070 (408) 867-0244

TOPOGRAPHIC MAP
 BOTHMAN RESIDENCE
 56 CENTRAL AVENUE, LOS GATOS, CA

JOB NO.	SHEET
2012-043	02

To: Members of the Planning Commission

I have been a resident in Las Gatas for 28 years, and plan on staying here.

The following are my objections to the design before you on 56 Central Ave. I object to the setbacks being reduced to 5' for several reasons:

1) The design of their house may be less than 8' feet from the corner of my house and the house will be less than 5' from my master bed room balcony. Their kitchen window above the sink on the first floor will be looking through my balcony railings on my second floor. I use my balcony a lot and having their home so close is very intrusive. I will be able to reach over for a cup of coffee.

Right now the way the story poles are I can touch their house with a yard stick touching my balcony. In addition I have no air conditioning and sleep with my sliding doors open almost year round. The fence will not cover their windows because their first floor is 6.13 above grade level.

2) Their house is considerably larger-

than all the houses on the street and I don't think they should be able to reduce their setback on my side, reducing my privacy and value for additional square footage.

Leslie Morley
408 656-7100
60 Central Ave.

Neither the Bothmans or I know exactly where the property line is between us. I have asked ~~for~~ the PRC meeting and to the Bothmans, more than once, to get the property line drawn ^{on the} ground. They agreed but have not done it. I think it is important that the survey poles are correctly set and that I can imagine the right locations of the windows.

Jocelyn Shoopman

From: Michael Kent <mickeykent_88@yahoo.com>
Sent: Thursday, September 5, 2019 8:05 AM
To: Jocelyn Shoopman
Subject: Los Gatos Planning Commission- 56 Central Ave

Los Gatos Planning Commission

Jocelyn Shoopman

110 E. Main st.

Los Gatos, CA 95030

September 4, 2019

To the Town of Los Gatos Planning Commission and Jocelyn Shoopman,

My family has lived at 21550 Sylvan Court for 20 years and we have had the opportunity to review the design plans for the proposed project at 56 Central Ave. Our family is on board with the current design and are in full support of the project to be built as planned. We believe the home will make a very nice addition to the neighborhood and will be a much needed clean up to the lot that has some safety issues with old retaining walls, a falling apart gazebo and garage, and other structures in dire need of replacement. We think the home fits the current design of the neighborhood and will fit right in. We hope that the Town of Los Gatos will move forward with approving the plans for the Bothman family at 56 Central Ave.

Sincerely,

Mickey Brown

[Mickeykent_88@yahoo.com](mailto:mickeykent_88@yahoo.com)

Town of Los Gatos Planning Commission
Jocelyn Shoopman
110 E. Main ST.
Los Gatos, CA 95030

September 4, 2019

Dear Town of Los Gatos Planning Commission,

My name is Kimberly Larson. My husband, our two daughters (11 and 6 years old), and I have resided in the Town of Los Gatos for just over five years. We live in Heritage Grove, just off Blossom Hill in east Los Gatos.

I have reviewed the proposed project for the Bothman family home to be built at 56 Central Ave and I am very much in favor of the proposed project with the current design of the home. I believe the home will fit the look and feel of the neighborhood perfectly and we are looking forward to the improvement in the neighborhood. I am also confident the Bothman family will be a wonderful addition to our Los Gatos community.

Thank you,



Kimberly Larson
104 Regent Drive
Los Gatos, CA 95032
Kimlarson27@gmail.com

RECEIVED

SEP 04 2019

TOWN OF LOS GATOS
PLANNING DIVISION

Los Gatos Community Development Department

September 4, 2019

Jocelyn Shoopman

110 E. Main Street, Los Gatos, CA 95030

RE: 56 Central Avenue

I am writing today to express my support of the project at 56 Central Avenue in Los Gatos, CA. My name is Rita Minnis and I live at 108 Prospect Ct., as the bird flies, only a few hundred feet from the property. I have driven by and down Central Avenue for many years and am excited to see that the old cottage/garage with the ugly tarp over the top of it that is falling apart will be torn down and replaced with a beautiful single family home residence. The project looks to have access restrictions and a narrow lot which always makes it tricky from a design standpoint. You can see that careful planning was taken into account with how the structure will fit on the lay of the land without excessive impact to the neighborhood.

Over the years, I, myself, have gone through the struggles of design and building. It takes a lot of careful planning and effort, especially on a hillside lot and with neighbors that resist any sort of change. I am writing today to show that I fully support the project and hope that the Town passes this project at the upcoming Planning Commission meeting. It would be a shame for the lot to continue to sit vacant and with an unsafe, eyesore structure on it. The new proposed residence will blend beautifully with the existing community and neighborhood, and will be a real asset to the area.

Sincerely,

A handwritten signature in cursive script that reads "Rita". The signature is written in black ink and has a long, sweeping horizontal line extending to the right from the end of the name.

Rita Minnis

108 Prospect Court

Los Gatos, CA 95030

Jocelyn Shoopman

From: eeharrison50@aol.com
Sent: Monday, August 26, 2019 12:09 PM
To: Jocelyn Shoopman
Cc: dockclay@gmail.com; ktmooo@aol.com; eeharrison50@aol.com
Subject: Oversized Development at 56 Central Ave, Los Gatos, CA 95030

Dear Jocelyn,

We would like to respectfully request that the planning commission adhere to standard setback of 8 feet in our neighborhood. We respectfully request that the applicant find a way to design and build a home within the pre-set and pre-determined limitations of the lot and be required to keep the rural feel of the lot by decreasing the number of allowed trees to be removed. The applicant was aware prior to purchasing the lot that it is a non-conforming lot with a rural feel. We believe that a beautiful, functional, livable home can be designed and built that does not ask the neighborhood to conform to a different set of standards and compromise the existing character of the neighborhood as defined by the approved zoning and building codes.

Generally, potential home buyers look to our neighborhood because of its location to downtown, its rural feel, large tree canopied properties and beautiful views. We, as a neighborhood, are very conscious of our deer, wild turkey, bobcats, birds, coyotes and other wildlife. Families move to this neighborhood, because unlike other less rural communities, we respect each other's space and privacy and do not want to be able to hand each other coffee from our kitchen windows; we like the feel of space and privacy. We are happy to welcome a new neighbor, beautiful new home and new family to our neighborhood, but we do respectfully request that the applicant build within the keeping of the lot and nature of the neighborhood for good of our entire community.

The next door neighbor, Mary Harrison (my mom who is now 91 years old) resides at 50 Central Ave. has been in her home for 50 years and has enjoyed the privacy and tranquility of her property for those 50 years. With the applicant's current plan for this new house at 56 Central Avenue, her tree lined driveway of 50 years will no longer be shaded by full beautiful oak trees but will be taken over by the sounds of 3 air conditioning units and tank-less water heaters. We respectfully request a setback of 8 feet from the fence line, the heritage tree, number 527, be kept as it has significant impact on the 50 Central. The master bathroom french doors, as they are currently drawn, will provide an interesting viewing opportunity from the front steps of the home on 50 Central. We are asking for respect and consideration.

Specifically, the neighboring lot is referenced on the architectural cover sheet at R-1: 10 ***which requires a 10' side setback***, not 8'. The front setback is 25'; the rear is 20'. The maximum height is 30' from natural (original) or ***finished grade whichever is lower***, to the uppermost point of the roof edge. The west elevation shown on sheet A-5 illustrates 10' cellar height, 10' first floor, 8 foot upper level, with 15" floor sections, taking the building section height to 30'-6" without taking the roof into consideration. This house is too tall. Our argument is confirmed on sheet A-7. <https://www.losgatosca.gov/768/R-1-Zone>

We are asking that revisions to the design be made so that the property conforms to the current building and zoning codes for the Town of Los Gatos, put in place to protect the neighborhood from excessive size, height and mass, tree removal and traffic dissimilar to other properties nearby. The codes were put in place to allow and enable us the continued full use, enjoyment and privacy of our own property.

Sincerely,

Kristina Marie Harrison.

Page 141

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AUG 26 2019

**TOWN OF LOS GATOS
PLANNING DIVISION**

• **Chapter 30 - NEIGHBORHOOD PRESERVATION**

• **Sec. 30.10.010. - Purpose.**

This chapter is adopted to promote the health, safety, and welfare of the residents of the Town of Los Gatos. This chapter will further implement the goals of the General Plan, the Zoning Chapter, and the extensive protections included within the Town Code aimed at enhancing and preserving the quality of life and property values in the Town. These regulations are necessary to stabilize and protect the aesthetic appearances and the quality and character of the Town's residential neighborhoods, as well as its commercial districts, and industrial properties, and to prevent the impairment of property values.

(Ord. No. 2191, § 1, 6-7-10)

Sec. 29.10.030. - Intent.

The zoning ordinance is adopted to promote and protect the public health, safety, peace, morals, comfort, convenience and general welfare of the Town and its inhabitants, and particularly:

(1) To provide a guide for the development of the Town to preserve its character of a low density residential community with those attributes of a balanced land use program consisting of residential, commercial, industrial and recreational areas so located and controlled to promote stability of land use both existing and proposed.

(2) To protect the social and economic stability of the Town.

(3) To promote a safe, effective traffic circulation system, and to provide adequate off-street parking.

(4) To facilitate orderly industrial and commercial development.

(5) To preserve the natural beauty of the Town and protect its residential neighborhoods from the intrusion of commercial interests.

(6) To prevent improper disposal of toxic waste.

(7) To assure the orderly and beneficial development of all areas of the Town.

(Ord. No. 1316, § 1.00.040, 6-7-76; Ord. No. 1991, § II, 11-7-94)

Sec. 29.10.0960. - Scope of protected trees.

This division shall apply to every property owner and to every person, corporation, partnership, sole proprietorship or other entity responsible for removing, maintaining or protecting a tree. The trees protected by this division are:

(1) All trees which have a twelve-inch or greater diameter (thirty-seven and one-half-inch circumference) of any trunk or in the case of multi-trunk trees, a total of eighteen inches or greater diameter (fifty-six and one-half-inch circumference) of the sum of all trunks, where such trees are located on developed residential property.

(2) All trees which have an eight-inch or greater diameter (twenty-five-inch circumference) of any trunk or in the case of multi-trunk trees, a total of eight inches or greater diameter (twenty-five-inch circumference) of the sum of all trunks, where such trees are located on developed Hillside residential property.

(3) All trees of the following species which have an eight-inch or greater diameter (twenty-five-inch circumference) located on developed residential property:

a. Blue Oak (Quercus douglasii);

b. Black Oak (Quercus kelloggii);

c. California Buckeye (Aesculus californica);

d. Pacific Madrone (Arbutus menziesii).

(4) All trees which have a four-inch or greater diameter (twelve and one half-inch circumference) of any trunk, when removal relates to any review for which zoning approval or subdivision approval is required.

(5) Any tree that existed at the time of a zoning approval or subdivision approval and was a specific subject of such approval or otherwise covered by subsection (6) of this section (e.g., landscape or site plans).

(6) Any tree that was required by the Town to be planted or retained by the terms and conditions of a development application, building permit or subdivision approval in all zoning districts, tree removal permit or code enforcement action.

(7) All trees, which have a four-inch or greater diameter (twelve and one half-inch circumference) of any trunk and are located on property other than developed residential property.

(8) All publicly owned trees growing on Town lands, public places or in a public right-of-way easement, which have a four-inch or greater diameter (twelve and one-half-inch circumference) of any trunk.

(9) A protected tree shall also include a stand of trees, the nature of which makes each dependent upon the other for the survival of the stand.

(10) The following trees shall also be considered protected trees and shall be subject to the pruning permit requirements set forth in section 29.10.0982 and the public noticing procedures set forth in section 20.10.0994:

a. Heritage trees;

b. Large protected trees.

(Ord. No. 2240, § I(Exh. B), 6-2-15)

Los Gatos Community Development Department

September 8, 2019

Jocelyn Shoopman

110 E. Main Street, Los Gatos, CA 95030

RE: 56 Central Avenue

I am writing today to express my support of the project at 56 Central Avenue in Los Gatos, CA. My name is Krystle Dolen and I have lived in downtown Los Gatos for 30 years. My father, Jim Dolen, has lived in Los Gatos for about 50 years so we are very sensitive to building that does not fit into the look and feel of this great town. We have looked over the plans for this single-family home and think that it will be a great improvement from the current state of the property. The old cottage/garage is past its prime and replacing this with the proposed plans will be a great addition to the street. We hope that the Town of Los Gatos will move forward with the approval of the plans for the Bothman family at 56 Central Avenue.

Sincerely,

The Dolen Family

32 Bayview Avenue

Los Gatos, CA 95030

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SEP 09 2019

TOWN OF LOS GATOS
PLANNING DIVISION

Jocelyn Shoopman

From: Brian Garfield <brian.garfield5@gmail.com>
Sent: Monday, September 23, 2019 8:54 AM
To: Jocelyn Shoopman
Cc: Rita Garfield
Subject: 56 Central Avenue
Attachments: Agnes boecker letter .pdf; Rita Garfield letter.pdf

Good morning Ms. Shoopman,

As a Los Gatos native, I am in full support the Bothman family to proceed with their building plans at 56 Central Avenue. I have had the opportunity to personally review the plans and strongly believe they will improve the existing neighborhood by rehabilitating a potentially hazardous structure and add to the overall charm and attractiveness of the Town of Los Gatos.

Attached are two (2) additional letters written by long-time Los Gatos residents supporting the building plans.

Please confirm receipt of this email when able and if there are any questions, do not hesitate to contact me.

Sincerely,

Brian Garfield
408-887-4006

Town of Los Gatos Planning Commission
Attn: Jocelyn Shoopman
110 E. Main Street
Los Gatos, CA 95030

September 7, 2019

To the Town of Los Gatos Planning Commission and Jocelyn Shoopman,
My name is Rita Garfield and I have lived at 128 Dover Street in Los Gatos since 1988 and I have had the opportunity to review the design plans for the proposed project at 56 Central Ave. I am in full support of the project to be built as planned and believe the home will make a lovely addition to the neighborhood and improve a lot that has some safety issues with old retaining walls, a dilapidated gazebo and garage, and other structures in dire need of replacement. I think the home fits the current design of the neighborhood and hope the Town of Los Gatos will move forward with approving the plans for the Bothman family at 56 Central Ave.

Thank you,

Rita Garfield

Rita Garfield
128 Dover Street
Los Gatos, CA 95032
408-356-5604
garfieldrita@yahoo.com

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SEP 23 2019

TOWN OF LOS GATOS
PLANNING DIVISION

Town of Los Gatos Planning Commission
Attn: Jocelyn Shoopman
110 E. Main Street
Los Gatos, CA 95030

September 7, 2019

To the Town of Los Gatos Planning Commission and Jocelyn Shoopman,

My name is Agnes Boecker and I have lived at 433 Alberto Way in Los Gatos since 2002 and I have had the opportunity to review the design plans for the proposed project at 56 Central Ave. I am in full support of the project to be built as planned and believe the home will make a lovely addition to the neighborhood and improve a lot that has some safety issues with old retaining walls, a dilapidated gazebo and garage, and other structures in dire need of replacement. I think the home fits the current design of the neighborhood and hope the Town of Los Gatos will move forward with approving the plans for the Bothman family at 56 Central Ave.

Kind regards,

Agnes Boecker

Agnes Boecker
443 Alberto Way
B118
Los Gatos, CA 95032
408-399-8870

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SEP 23 2019

TOWN OF LOS GATOS
PLANNING DIVISION

October 2, 2019

RE: 56 Central Plans

Dear Jocelyn,

I am contacting you regarding the new construction project at 56 Central Ave, Los Gatos. As a home owner on Central Avenue, I have reviewed the design proposal and would like to respectfully request that the applicant, a) adheres to the pre-set and pre-determined limitations of the lot, b) maintain the rural feel decreasing the number of allowed trees to be removed, c) embrace historic look of surrounding homes by maintaining the rod iron and rock fencing, and d) maintain the integrity of the soils of nearby residence by not excavating for a cellar.

Briefly, allow me to describe each of these points in more detail:

- a) Request that the applicant adheres to the standard side set back of 10 feet, for our neighborhood (R-1.10 structure).
- b) Request the applicant design/ build a home which maintains the heritage trees. The current plans would remove a significant number of mature protected trees. Their removal would impact the rural look and feel of our neighborhood, as well as the natural habitat for our local wildlife. Specifically, the current plan calls for removal of: 1) 24" BLUE Oak, 2) 27" Live Coat Oak, 3) 22" Live Coat Oak, 4) 24" Date Palm, 5) 34" Stone Pine, and 6) 27" Deodar Cedar on the lot.
- c) Request the applicant design/ builds a home which maintains the historic look of surrounding homes, including the rod iron and rock wall fencing, and Italian cypress trees, reminiscent of the early Los Gatos. This property is located in close proximity to the historic FLORENTINE VILLIAGE at 42 Central Avenue, and other properties which features a similar rod iron and rock wall fence and Italian cypress tree lined frontage. (Please see the photos at the end of this document.)
- d) Request the applicant does not design/ build a home which requires excavation of the current grade to build a cellar. The homes on Central Avenue slope down onto Oak Hill way, which is incurring significant erosion. Further excavation of the soils may increase the rate of erosion for surrounding properties and/ or create other unintended negative consequences.

In summary, I am requesting revisions to the design proposal of 56 Central to restrict the development to follow the standard zoning setback restrictions, maintain the rural / historical look and feel of the neighborhood, and preserve the stability of our soils and hillside environment.

Sincerely,

Karen Rogge

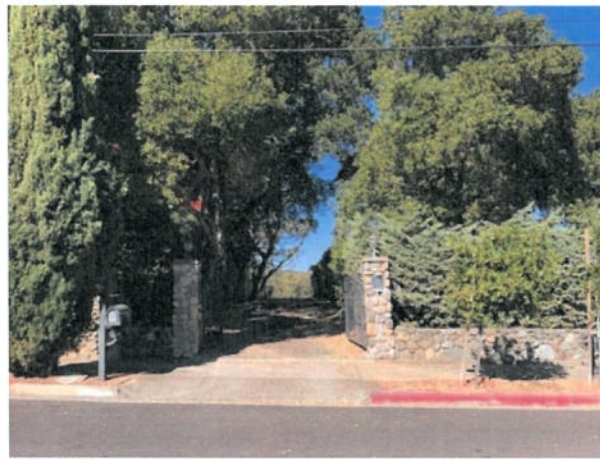
70 Central Avenue
Los Gatos, CA 95050



42 Central Avenue – “Florentine Villiage”



44 Central Avenue



50 Central Avenue



56 Central Avenue



60 Central Avenue



64 Central Avenue

Jocelyn Shoopman

From: Val Swisher <vals@contentrules.com>
Sent: Thursday, October 3, 2019 10:14 AM
To: Jocelyn Shoopman
Subject: Plans for 56 Central Avenue

Dear Jocelyn,

I am contacting you regarding the new construction project at 56 Central Ave, Los Gatos. As a home owner on Central Avenue, I have reviewed the design proposal and would like to respectfully request that the applicant does the following:

- Adheres to the pre-set and pre-determined limitations of the lot. To do this, I request that the applicant adheres to the standard side set back of 10 feet, for our neighborhood (R-1.10 structure).
- Maintains the rural feel decreasing the number of allowed trees to be removed. To do this, I request the applicant design/ build a home which maintains the heritage trees. The current plans would remove a significant number of mature protected trees. Their removal would impact the rural look and feel of our neighbor, as well as the natural habitat for our local wildlife. Specifically, the current plan calls for removal of: 1) 24" BLUE Oak, 2) 27" Live Coat Oak, 3) 22" Live Coat Oak, 4) 24" Date Palm, 5) 34" Stone Pine, and 6) 27" Deodar Cedar on the lot.
- Maintains the integrity of the soils of nearby residence by not excavating for a cellar. To do this, I request the applicant does not design/ build a home which requires excavation of the current grade to build a cellar. The homes on Central Avenue slope down onto Oak Hill way, which is incurring significant erosion. Further excavation of the soils may increase the rate of erosion for surrounding properties and/ or create other unintended negative consequences.

In summary, I am requesting revisions to the design proposal of 56 Central to restrict the development to follow the standard zoning setback restrictions, maintain the rural feel of the neighborhood, and preserves the stability of our soils and hillside environment.

Sincerely,

Valerie Swisher

71 Central Avenue
Los Gatos, CA 95030

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**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 10/9/2019

ITEM NO: 3

ADDENDUM

DATE: October 8, 2019

TO: Planning Commission

FROM: Joel Paulson, Community Development Director

SUBJECT: Architecture and Site Application S-18-050. Project Location: **56 Central Avenue**. Property Owner: Andrew and Ashley Bothman. Applicant: Rick Hartman, HOMETEC Architecture. Appellant: Leslie Morley. Project Planner: Jocelyn Shoopman.

Consider an appeal of a Development Review Committee decision approving a request for demolition of a dwelling, construction of a new single-family residence with reduced setbacks, and removal of large protected trees on property zoned R-1:10. APN 529-35-068.

REMARKS:

The Architecture and Site application number was inadvertently identified as S-17-047 in the subject section of the staff report. This addendum report correctly identifies the Architecture and Site application number as S-18-050.

Exhibit 18 includes an additional letter, neighborhood square footage, and drawings provided by the appellant.

EXHIBITS:

Previously received with October 9, 2019 Staff Report:

1. Location Map
2. Required Findings and Considerations (two pages)
3. Recommended Conditions of Approval (14 pages)
4. Project data sheet (two pages)
5. Project description, received July 11, 2019 (three pages)
6. Letter of justification for reduced setbacks, received August 12, 2019 (eight pages)
7. Letter of justification for exceptions to HDS&G, received May 3, 2019 (one page)
8. Consulting Architect Report, dated November 5, 2018 (seven pages)

PREPARED BY: Jocelyn Shoopman
Associate Planner

Reviewed by: Planning Manager, Community Development Director, and Town Attorney

PAGE 2 OF 2

SUBJECT: 56 Central Avenue/S-18-050

DATE: October 8, 2019

EXHIBITS (continued):

9. Consulting Arborist Report, dated October 11, 2018 (36 pages)
10. Applicant's Biologist Report, received January 23, 2019 (two pages)
11. July 30, 2019 Development Review Committee meeting minutes (three pages)
12. August 13, 2019 Development Review Committee meeting minutes (three pages)
13. Appeal of Development Review Committee received August 23, 2019 (two pages)
14. Applicant's response letter to appeal, received September 9, 2019 (five pages)
15. Development plans, received September 5, 2019 (18 sheets)
16. Additional letter from the appellant, received October 4, 2019 (two pages)
17. Public comments received between 10:00 a.m., Tuesday, August 13, 2019, and 11:00 a.m., Friday, October 4, 2019

Received with this Addendum Report:

18. Additional letter and attachments from the appellant, received between 11:01 a.m., Friday, October 4, 2019 and 11:00 a.m., Tuesday, October 8, 2019

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TOWN OF LOS GATOS
PLANNING DIVISION

October 10, 2019

To: The Los Gatos Planning Commission

Regarding: 56 Central Ave. Proposal for New Construction

Dear Planners,

I am sorry that the Bothman's had never shared their proposed design with me in the early stages of their project and that we are doing this at the 11th hour. I did not see their plans until I looked online when a sign was posted for the DRC meeting on the property gates. I assumed being their next-door neighbor that the impact on my property would be considered before they had invested so much time.

I spoke at the DRC meetings and raised my objections to so many trees being removed and to how large and close to my home they were building.

After the DRC meetings I spoke with the Bothman's and expressed my desire to find some solutions for both of us. They said they could order the survey and they have made some concessions. They have not ordered a survey. I invited them to look at their lot and flagging from my bedroom and balcony. They haven't.

I have 4 major objections to this project:

- 1) The 5' setback reduction on both sides. (privacy and noise issues) **(See drawing #1)**
- 2) The large size and design of the home **(See Stewart report for home sizes)**
- 3) The placement of windows **(See drawing #2)**
- 3) The number of mature healthy trees they want to take out

Background:

We sold the property to the Bothman's in 2018. I was the listing agent and they had their own agent. I sent them the following message that I received from Joel Paulson prior to their removing their contingencies.

Leslie Morley <lmorley@serenogroup.com>

Fri, Apr 20,
2018, 11:32 AM

to Andrew

I inquired with the Los Gatos Planning Manager about setbacks. This is what he said:

Leslie – Regarding side setbacks it would be appropriate to say that they can submit an Architecture and Site application requesting setbacks less than 10 feet with adequate justification and information regarding other properties in the immediate neighborhood that may have similar setback configuration. The Town Code allows these types of requests on existing non-conforming lots without having to process a Variance application. The request would then be considered by staff as part of their review of an Architecture and Site application. However, this is a discretionary review process so until we have all the information and review a pending application we couldn't make any type of blanket statement that a reduced setback will be approved. If you have other questions moving forward you can direct them to the Planning Counter for assistance. If you have any other questions on this let me know. Thanks.

Joel Paulson • Community Development Director

Community Development Department • 110 E. Main Street, Los Gatos CA 95030

Ph: 408.354.6879 • jpaulson@losgatosca.gov

I made it clear in writing, and verbally in 2018 before they purchased the property, that I did not know where the exact property lines were and they would need to survey the lines. I have repeatedly asked them to survey the line between us

I worry because they have been less than forthright with me in the past and I fear that they will just do what they want and may not build to the approved plans.

Objections: Reduced Setbacks

I have walked my neighborhood and there are very few homes with reduced setbacks. The few homes that have reduced setbacks have the reduction on only one side and most of those have used block glass or no windows for mitigation. The 3 50' lots across the street have 10-foot setbacks on both sides. **I do not feel that a reduction in side setbacks for both sides is compatible with the neighborhood or appropriate because my home is so close to the property line. (See drawing #3)**

In Willow Glen and the Rose Garden there are many 50' lot subdivisions. Typically they have 10+ setbacks on one side and 5' on the other side, they are not 5' on both sides.

It will be a huge impact on me to have their home so close and to lose part of my balcony. At the DRC meeting I thought it was the second story of their design that I

needed to worry about because I have almost 12' of 7' high glass windows and doors off of my master bedroom, privacy. The 2nd floor windows and balcony will be looking down on my master bedroom and balcony. **(See drawing #3)**

A 5' setback on their property will not be enough room to have trees to provide some privacy.

Looking at the plans later I realized I missed a huge point. The top of their 1st floor will be 16' above my 1st floor grade. That puts their kitchen window above their sink staring directly into my balcony and master bedroom on my second floor. I was shocked to discover this. I can't think that they would want this either. I called their architect and he said the 4' by 5' window would be almost centered on my 2nd floor balcony. The bottom edge will be about 6" above my balcony floor and it will go above the balcony railing, and the window will be 5' from my railing if you approve the setback. Who would want that? **(See drawing #1 and #2)**

Noise is another big reason I want a 10' setback. I will be able to hear their conversations inside and out. I don't have air conditioning and I sleep with my doors open almost year round and I use my balcony a lot.

Their streetscape is inaccurately portraying my house in relation to theirs.

They used 3 homes to show setback compatibility; 60 64, and 70. My home, (60 Central) I consider as a poor example because for years it was used as one property and it was not close to either neighbor. On the north side the cottage was built next to a driveway and 30+ feet from the next home. On the middle lot the house was 35 feet away from the cottage and the other side was over 50 feet from the neighbors house. 64 Central has a reduced setback on only one side and 70 Central is 5' from the 10' driveway for 64 and over 15+' on the other side.

I want the setback to remain at 10' on my side and I would like the kitchen window to be eliminated because it looks directly into my master bedroom.

Objection: Size

I have provided my source for the home sizes in the neighborhood. I calculated the average square footage for Central Ave where the subject property is to the intersection of Oak Hill, the upper end of Central Ave., W. Central Ave., and Central Court.

Central 1827' Upper Central 2125' W Central 1819' Central Ct. 2285'
(by subject property)

The overall average for the neighborhood is 2153'. The proposed home is 4,997 with the cellar and ADU., or 4245 without the ADU. There are 6 homes out of 43

that are over 3000 SF. The average size is 3324 SF. There are no homes over 4000 SF. This will be the largest home in the neighborhood. I feel that it should not adversely affect its' neighbors and get a reduced setback to accommodate this extra size..

I am concerned about the grading process and how my property will be protected during construction. How will my land be supported, my home protected from damage caused by the excavation process and the Oak Tree in front of my living room be protected?

Objection: # of Mature Trees Being Removed

I bought in Los Gatos 28 years ago because of all the beautiful mature trees. If all owners in Los Gatos asked to remove all their mature trees and replace them with 15' box trees Los Gatos would be a different place. The trees and the old homes are the ambiance of this town. I have included an article about the benefits of mature trees by the University of North Carolina.

I can see someone needing to take out trees to build, but I don't know why one would need to take out every large tree on their lot. I thought the town protected oaks and other trees. The palm tree has been home to 7 owls during my ownership. The most recent owl was there in 2018. Owls are amazing and they keep the rodent population down. It will be sad to see all 8 mature trees removed on 56 Central. I can understand the deodar cedar and the oak tree on the south side of the cottage being removed. But I don't see why the Blue Oak, which is listed as in good condition needs to be removed or the Palm.

These are my thoughts. I did not mean to write so much, but this way I can be more brief at the meeting and you will have more time to consider my position and think of any questions you would have for me. You are welcome to call me and come and look at the site.

Sincerely,
Leslie Morley
60 Central Ave.
408 656-7100

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PLANNING DIVISION





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TOWN OF LOS GATOS
PLANNING DIVISION

Seven Line Report

29,602 / 13 = 2,277' avg. S.F. on block for
 proposed house
 Santa Clara County Data as of: 09/24/2019

Central Ave

Number of Properties: 45

1	<p>Owner Name: Ravel Stephen And Ann Site Address: 25 Central Ave, Los Gatos, CA 95030 Mailing Address: 25 Central Ave, Los Gatos, CA 95030, (No Mail) Legal Description: Lot 76 APN: 529-35-029 Sale / Rec Date: 12/06/1988 / 12/13/1988 Assessed Value: \$1,093,461</p>	<p>Land Use: SFR Sale Price / Type: \$650,000 / Full Value Land Value: \$420,560</p>	<p>Year Built / Eff: 1986 / 1986 Living Area: 2,090 Lot Area / Acres: 7,500 / 0.17 Res / Comm Units: 1 / Bedrooms: 3 Baths (F / H): 3 / Improvement Value: \$672,901</p>
2	<p>Owner Name: Anzalone Joseph And Kimberly Site Address: 39 Central Ave, Los Gatos, CA 95030 Mailing Address: 39 Central Ave, Los Gatos, CA 95030 Legal Description: Lot 77 APN: 529-35-028 Sale / Rec Date: 08/22/2002 / 08/29/2002 Assessed Value: \$2,337,028</p>	<p>Land Use: SFR Sale Price / Type: \$1,800,000 / Full Va... Land Value: \$1,168,514</p>	<p>Year Built / Eff: 1998 / 1998 Living Area: 3,554 Lot Area / Acres: 7,500 / 0.17 Res / Comm Units: 1 / Bedrooms: 3 Baths (F / H): 3 / 1 Improvement Value: \$1,168,514</p>
3	<p>Owner Name: Rodman Marlene Site Address: 42 Central Ave, Los Gatos, CA 95030 Mailing Address: 42 Central Ave, Los Gatos, CA 95030 Legal Description: APN: 529-35-043 Sale / Rec Date: Assessed Value: \$728,351</p>	<p>Land Use: Apartment Sale Price / Type: Land Value: \$254,916</p>	<p>Year Built / Eff: 1901 / 1947 Living Area: 8,150 Lot Area / Acres: 33,625 / 0.77 Res / Comm Units: 8 / Bedrooms: 0 Baths (F / H): 0 / 0 Improvement Value: \$473,435</p>
4	<p>Owner Name: Harrison Mary T Site Address: 44 Central Ave, Los Gatos, CA 95030 Mailing Address: 50 Central Ave, Los Gatos, CA 95030, (No Mail) Legal Description: Lot B APN: 529-35-056 Sale / Rec Date: Assessed Value: \$50,896</p>	<p>Land Use: SFR Sale Price / Type: Land Value: \$32,907</p>	<p>Year Built / Eff: 1900 / Living Area: 1,200 Lot Area / Acres: 11,280 / 0.25 Res / Comm Units: 1 / Bedrooms: 4 Baths (F / H): 1 / Improvement Value: \$17,989</p>
5	<p>Owner Name: Cocchiglia, Paolo / Cocchiglia, Kathryn G Site Address: 45 Central Ave, Los Gatos, CA 95030 Mailing Address: 45 Central Ave, Los Gatos, CA 95030, (No Mail) Legal Description: APN: 529-35-065 Sale / Rec Date: 06/18/2014 / 07/03/2014 Assessed Value: \$2,370,260</p>	<p>Land Use: SFR Sale Price / Type: \$2,240,000 / Full Va... Land Value: \$1,292,869</p>	<p>Year Built / Eff: 1998 / Living Area: 2,474 Lot Area / Acres: 7,500 / 0.17 Res / Comm Units: Bedrooms: 4 Baths (F / H): 3 / 0 Improvement Value: \$1,077,391</p>
6	<p>Owner Name: Harrison, Eric Site Address: 50 Central Ave, Los Gatos, CA 95030 Mailing Address: 67 Grove St, Los Gatos, CA 95030 Legal Description: Lot A APN: 529-35-055 Sale / Rec Date: Assessed Value: \$126,498</p>	<p>Land Use: SFR Sale Price / Type: Land Value: \$32,907</p>	<p>Year Built / Eff: 1969 / 1969 Living Area: 1,792 Lot Area / Acres: 6,000 / 0.26 Res / Comm Units: 1 / Bedrooms: 3 Baths (F / H): 2 / Improvement Value: \$93,591</p>
7	<p>Owner Name: White Stephen F And Eileen M Site Address: 51 Central Ave, Los Gatos, CA 95030 Mailing Address: 51 Central Ave, Los Gatos, CA 95030 Legal Description: APN: 529-35-064 Sale / Rec Date: Assessed Value: \$1,340,500</p>	<p>Land Use: SFR Sale Price / Type: Land Value: \$644,845</p>	<p>Year Built / Eff: 1998 / 1998 Living Area: 2,474 Lot Area / Acres: 7,500 / 0.17 Res / Comm Units: 1 / Bedrooms: 3 Baths (F / H): 3 / Improvement Value: \$695,655</p>

house with
2 units

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OCT 07 2019

TOWN OF LOS GATOS
 PLANNING DIVISION

8	Owner Name: Bothman, Robert A / Bothman, Sharon Yvette Site Address: 56 Central Ave, Los Gatos, CA 95030 Mailing Address: 226 Sunnyside Ave, Campbell, CA 95008 Legal Description: APN: 529-35-068 Sale / Rec Date: Assessed Value: \$1,428,000	Land Use: Vacant -Residential L... Sale Price / Type: Land Value: \$1,428,000	Year Built / Eff: Living Area: 0 Lot Area / Acres: 0 / 0.0 Res / Comm Units: Bedrooms: Baths (F / H): 0 / 0 Improvement Value:	Proposed house site
9	Owner Name: Pierson Albert Leslie And Carole Susan Trus Site Address: 57 Central Ave, Los Gatos, CA 95030 Mailing Address: 57 Central Ave, Los Gatos, CA 95030 Legal Description: Map A1 893 APN: 529-35-026 Sale / Rec Date: 08/11/1995 / 08/18/1995 Assessed Value: \$1,085,773	Land Use: SFR Sale Price / Type: \$345,000 / Full Value Land Value: \$431,875	Year Built / Eff: 1996 / 1996 Living Area: 3,127 Lot Area / Acres: 15,000 / 0.34 Res / Comm Units: 1 / Bedrooms: 4 Baths (F / H): 3 / Improvement Value: \$653,898	
10	Owner Name: Morley, Leslie / Gentile, Edward L Site Address: 60 Central Ave, Los Gatos, CA 95030 Mailing Address: Central Ave, Los Gatos, CA 95030 Legal Description: APN: 529-35-067 Sale / Rec Date: Assessed Value: \$631,234	Land Use: SFR Sale Price / Type: Land Value: \$203,227	Year Built / Eff: Living Area: 0 Lot Area / Acres: 0 / 0.0 Res / Comm Units: Bedrooms: Baths (F / H): 0 / 0 Improvement Value: \$428,007	My home
11	Owner Name: Kugler Patrick And Hyun Site Address: 61 Central Ave, Los Gatos, CA 95030 Mailing Address: 61 Central Ave, Los Gatos, CA 95030, (No Mail) Legal Description: Map D Pg 35 Part Of Lot 82,83 APN: 529-35-025 Sale / Rec Date: 06/26/2014 / 06/27/2014 Assessed Value: \$1,565,952	Land Use: SFR Sale Price / Type: \$1,425,000 / Full Va... Land Value: \$1,346,171	Year Built / Eff: 1960 / 1960 Living Area: 2,284 Lot Area / Acres: 11,250 / 0.25 Res / Comm Units: 1 / Bedrooms: 3 Baths (F / H): 2 / Improvement Value: \$219,781	
12	Owner Name: Malone Daniel P And West Joan M Site Address: 64 Central Ave, Los Gatos, CA 95030 Mailing Address: 64 Central Ave, Los Gatos, CA 95030 Legal Description: Lot 58 APN: 529-35-040 Sale / Rec Date: 08/30/2006 / 09/13/2006 Assessed Value: \$1,845,520	Land Use: SFR Sale Price / Type: \$1,537,000 / Full Va... Land Value: \$1,107,240	Year Built / Eff: 1970 / Living Area: 2,044 Lot Area / Acres: 7,350 / 0.16 Res / Comm Units: 1 / Bedrooms: 3 Baths (F / H): 2 / 1 Improvement Value: \$738,280	
13	Owner Name: Faries David A And Vivien H Site Address: 67 Central Ave, Los Gatos, CA 95030 Mailing Address: 67 Central Ave, Los Gatos, CA 95030 Legal Description: APN: 529-35-024 Sale / Rec Date: / 01/01/1973 Assessed Value: \$80,717	Land Use: SFR Sale Price / Type: Land Value: \$37,254	Year Built / Eff: 1915 / 1930 Living Area: 1,746 Lot Area / Acres: 11,250 / 0.25 Res / Comm Units: 2 / Bedrooms: 2 Baths (F / H): 2 / Improvement Value: \$43,463	
14	Owner Name: Rogge Karen Marie Site Address: 70 Central Ave, Los Gatos, CA 95030 Mailing Address: 70 Central Ave, Los Gatos, CA 95030, (No Mail) Legal Description: Lot 57 APN: 529-35-039 Sale / Rec Date: 06/01/2004 / 06/08/2004 Assessed Value: \$1,943,695	Land Use: SFR Sale Price / Type: \$1,525,000 / Full Va... Land Value: \$1,019,644	Year Built / Eff: 1982 / 1982 Living Area: 2,488 Lot Area / Acres: 9,940 / 0.22 Res / Comm Units: 1 / Bedrooms: 3 Baths (F / H): 2 / 1 Improvement Value: \$924,051	
15	Owner Name: Swisher Gregory M And Valerie M Site Address: 71 Central Ave, Los Gatos, CA 95030 Mailing Address: 8310 Franz Valley Rd, Calistoga, CA 94515 Legal Description: Lot 85 APN: 529-35-023 Sale / Rec Date: 06/20/1997 / 06/27/1997 Assessed Value: \$946,154	Land Use: SFR Sale Price / Type: \$544,000 / Full Value Land Value: \$547,507	Year Built / Eff: 1906 / 1985 Living Area: 2,126 Lot Area / Acres: 7,500 / 0.17 Res / Comm Units: 1 / Bedrooms: 3 Baths (F / H): 2 / 1 Improvement Value: \$398,647	

Upper Central Ave starts on next page

Upper Central Ave 37,247/18 = 2069 avg. SF for upper Central Ave

16	<p>Owner Name: Brennan, Brent / Brennan, Courtney Site Address: 86 Central Ave, Los Gatos, CA 95030 Mailing Address: 86 Central Ave, Los Gatos, CA 95030 Legal Description: Lot 86 APN: 529-35-057 Sale / Rec Date: 01/21/2017 / 01/19/2017 Assessed Value: \$2,589,555</p>	<p>Land Use: SFR Sale Price / Type: \$2,464,000 / Full Va... Land Value: \$1,768,680</p>	<p>Year Built / Eff: 1920 / 1980 Living Area: 2,698 Lot Area / Acres: 15,000 / 0.34 Res / Comm Units: 1 / Bedrooms: 4 Baths (F / H): 3 / Improvement Value: \$820,875</p>
17	<p>Owner Name: Kanner, Edward N Site Address: 106 Central Ave, Los Gatos, CA 95030 Mailing Address: 6589 Springpath Ln, San Jose, CA 95120 Legal Description: APN: 529-32-023 Sale / Rec Date: 06/24/1997 / 07/01/1997 Assessed Value: \$715,689</p>	<p>Land Use: SFR Sale Price / Type: \$500,000 / Full Value Land Value: \$536,770</p>	<p>Year Built / Eff: 1956 / 1956 Living Area: 1,529 Lot Area / Acres: 12,750 / 0.29 Res / Comm Units: 1 / Bedrooms: 3 Baths (F / H): 2 / Improvement Value: \$178,919</p>
18	<p>Owner Name: Campbell Timothy And Andrea Site Address: 112 Central Ave, Los Gatos, CA 95030 Mailing Address: 112 Central Ave, Los Gatos, CA 95030 Legal Description: Lot 52,53 APN: 529-32-024 Sale / Rec Date: 11/03/1998 / 11/10/1998 Assessed Value: \$758,533</p>	<p>Land Use: SFR Sale Price / Type: \$540,000 / Full Value Land Value: \$455,053</p>	<p>Year Built / Eff: 1956 / 1957 Living Area: 1,608 Lot Area / Acres: 11,250 / 0.25 Res / Comm Units: 1 / Bedrooms: 3 Baths (F / H): 2 / Improvement Value: \$303,480</p>
19	<p>Owner Name: Ely Dennis R And Ingeborg R Site Address: 122 Central Ave, Los Gatos, CA 95030 Mailing Address: 122 Central Ave, Los Gatos, CA 95030 Legal Description: APN: 529-32-025 Sale / Rec Date: Assessed Value: \$149,900</p>	<p>Land Use: SFR Sale Price / Type: Land Value: \$72,672</p>	<p>Year Built / Eff: 1958 / 1958 Living Area: 1,021 Lot Area / Acres: 10,950 / 0.25 Res / Comm Units: 1 / Bedrooms: 2 Baths (F / H): 1 / Improvement Value: \$77,228</p>
20	<p>Owner Name: Barsten Gregory S And Jana L Site Address: 123 Central Ave, Los Gatos, CA 95030 Mailing Address: 123 Central Ave, Los Gatos, CA 95030, (No Mail) Legal Description: Lot 24 APN: 529-36-009 Sale / Rec Date: 10/02/1996 / 10/09/1996 Assessed Value: \$827,779</p>	<p>Land Use: SFR Sale Price / Type: \$517,000 / Land Value: \$452,607</p>	<p>Year Built / Eff: 1945 / 1990 Living Area: 1,888 Lot Area / Acres: 9,583 / 0.22 Res / Comm Units: 1 / Bedrooms: 3 Baths (F / H): 3 / Improvement Value: \$375,172</p>
21	<p>Owner Name: Kain Timothy J And Lucy L Site Address: 126 Central Ave, Los Gatos, CA 95030 Mailing Address: 126 Central Ave, Los Gatos, CA 95030, (No Mail) Legal Description: Lot 41 APN: 529-32-026 Sale / Rec Date: 04/08/1998 / 04/15/1998 Assessed Value: \$894,290</p>	<p>Land Use: SFR Sale Price / Type: \$553,000 / Full Value Land Value: \$474,933</p>	<p>Year Built / Eff: 1959 / 1967 Living Area: 2,276 Lot Area / Acres: 7,020 / 0.16 Res / Comm Units: 1 / Bedrooms: 3 Baths (F / H): 2 / 1 Improvement Value: \$419,357</p>
22	<p>Owner Name: Davis, Stephen / Davis, Chiappari Christy Site Address: 129 Central Ave, Los Gatos, CA 95030 Mailing Address: 129 Central Ave, Los Gatos, CA 95030 Legal Description: Lot 25 APN: 529-36-008 Sale / Rec Date: 09/24/2007 / 10/02/2007 Assessed Value: \$1,813,334</p>	<p>Land Use: SFR Sale Price / Type: \$1,540,000 / Full Va... Land Value: \$1,159,828</p>	<p>Year Built / Eff: 1973 / 1973 Living Area: 2,313 Lot Area / Acres: 10,780 / 0.25 Res / Comm Units: 1 / Bedrooms: 3 Baths (F / H): 2 / 1 Improvement Value: \$653,506</p>
23	<p>Owner Name: MacKintosh Graham And Kristen Site Address: 135 Central Ave, Los Gatos, CA 95030 Mailing Address: 135 Central Ave, Los Gatos, CA 95030 Legal Description: Lot 26 APN: 529-36-007 Sale / Rec Date: 06/30/2010 / 07/15/2010 Assessed Value: \$1,320,770</p>	<p>Land Use: SFR Sale Price / Type: \$1,150,000 / Full Va... Land Value: \$792,464</p>	<p>Year Built / Eff: 1928 / 1946 Living Area: 1,639 Lot Area / Acres: 7,500 / 0.17 Res / Comm Units: 1 / Bedrooms: 2 Baths (F / H): 1 / Improvement Value: \$528,306</p>

24	Owner Name: Site Address: Mailing Address: Legal Description: APN: Sale / Rec Date: Assessed Value:	2007, Martha Rose Henley 137 Central Ave, Los Gatos, CA 95030 137 Central Ave, Los Gatos, CA 95030 Lot 27 529-36-006 /08/15/1985 \$302,602	Land Use: Sale Price / Type: Land Value:	SFR \$95,459	Year Built / Eff: Living Area: Lot Area / Acres: Res / Comm Units: Bedrooms: Baths (F / H): Improvement Value:	1965 / 1965 1,212 7,500 / 0.17 1 / 2 2 / \$207,143
25	Owner Name: Site Address: Mailing Address: Legal Description: APN: Sale / Rec Date: Assessed Value:	Saha, Arup / Saha, Dutta Mayurakshi 140 Central Ave, Los Gatos, CA 95030 140 Central Ave, Los Gatos, CA 95030 Lot 44 529-32-033 03/25/2019 / 03/29/2019 \$2,075,341	Land Use: Sale Price / Type: Land Value:	SFR \$2,500,000 / Full Va... \$1,245,204	Year Built / Eff: Living Area: Lot Area / Acres: Res / Comm Units: Bedrooms: Baths (F / H): Improvement Value:	2000 / 2000 3,374 13,500 / 0.30 1 / 4 3 / 1 \$830,137
26	Owner Name: Site Address: Mailing Address: Legal Description: APN: Sale / Rec Date: Assessed Value:	Moeckel Kay E And Sandra A 141 Central Ave, Los Gatos, CA 95030 141 Central Ave, Los Gatos, CA 95030 Lot 28 529-36-005 /09/16/1980 \$356,654	Land Use: Sale Price / Type: Land Value:	SFR \$165,000 / \$111,219	Year Built / Eff: Living Area: Lot Area / Acres: Res / Comm Units: Bedrooms: Baths (F / H): Improvement Value:	1935 / 1935 2,334 7,500 / 0.17 1 / 5 3 / \$245,435
27	Owner Name: Site Address: Mailing Address: Legal Description: APN: Sale / Rec Date: Assessed Value:	Haylock Richard S And Archna 145 Central Ave, Los Gatos, CA 95030 145 Central Ave, Los Gatos, CA 95030, (No Mail) Legal Description: 529-36-004 03/28/2012 / 04/03/2012 \$1,520,074	Land Use: Sale Price / Type: Land Value:	SFR \$1,350,000 / \$675,588	Year Built / Eff: Living Area: Lot Area / Acres: Res / Comm Units: Bedrooms: Baths (F / H): Improvement Value:	1945 / 1945 844 6,600 / 0.15 1 / 2 1 / \$844,486
28	Owner Name: Site Address: Mailing Address: Legal Description: APN: Sale / Rec Date: Assessed Value:	Namashivayam, Sambamurthy 150 Central Ave, Los Gatos, CA 95030 150 Central Ave, Los Gatos, CA 95030 Ambassador Est Map A2 893 529-32-046 12/20/2018 / 01/17/2019 \$3,342,805	Land Use: Sale Price / Type: Land Value:	SFR \$2,750,000 / Full Va... \$2,122,416	Year Built / Eff: Living Area: Lot Area / Acres: Res / Comm Units: Bedrooms: Baths (F / H): Improvement Value:	2014 / 2015 3,676 9,000 / 0.20 1 / 4 4 / \$1,220,389
29	Owner Name: Site Address: Mailing Address: Legal Description: APN: Sale / Rec Date: Assessed Value:	Upchurch James W And Angela 151 Central Ave, Los Gatos, CA 95030 151 Central Ave, Los Gatos, CA 95030 Legal Description: 529-36-003 /12/29/1976 \$144,514	Land Use: Sale Price / Type: Land Value:	SFR \$57,758	Year Built / Eff: Living Area: Lot Area / Acres: Res / Comm Units: Bedrooms: Baths (F / H): Improvement Value:	1940 / 1990 2,788 7,500 / 0.17 2 / 3 3 / \$86,756
30	Owner Name: Site Address: Mailing Address: Legal Description: APN: Sale / Rec Date: Assessed Value:	Ohalloran Sean K 153 Central Ave, Los Gatos, CA 95030 153 Central Ave, Los Gatos, CA 95030 Lot 31 529-36-002 01/08/1999 / 01/15/1999 \$1,038,557	Land Use: Sale Price / Type: Land Value:	SFR \$739,000 / Full Value \$772,951	Year Built / Eff: Living Area: Lot Area / Acres: Res / Comm Units: Bedrooms: Baths (F / H): Improvement Value:	1958 / 1958 1,020 7,500 / 0.17 1 / 2 1 / \$265,606
31	Owner Name: Site Address: Mailing Address: Legal Description: APN: Sale / Rec Date: Assessed Value:	Secondine, Joseph W JR / Lattimer, Heather A 157 Central Ave, Los Gatos, CA 95030 157 Central Ave, Los Gatos, CA 95030 Lot 32 529-36-047 05/21/2018 / 06/01/2018 \$2,703,000	Land Use: Sale Price / Type: Land Value:	SFR \$2,650,000 / Full Va... \$2,091,000	Year Built / Eff: Living Area: Lot Area / Acres: Res / Comm Units: Bedrooms: Baths (F / H): Improvement Value:	1997 / 1997 2,460 7,500 / 0.17 1 / 4 3 / \$612,000

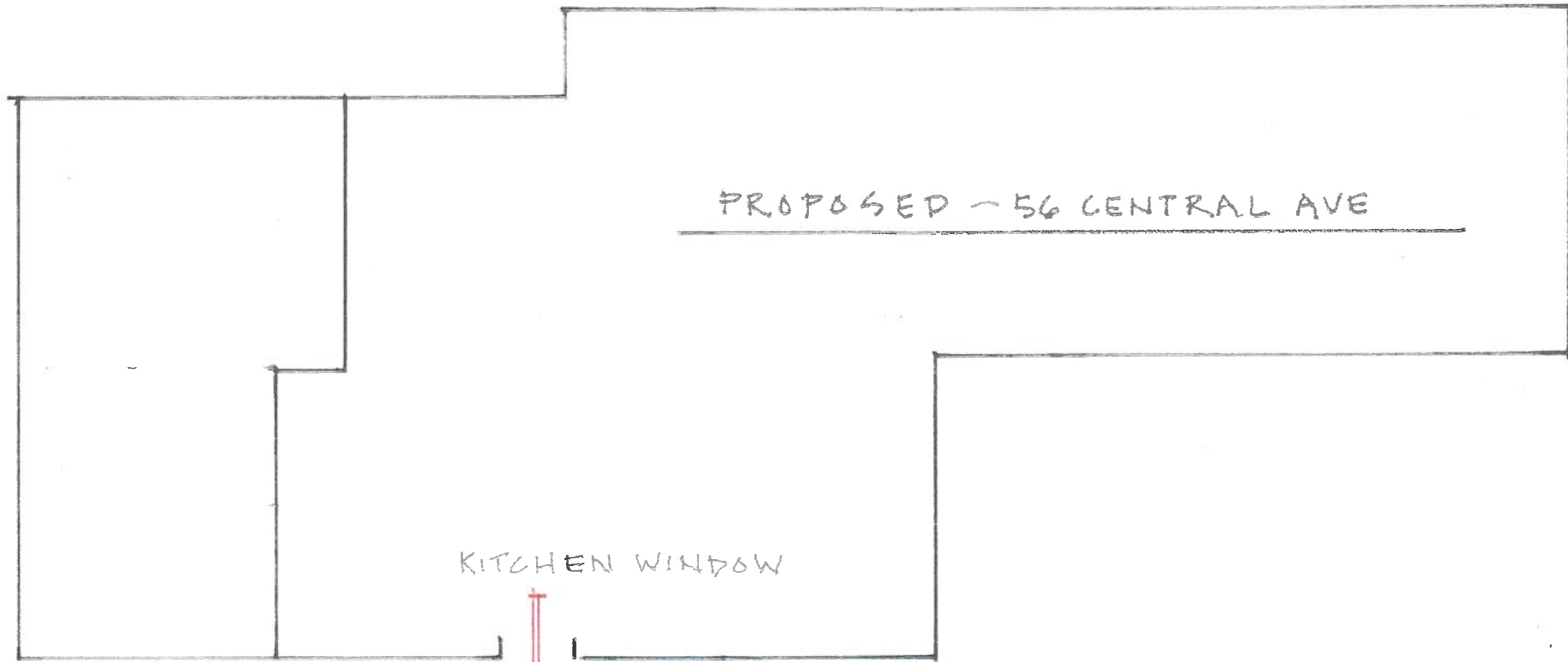
32	Owner Name: Phan, Tina Site Address: 160 Central Ave, Los Gatos, CA 95030 Mailing Address: 160 Central Ave, Los Gatos, CA 95030 Legal Description: Lot 34 APN: 529-32-039 Sale / Rec Date: 11/24/2010 / 12/01/2010 Assessed Value: \$1,929,195	Land Use: SFR Sale Price / Type: \$1,680,000 / Full Va... Land Value: \$1,157,461	Year Built / Eff: 1998 / 1998 Living Area: 2,492 Lot Area / Acres: 11,616 / 0.26 Res / Comm Units: 1 / Bedrooms: 3 Baths (F / H): 3 / 1 Improvement Value: \$771,734
33	Owner Name: Barton Bruce R And Alicia P Site Address: 161 Central Ave, Los Gatos, CA 95030 Mailing Address: 161 Central Ave, Los Gatos, CA 95030 Legal Description: Lot 33 APN: 529-36-046 Sale / Rec Date: 05/24/2002 / 05/31/2002 Assessed Value: \$1,529,799	Land Use: SFR Sale Price / Type: \$1,089,000 / Full Va... Land Value: \$865,176	Year Built / Eff: 1973 / 1973 Living Area: 3,075 Lot Area / Acres: 16,038 / 0.36 Res / Comm Units: 1 / Bedrooms: 4 Baths (F / H): 3 / Improvement Value: \$664,623
34	Owner Name: Kearns Patrick J JR And Camille D Site Address: 7 W Central Ave, Los Gatos, CA 95030 Mailing Address: 7 W Central Ave, Los Gatos, CA 95030 Legal Description: APN: 529-32-038 Sale / Rec Date: 08/04/2008 / 08/08/2008 Assessed Value: \$538,113	Land Use: SFR Sale Price / Type: \$1,625,000 / Full Va... Land Value: \$278,589	Year Built / Eff: 1950 / 1988 Living Area: 2,574 Lot Area / Acres: 20,600 / 0.47 Res / Comm Units: 1 / Bedrooms: 4 Baths (F / H): 2 / 1 Improvement Value: \$259,524
35	Owner Name: Johnson Eric Site Address: 12 W Central Ave, Los Gatos, CA 95030 Mailing Address: 12 W Central Ave, Los Gatos, CA 95030, (No Mail) Legal Description: APN: 529-32-047 Sale / Rec Date: 11/22/1994 / 11/29/1994 Assessed Value: \$679,662	Land Use: SFR Sale Price / Type: \$425,000 / Full Value Land Value: \$383,962	Year Built / Eff: 1975 / 1975 Living Area: 1,849 Lot Area / Acres: 6,000 / 0.13 Res / Comm Units: 1 / Bedrooms: 3 Baths (F / H): 3 / Improvement Value: \$295,700
36	Owner Name: Stojanovic Alexander And Tatjana Site Address: 14 W Central Ave, Los Gatos, CA 95030 Mailing Address: 14 W Central Ave, Los Gatos, CA 95030 Legal Description: Lot 41 APN: 529-32-036 Sale / Rec Date: 10/05/2011 / 10/07/2011 Assessed Value: \$1,491,925	Land Use: SFR Sale Price / Type: \$1,325,000 / Full Va... Land Value: \$895,155	Year Built / Eff: 1958 / 1958 Living Area: 1,078 Lot Area / Acres: 7,500 / 0.17 Res / Comm Units: 1 / Bedrooms: 2 Baths (F / H): 2 / Improvement Value: \$596,770
37	Owner Name: Dubin Jack E And Sheila L R Jack & Sheila Dubin Fam TR Site Address: 22 W Central Ave, Los Gatos, CA 95030 Mailing Address: 22 W Central Ave, Los Gatos, CA 95030 Legal Description: Map D Pg 35 Lot 37,40 APN: 529-32-037 Sale / Rec Date: Assessed Value: \$822,059	Land Use: SFR Sale Price / Type: Land Value: \$315,029	Year Built / Eff: 1940 / 1950 Living Area: 1,776 Lot Area / Acres: 26,280 / 0.60 Res / Comm Units: 1 / Bedrooms: 3 Baths (F / H): 1 / Improvement Value: \$507,030
38	Owner Name: Grubbs Diana L Site Address: 5 Central Ct, Los Gatos, CA 95030 Mailing Address: 5 Central Ct, Los Gatos, CA 95030 Legal Description: APN: 529-35-036 Sale / Rec Date: 04/21/1999 / 04/28/1999 Assessed Value: \$2,016,702	Land Use: SFR Sale Price / Type: \$1,435,000 / Full Va... Land Value: \$983,758	Year Built / Eff: 1993 / 1994 Living Area: 3,081 Lot Area / Acres: 19,400 / 0.45 Res / Comm Units: 1 / Bedrooms: 4 Baths (F / H): 4 / Improvement Value: \$1,032,944
39	Owner Name: Branch Allen D And Susan K Site Address: 7 Central Ct, Los Gatos, CA 95030 Mailing Address: 7 Central Ct, Los Gatos, CA 95030 Legal Description: Lot 72,73 APN: 529-35-063 Sale / Rec Date: Assessed Value: \$913,070	Land Use: SFR Sale Price / Type: Land Value: \$549,752	Year Built / Eff: 1990 / Living Area: 2,605 Lot Area / Acres: 16,644 / 0.38 Res / Comm Units: 1 / Bedrooms: 3 Baths (F / H): 3 / Improvement Value: \$363,318

Central Ct.

40	Owner Name: Holt, William D / Holt, La Sorsa Elizabeth J Site Address: 8 Central Ct, Los Gatos, CA 95030 Mailing Address: 8 Central Ct, Los Gatos, CA 95030 Legal Description: Map A1 893 APN: 529-35-034 Sale / Rec Date: 01/22/1993 / 01/29/1993 Assessed Value: \$433,590	Land Use: SFR Sale Price / Type: \$275,000 / Full Value Land Value: \$317,043	Year Built / Eff: 1906 / 1906 Living Area: 1,008 Lot Area / Acres: 7,776 / 0.17 Res / Comm Units: 1 / Bedrooms: 2 Baths (F / H): 1 / Improvement Value: \$116,547
41	Owner Name: Clark, Brian J / Clark, Noreen T Site Address: 10 Central Ct, Los Gatos, CA 95030 Mailing Address: 10 Central Ct, Los Gatos, CA 95030 Legal Description: APN: 529-35-038 Sale / Rec Date: 08/03/1988 / 08/10/1988 Assessed Value: \$1,148,844	Land Use: SFR Sale Price / Type: \$637,000 / Full Value Land Value: \$432,332	Year Built / Eff: 1908 / 1956 Living Area: 2,765 Lot Area / Acres: 10,000 / 0.46 Res / Comm Units: 1 / Bedrooms: 4 Baths (F / H): 2 / 1 Improvement Value: \$716,512
42	Owner Name: Wagner, Donald J / Wagner, Linda S Site Address: 15 Central Ct, Los Gatos, CA 95030 Mailing Address: 15 Central Ct, Los Gatos, CA 95030 Legal Description: APN: 529-35-062 Sale / Rec Date: 04/22/2005 / 04/29/2005 Assessed Value: \$1,874,342	Land Use: SFR Sale Price / Type: \$1,500,000 / Full Va... Land Value: \$999,651	Year Built / Eff: 1992 / 1992 Living Area: 2,674 Lot Area / Acres: 9,276 / 0.21 Res / Comm Units: 1 / Bedrooms: 4 Baths (F / H): 3 / Improvement Value: \$874,691
43	Owner Name: Song, Zhonghe / Han, Bingru Site Address: 98 Central Ct, Los Gatos, CA 95030 Mailing Address: 98 Central Ct, Los Gatos, CA 95030 Legal Description: APN: 529-35-052 Sale / Rec Date: 03/02/2012 / 03/08/2012 Assessed Value: \$1,202,799	Land Use: SFR Sale Price / Type: \$990,000 / Full Value Land Value: \$668,833	Year Built / Eff: 1923 / 1923 Living Area: 1,608 Lot Area / Acres: 9,750 / 0.22 Res / Comm Units: 1 / Bedrooms: 1 Baths (F / H): 1 / Improvement Value: \$533,966
44	Owner Name: Christjansen, Anders B / Christjansen, Marcela A Site Address: 100 Central Ct, Los Gatos, CA 95030 Mailing Address: 100 Central Ct, Los Gatos, CA 95030 Legal Description: APN: 529-35-014 01 Sale / Rec Date: Assessed Value: \$2,043,982	Land Use: SFR Sale Price / Type: Land Value: \$1,226,390	Year Built / Eff: 1918 / 1965 Living Area: 2,332 Lot Area / Acres: 19,200 / 0.44 Res / Comm Units: Bedrooms: 4 Baths (F / H): 2 / 1 Improvement Value: \$817,592
45	Owner Name: Sandigo, Samuel R Site Address: 102 Central Ct, Los Gatos, CA 95030 Mailing Address: 102 Central Ct, Los Gatos, CA 95030 Legal Description: APN: 529-35-030 Sale / Rec Date: 05/19/2011 / 05/27/2011 Assessed Value: \$1,422,750	Land Use: SFR Sale Price / Type: \$600,000 / Full Value Land Value: \$677,615	Year Built / Eff: 1920 / 2012 Living Area: 2,207 Lot Area / Acres: 3,750 / 0.21 Res / Comm Units: 1 / Bedrooms: 4 Baths (F / H): 3 / Improvement Value: \$745,135

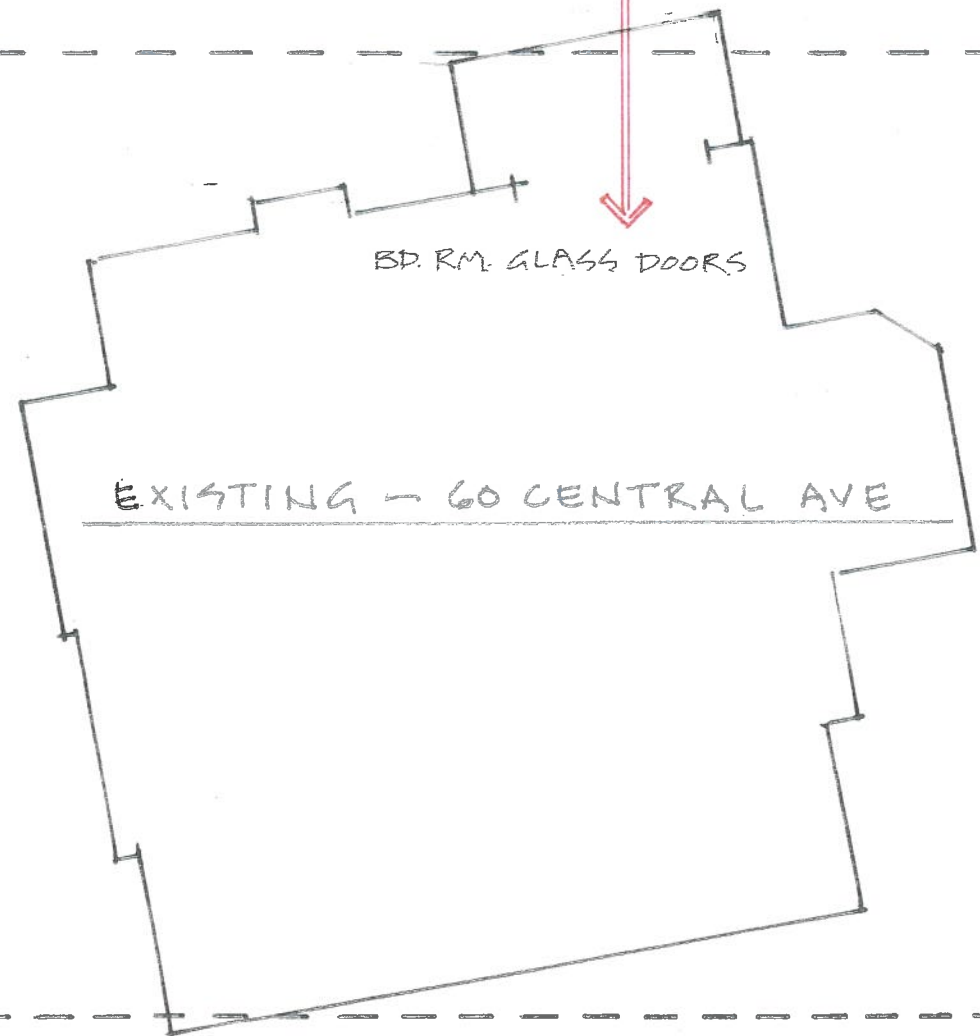
92,579 / 43 = 2,153 Average of all homes on this list. Only 3 homes have habitable cellar space.

#1



PROPOSED - 56 CENTRAL AVE

KITCHEN WINDOW



BD. RM. GLASS DOORS

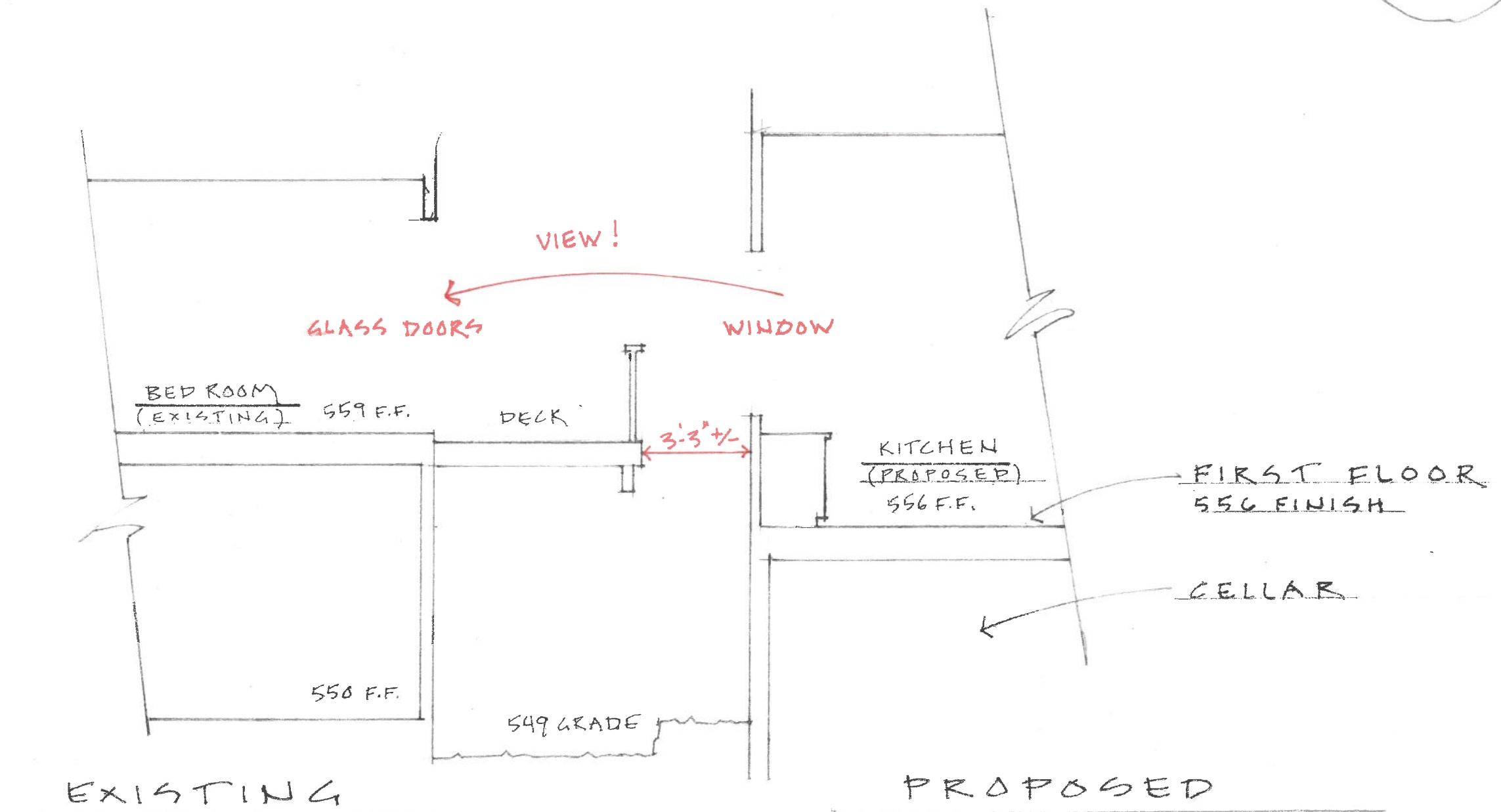
EXISTING - 60 CENTRAL AVE

KITCHEN TO BEDROOM VIEW

SCALE 1" = 1'-0"

RECEIVED
OCT 0 / 2019
TOWN OF LOS GATOS
PLANNING DIVISION

#2



EXISTING

PROPOSED

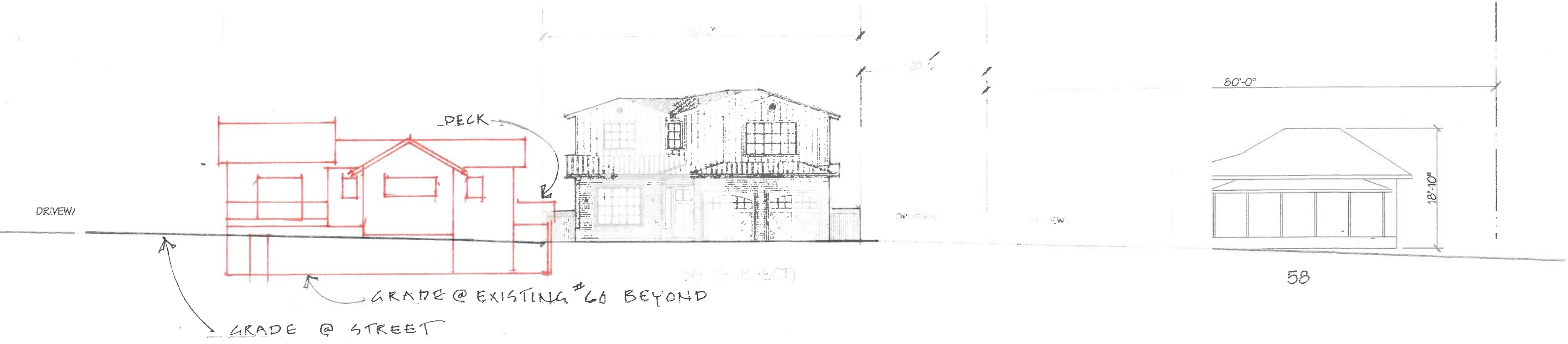
$\frac{1}{4}'' = 1'-0''$

$\frac{1}{4}'' = 1'-0''$

SECTION - KITCHEN VIEW

#3

STREET SCAPE (ACROSS STREET)
CORRECTED





**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 10/09/2019

ITEM NO: 4

DATE: October 3, 2019
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Architecture and Site Application S-18-060. Project Location: 16336 Shady View Lane. Appellant: Matt and Carrie Currie. Applicant: De Mattei Construction. Property Owner: Allan and Katty Coulson.
Consider an appeal of a Development Review Committee Decision approving a request for demolition of a single-family residence and construction of a new single-family residence on property zoned R-1:8. APN 532-03-034.

RECOMMENDATION:

Deny the appeal and uphold the decision of the Development Review Committee to approve the application, subject to the recommended conditions of approval.

PROJECT DATA:

General Plan Designation: Low Density Residential
Zoning Designation: Single-Family Residential, R-1:8
Applicable Plans & Standards: General Plan; Residential Design Guidelines
Parcel Size: 8,610 square feet
Surrounding Area:

	Existing Land Use	General Plan Land Use Designation	Zoning
North	Park	Open Space	R-1:8
South	Residential	Low Density Residential	R-1:8
East	Residential	Low Density Residential	R-1:8
West	Residential	Low Density Residential	R-1:8

PREPARED BY: Ryan Safty
Associate Planner

Reviewed by: Planning Manager and Community Development Director

CEQA:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

FINDINGS:

- As required, pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, this project is Categorically Exempt, Section 15303: New Construction or Conversion of Small Structures.
- As required by Section 29.10.09030(e) of the Town Code for the demolition of existing structures.
- As required by the Residential Design Guidelines that the project complies with the Residential Design Guidelines.

CONSIDERATIONS:

- As required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject property is located on the south-eastern corner of Shannon Road and Shady View Lane (Exhibit 1). The lot is approximately 8,610 square feet with an existing 1,056-square foot single-story residence. The immediate neighborhood contains a mix of one- and two-story residences.

On December 17, 2018, an Architecture and Site application was submitted for the subject site. The applicant proposes to demolish the existing residence and construct a new 2,699-square foot two-story residence with a 423-square foot attached garage fronting on Shannon Road (Exhibit 18).

The proposed project meets all technical requirements of the Town Code including parking, setbacks, height, floor area, and building coverage.

On August 13, 2019, the Development Review Committee approved the proposed project (Exhibit 13). The application is being reviewed by the Planning Commission because the decision of the Development Review Committee has been appealed (Exhibit 14).

PROJECT DESCRIPTION:

A. Architecture and Site Application

Architecture and Site approval is required to construct a new single-family residence. The story poles, netting, and project identification sign have been in place since July 2, 2019 to aid in the review of the project.

B. Location and Surrounding Neighborhood

The subject property is located at the corner of Shannon Road and Shady View Lane, across Shannon Road from Blossom Hill Park (Exhibit 1). The surrounding properties are mostly one-and two-story single-family residences, with a mix of architectural styles.

C. Zoning Compliance

The property is zoned R-1:8, which permits a single-family residence. The proposed residence is in compliance with parking, setbacks, height, floor area, and building coverage requirements.

DISCUSSION:

A. Architecture and Site Application

The applicant is proposing to demolish the existing 1,056-square foot single-story residence and construct a new 2,699-square foot two-story single-family residence with 1,425 square feet of floor area on the first floor, 1,274 square feet of floor area on the second floor, and a 423-square foot attached garage. The proposal also includes a covered first-floor porch on the rear elevation and covered second-floor balconies on the front and rear elevations which do not count towards floor area maximums.

The existing site has two driveways: one fronting on Shannon Road and one fronting on Shady View Lane. The applicant proposes to maintain the existing driveway fronting on Shannon Road in its current location and remove the driveway fronting on Shady View Lane.

The development plans show a future accessory dwelling unit proposed at the rear of the residence (Exhibit 18). The accessory dwelling unit is not a part of the Architecture and Site approval and would require a future submittal for a separate ministerial permit for approval by the Community Development Director. A new accessory dwelling unit on the property would be subject to the requirements contained in Section 29.10.320 of the Town Code. Project information, including the proposed square footage of the home, is not inclusive of a future accessory dwelling unit.

DISCUSSION (continued):

The applicant's project description is attached as Exhibit 5. The project data sheet is attached as Exhibit 4 and includes additional information regarding the proposed project.

B. Building Design

The Town's Consulting Architect reviewed the design of the proposed project within the neighborhood context to provide recommendations regarding the building design (Exhibits 7 and 8). The site is in a neighborhood of many newer one- and two-story homes constructed within the fabric of largely one-story homes. In the Issues and Concerns background section of the report, the Consulting Architect noted that the home was well designed in a Spanish Revival Style, and that the main issue was the tall blank wall at the corner of Shady View Lane and Shannon Road. In the Recommendations section of the report, the Consulting Architect made the following recommendation(s) to address consistency with the Residential Design Guidelines:

1. Enhance the architectural details which would serve to mitigate the situation and divert attention away from the tall walls. These details could include the following:
 - Additional windows at the corner on both the north and west facades
 - Decorative wood corbels at eave lines
 - Trim molding on all sides of the house at the second-floor line
 - Deep set garage doors and all windows on all facades
 - Projecting stucco base on all sides of the house
 - Add a decorative carriage light consistent with the architectural style at the entry
 - Make the second-floor columns on the north balcony square

The applicant revised the project to incorporate the Consulting Architect's recommendations by enhancing most of these details, and adding stacked stone at the corner tower feature, prior to Development Review Committee approval.

C. Neighborhood Compatibility

The immediate neighborhood is made up of one- and two-story single-family residences, including a mix of architectural styles. Based on Town and County records, the residences in the immediate area range in size from 1,285 square feet to 3,957 square feet. The floor area ratios range from 0.06 to 0.49. The proposed residence would be 2,699 square feet with a floor area ratio of 0.31. Pursuant to Town Code, the maximum allowable square footage for the 8,610-square foot lot is 2,765 square feet with a maximum floor area ratio of 0.32. The table below reflects the current conditions of the immediate neighborhood:

DISCUSSION (continued):

Address	Zoning	House	Garage	Total	Lot Size	House FAR	No. of Stories
16336 Shady View (Ex.)	R-1:8	1,056	240	1,296	8,610	0.12	1
16336 Shady View (Prop.)	R-1:8	2,699	423	3,122	8,610	0.31	2
16356 Shady View Lane	R-1:8	3,452	469	3,921	9,165	0.38	2
16359 Shady View Lane	R-1:8	1,285	400	1,685	8,901	0.14	1
16344 Shady View Lane	R-1:8	1,344	416	1,760	9,782	0.14	1
16347 Shady View Lane	R-1:8	2,577	600	3,177	8,820	0.29	2
16370 Shannon Rd	R-1:8	3,957	436	4,393	8,120	0.49	2
16337 Shady View Lane	R-1:8	2,836	586	3,422	8,563	0.33	1
16330 Shannon Rd	R-1:8	3,380	901	4,281	11,310	0.30	2
16310 Shannon Rd	R-1:8	2,052	0	2,052	32,625	0.06	1
100 Del Carlo Ct	R-1:8	2,442	447	2,889	9,654	0.25	1

The proposed residence would not be the largest home in the immediate neighborhood in terms of square footage or FAR.

The applicant reached out to surrounding neighbors during the review process (Exhibit 10). The adjacent neighbors to the east (16330 Shannon Road) have raised concerns regarding massing, neighborhood compatibility, and privacy during the review process (Exhibit 11). In response to the neighbors' privacy concerns, the applicant made the following plan revisions: raised the master bedroom windows so that sill heights are above eye level, obscured the window in the master bathroom, added privacy trees between the properties, reduced the size of the second-story balcony on the rear elevation, and added a screening wall on the east side of the balcony.

D. Tree Impacts

The Town's Consulting Arborist prepared a report for the site and recommendations for the project (Exhibit 9). The project site contains five protected trees, two of which are considered large protected trees. The applicant is proposing to remove two of the existing cypress trees located near the proposed footprint, neither of which is a large protected tree.

If the project is approved, tree protection measures would be implemented prior to and during construction. Replacement trees would also be required to be planted pursuant to Town Code.

DISCUSSION (continued):

E. Development Review Committee

The Development Review Committee held a public hearing for the Architecture and Site application on August 13, 2019. Written public hearing notices were sent to surrounding property owners and occupants within 300 feet of the subject property.

The following neighbors were in attendance and spoke on the item:

- Matt and Carrie Currie – 16330 Shannon Road
- Bob Boschert – 16310 Shannon Road

Mr. Boschert did not have any concerns and attended because he received notice of the hearing. The Curries raised concerns regarding privacy impacts associated with the second-floor balcony, the second-floor massing along the side elevation facing their property, and the safety of the driveway on Shannon Road (Exhibit 13).

The applicant provided an updated landscape plan which incorporated additional screening trees as a standard measure to address the neighbors' privacy concerns (Exhibit 12). The Development Review Committee found that the application was complete and in compliance with the Town Code and Residential Design Guidelines. Based on these findings and determinations, the Development Review Committee approved the proposed project, subject to the recommended conditions of approval.

F. Appeal

On August 22, 2019, the decision of the Development Review Committee was appealed to the Planning Commission by the adjacent neighbor, Matt Currie (Exhibit 14). The applicant submitted a written response to the appeal, included as Exhibit 15.

The specific reasons for the appeal are summarized below, followed by analysis in *italic* font.

The Application violates Section 1.4 (Community Expectations) of the Town's Residential Design Guidelines. Among other things, this section requires that "homes will be designed with respect for the views, privacy and solar access of their neighbors."

The Application violates Section 2.5.2 (Design with Sensitivity to Adjacent Neighbors) of the Town's Residential Design Guidelines. Among other things, this section provides that "new homes should be planned with awareness of the impacts which they will have on the views, sky exposure, sun access and privacy of neighbors."

DISCUSSION (continued):

The Application violates Section 3.3.2 (Height and Bulk at Front and Side setbacks). Among other things, this section directs applicants to “give special attention to adopting to the height and massing of adjacent homes.”

The Application violates Section 3.11.1 (Minimize shadow impacts on adjacent properties) of the Town’s Residential Design Guidelines. Among other things, this section directs applicants to “locate structures to minimize blocking sun access to living spaces and actively used outdoor areas on adjacent homes.”

The Application violates Section 3.11.2 of the Residential Design Guidelines. Among other things, this section provides that “Second-floor balconies and decks should be used only when they do not intrude on the privacy of adjacent neighbors”; and “when windows are needed and desired in side building walls, they should be modest in size.”

A shadow-study was submitted for the proposed project, showing that no new shadows from the proposed building will be cast on the neighboring property (Exhibit 18).

In response to the neighbors’ privacy concerns, the applicant made the following plan revisions: raised the master bedroom windows so that sill heights are above eye level, obscured the window in the master bathroom, added privacy trees between the properties, reduced the size of the second-story balcony on the rear elevation, and added a screening wall on the east side of the balcony. The applicant also provided an updated landscape plan which incorporated additional screening trees as a standard measure to address the neighbors’ privacy concerns (Exhibit 12).

The Application violates General Plan goal CD-1, which among other things, includes the following policies: (CD-1.1) “building elements shall be in proportion with those traditionally in the neighborhood.”; (CD-1.2) “new structures, remodels, landscapes... shall be designed to harmonize and blend with the scale and rhythm of the neighborhood and natural features in the area.”; and (CD-1.5) “town staff shall evaluate projects to assess how built characteristics, including scale, materials... and landscape, blend into the surrounding neighborhood.”

The Application violates General Plan goal CD-2, which is intended to “limit the intensity of new development to a level that is consistent with surrounding development and with the Town at large.”

DISCUSSION (continued):

The Application violates General Plan Goal CD-6, which includes the following relevant policies: (CD-6.1) “reduce the visual impact of new construction and/or remodels on the Town and its neighborhoods”; (CD-6.2) “balance the size and number of units to achieve appropriate intensity”; (CD-6.3) “encourage basements and cellars to provide ‘hidden’ square footage in lieu of visible mass”; and (CD-6.4) “new homes shall be sited to maximize privacy, livability... and adequate solar access and wind conditions.”

The Town’s Consulting Architect reviewed the design of the proposed project within the neighborhood context to provide recommendations regarding the building design (Exhibits 7 and 8). The site is in a neighborhood of many newer one- and two-story homes constructed within the fabric of largely one-story homes. The applicant revised the project to incorporate the Consulting Architect’s recommendations by enhancing details and adding stacked stone at the corner tower feature, prior to Development Review Committee approval.

The proposed residence would not be the largest home in the immediate neighborhood in terms of square footage or FAR. In terms of floor area, the proposed residence would be the fifth largest in the immediate neighborhood. In terms of house FAR, the proposed residence would have the fourth largest FAR. In terms of number of stories, the proposed residence would be the fifth two-story residence in the immediate neighborhood.

The Shady View Project failed to comply with the Town’s Height Pole and Netting Policy for New Construction. Specifically, Section III (e) of that policy requires project identification signs to be posted that identify the square footage of new construction, as well as provide color perspective and three dimensional or photographic simulations of the new construction.

Story poles, and project sign including the hearing date, contact information, project description, and front elevation, were installed on the site; and the written notice of the Development Review Committee public hearing was sent to neighboring property owners and occupants. Following the appeal, written notice of the Planning Commission hearing was sent to neighboring property owners and occupants, the story poles have remained in place, and the project sign has been updated to reflect the appeal hearing before Planning Commission.

DISCUSSION (continued):

Finally, the Curries are concerned because it appears that the Town applied a different standard when approving the Shady View Project than was applied to the Curries' and other neighbors when they undertook prior construction and remodeling projects. For example, the Curries undertook extensive efforts when remodeling their residence to protect neighbor's privacy, including enhanced second-floor setbacks, heightened and obscured second-level windows, and minimization of size and massing of the Curries' second-floor. These design elements were incorporated to conform with the Town's residential and community design guidelines, and to preserve neighbors' privacy while minimizing other detrimental impacts.

The Town's Consulting Architect reviewed the design of the proposed project within the neighborhood context to provide recommendations regarding the building design (Exhibits 7 and 8). The site is in a neighborhood of many newer one- and two-story homes constructed within the fabric of largely one-story homes.

At the time 16330 Shannon Road application was processed, there were no immediately adjacent two-story homes. The Residential Design Guidelines contain increased standards and guidelines for new two-story homes adjacent to single-story homes. The proposed 16336 Shady View Lane residence would be the fifth two-story residence in the immediate neighborhood, the residence would be immediately adjacent to a two-story home to the east at 16330 Shannon Road, and the second-story wall would be setback approximately 60 feet from the single-story neighbor to the south at 16356 Shady View Lane.

Following the appeal, the applicant proposed alternative design options in an additional effort to address the appellant's concerns, and related correspondence is included as Exhibit 16. The applicant proposed enclosing the balcony and reducing the first-floor area to comply with floor area limitations. Additionally, the applicant proposed moving the building four and one-half feet closer to Shady View Lane, thus increasing the separation of the two residences from 16 feet to 20 and one-half feet. This four and one-half-foot setback encroachment would be compatible with the building setbacks of the property directly across Shady View Lane (16337 Shady View Lane). Since the subject property is nonconforming as to the lot frontage requirements of the R-1:8 zone (66 feet when 80 feet are required), building setback requirements may be modified through Architecture and Site approval so that the building and its use would be compatible with the neighborhood (Town Code Section 29.10.265).

DISCUSSION (continued):

The applicant submitted revised development plans on October 4, 2019 (Exhibit 17) which incorporate the alternative design options outlined in Exhibit 16. At the time of publication of this report, no agreement between the applicant and appellant has been reached. However, if the Planning Commission finds this additional setback modification and balcony enclosure desirable, a condition of approval may be added for the project plans to be modified at time of building permit submittal to reflect the plan modifications shown in Exhibit 17. Public Works has reviewed the proposed building location modification and, if approved, will require that a condition of approval be added to ensure that the existing driveway approach on Shannon Road not be moved any closer to the intersection at Shannon Road and Shady View Lane.

G. Environmental Review

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

PUBLIC COMMENTS:

The applicant previously met with the surrounding neighbors and a summary of that correspondence is included as Exhibit 10. The applicant and appellant have also exchanged communications, included as Exhibit 11.

Story poles, and project sign including the hearing date, contact information, project description, and front elevation, were installed on the site; and the written notice of the Development Review Committee public hearing was sent to neighboring property owners and occupants. Following the appeal, written notice of the Planning Commission hearing was sent to neighboring property owners and occupants, the story poles have remained in place, and the project sign has been updated to reflect the appeal hearing before Planning Commission.

Correspondence between the applicant and appellant following the filing of the appeal are included as Exhibit 16. Additional public comments received regarding the project are included as Exhibit 19.

CONCLUSION:

A. Conclusion

The proposed project is in compliance with the Residential Design Guidelines and Town Code. The applicant has made modifications to their proposal in an effort to address the privacy concerns of the adjacent neighbors.

CONCLUSION (continued):

B. Recommendation

Staff recommends that the Planning Commission take the following actions to deny the appeal, uphold the decision of the Development Review Committee, and approve the Architecture and Site application:

1. Find that the proposed project is categorically exempt pursuant to the adopted Guidelines for the implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures (Exhibit 2);
2. Make the required findings as required by Section 29.10.09030(e) of the Town Code for the demolition of a single-family residence (Exhibit 2);
3. Make the finding required by the Town's Residential Design Guidelines that the project complies with the Residential Design Guidelines (Exhibit 2);
4. Make the required considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 2); and
5. Approve Architecture and Site Application S-18-051 with the conditions contained in Exhibit 3 and development plans attached as Exhibit 18.

C. Alternatives

Alternatively, the Commission can:

1. Continue the matter to a date certain with specific direction;
2. Deny the appeal and approve the application with additional and/or modified conditions;
3. Grant the appeal and remand the application to the Development Review Committee with direction for revisions; or
4. Grant the appeal and deny the Architecture and Site application.

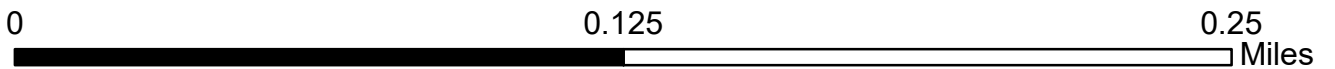
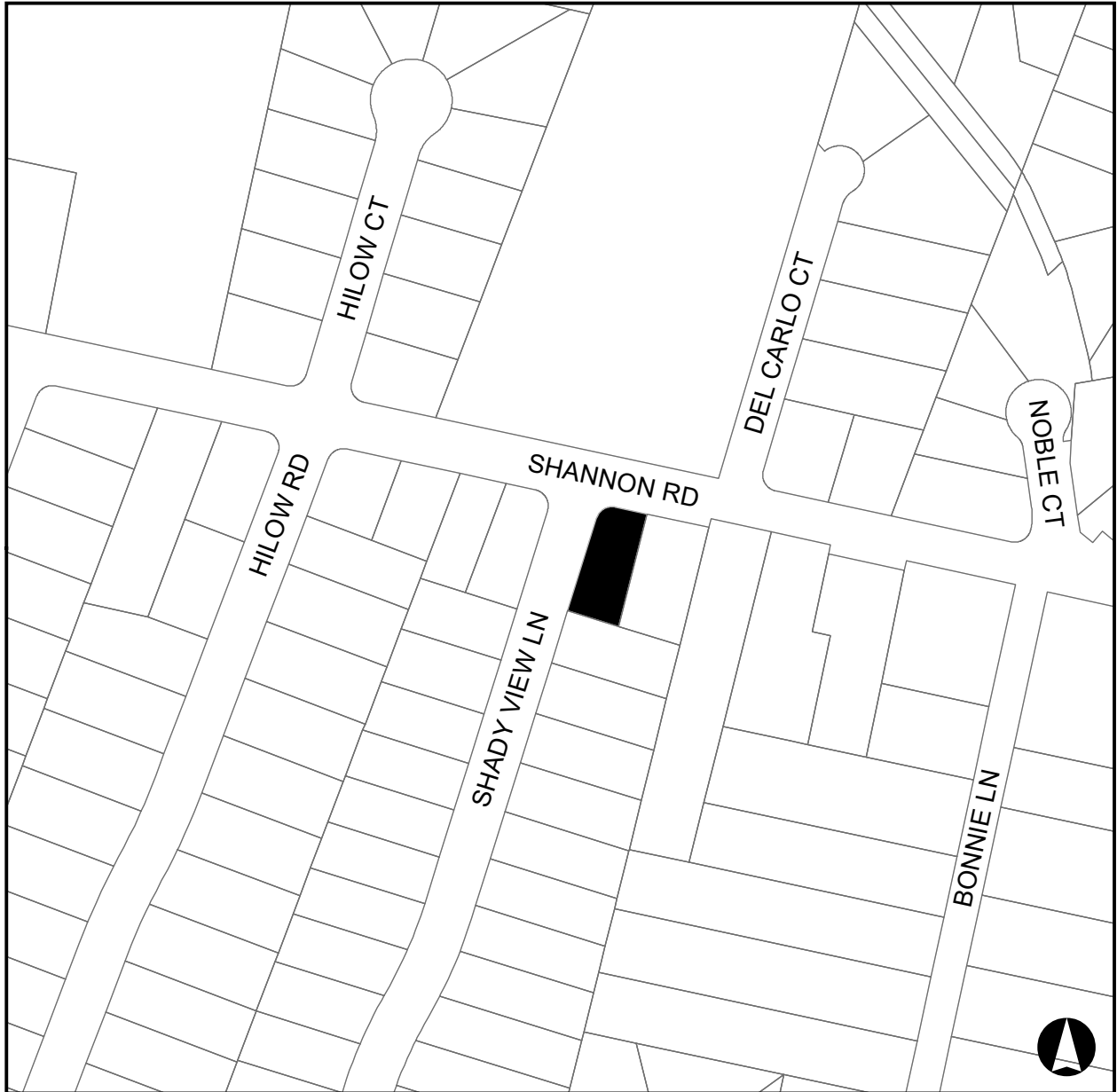
EXHIBITS:

1. Location map
2. Required Findings and Considerations (two pages)
3. Recommended Conditions of Approval (12 pages)
4. Project data sheet (two pages)
5. Project Description and Letter of Justification dated November 21, 2018 (one page)
6. Color and materials sample received September 5, 2019 (one page)
7. Consulting Architect's Report dated February 8, 2019 (five pages)
8. Update to Consulting Architect's Report received September 26, 2019 (one page)
9. Consulting Arborist's Report dated January 31, 2019 (39 pages)

EXHIBITS (continued):

10. Summary of neighborhood outreach received June 14, 2019 and September 10, 2019 (three pages)
11. Correspondence between applicant and appellant prior to August 13, 2019 Development Review Committee meeting (20 pages)
12. Landscape Plan Modifications received August 13, 2019 (one page)
13. August 13, 2019 Development Review Committee meeting minutes (three pages)
14. Appeal of Development Review Committee received August 22, 2019 (15 pages)
15. Applicant's response letter to appeal received September 10, 2019 (one page)
16. Correspondence between applicant and appellant following appeal (17 pages)
17. Revised development plans incorporating alternative design options received October 4, 2019 (22 sheets)
18. Development plans approved by Development Review Committee on August 13, 2019 (20 sheets)
19. Public comment received by 11:00 a.m., Friday, October 4, 2019

16336 Shady View Lane



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PLANNING COMMISSION – October 9, 2019
REQUIRED FINDINGS & CONSIDERATIONS FOR:

16336 Shady View Lane
Architecture and Site Application S-18-060

Consider an appeal of a Development Review Committee decision approving a request for demolition of a single-family residence and construction of a new single-family residence on property zoned R-1:8. APN 532-03-034.

PROPERTY OWNER: Allan and Katty Coulson

APPLICANT: Lerika Liscano (De Mattei Construction)

FINDINGS

Required findings for CEQA:

- The project is Categorical Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

Required finding for the demolition of a single-family residence:

- As required by Section 29.10.09030(e) of the Town Code for the demolition of a single-family residence:
 1. The Town's housing stock will be maintained as the single-family residence will be replaced.
 2. The existing structure has no architectural or historical significance, and is in poor condition.
 3. The property owner does not desire to maintain the structure as it exists; and
 4. The economic utility of the structures was considered.

Required Compliance with the Residential Design Guidelines:

- The project is in compliance with the Residential Design Guidelines for single-family homes not in hillside residential areas and was reviewed by the Town's Consulting Architect. The project is compatible with the immediate neighborhood in terms of size, bulk, and scale. The proposed two-story residence is adjacent to a two-story home and would not be the largest or tallest home in the immediate neighborhood. Privacy measures have been taken in the form of screening trees, window modifications and reductions, and size reductions and enclosure of one side of a second-story balcony with a screening wall.

CONSIDERATIONS:

Considerations in review of Architecture & Site applications:

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project

PLANNING COMMISSION – October 9, 2019
CONDITIONS OF APPROVAL

16336 Shady View Lane

Architecture and Site Application S-18-060

Consider an appeal of a Development Review Committee decision approving a request for demolition of a single-family residence and construction of a new single-family residence on property zoned R-1:8. APN 532-03-034.

PROPERTY OWNER: Allan and Katty Coulson

APPLICANT: Lerika Liscano (De Mattei Construction)

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Planning Division

1. APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC or the Planning Commission depending on the scope of the changes.
2. EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
3. OUTDOOR LIGHTING: Exterior lighting shall be kept to a minimum, and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security. The lighting plan shall be reviewed during building plan check.
4. TREE REMOVAL PERMIT: A Tree Removal Permit shall be obtained for any trees to be removed, prior to the issuance of a building or grading permit.
5. EXISTING TREES: All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan, and must remain on the site.
6. PROTECTIVE TREE FENCING: Prior to any construction or building permits being issued, tree protection fencing shall be installed prior to, and be maintained during, construction. The fencing shall be a four-foot high chain link attached to steel poles driven two feet into the ground when at the dripline of the tree.
7. TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties.
8. ARBORIST REQUIREMENTS: The developer shall implement, at their cost, all recommendations made by the Consulting Arborist Walter Levison, identified in the Arborist's report, dated as received January 31, 2019, on file in the Community Development Department. This includes relocation of the future pool outside of the critical root zone of Tree #54. A Compliance Memorandum shall be prepared by the applicant and submitted with the building permit application detailing how the recommendations have or will be addressed. These recommendations must be incorporated in the building permit plans, and completed prior to issuance of a building permit where applicable.
9. FRONT YARD LANDSCAPE: Prior to issuance of a Certificate of Occupancy the front yard must be landscaped.

10. **STORY POLES:** The story poles on the project site shall be removed within 30 days of approval of the Architecture & Site application.
11. **SOLAR.** During the Architecture and Site application process all new residences, to the extent feasible, shall be designed to take full advantage of passive solar opportunities. Each residence shall be pre-plumbed for solar hot water heating and shall comply with the Town's Conservation Element of the General Plan.
12. **WATER EFFICIENCY LANDSCAPE ORDINANCE:** The final landscape plan shall meet the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review.
13. **COMPLIANCE MEMORANDUM:** A memorandum, in compliance with standard Town practice, shall be prepared and submitted with the building permit detailing how the conditions of approval will be addressed.
14. **TOWN INDEMNITY:** Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement from the Town shall defend, indemnify, and hold harmless the Town and its officials in any action brought by a third party to overturn, set aside, or void the permit or entitlement. This requirement is a condition of approval of all such permits and entitlements whether or not expressly set forth in the approval, and may be secured to the satisfaction of the Town Attorney.

Building Division

15. **PERMITS REQUIRED:** A Demolition Permit is required for the demolition of the existing single-family residence and attached garage. An additional Demolition Permit will be required for the single large shed located on the SW corner of the existing structure. A separate Building Permit is required for the construction of the new single-family residence with attached garage and attached ADU. An additional permit will be required for each individual detached structure such as the pool house or swimming pool.
16. **APPLICABLE CODES:** The current codes, as amended and adopted by the Town of Los Gatos as of January 1, 2017, are the 2016 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12.
17. **CONDITIONS OF APPROVAL:** The Conditions of Approval must be blue-lined in full on the cover sheet of the construction plans. A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.
18. **BUILDING & SUITE NUMBERS:** Submit requests for new building or ADU addresses to the Building Division prior to submitting for the building permit application process.
19. **SIZE OF PLANS:** Submit four sets of construction plans, minimum size 24" x 36", maximum size 30" x 42".
20. **REQUIREMENTS FOR COMPLETE DEMOLITION OF STRUCTURE:** Obtain a Building Department Demolition Application and a Bay Area Air Quality Management District Application from the Building Department Service Counter. Once the demolition form has been completed, all signatures obtained, and written verification from PG&E that all utilities have been disconnected, return the completed form to the Building Department Service Counter with the Air District's J# Certificate, PG&E verification, and three (3) sets of site

- plans showing all existing structures, existing utility service lines such as water, sewer, and PG&E. No demolition work shall be done without first obtaining a permit from the Town.
21. SOILS REPORT: A Soils Report, prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations, shall be submitted with the Building Permit Application. This report shall be prepared by a licensed Civil Engineer specializing in soils mechanics.
 22. SHORING: Shoring plans and calculations will be required for all excavations which exceed five (5) feet in depth or which remove lateral support from any existing building, adjacent property, or the public right-of-way. Shoring plans and calculations shall be prepared by a California licensed engineer and shall conform to the Cal/OSHA regulations.
 23. FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at foundation inspection. This certificate shall certify compliance with the recommendations as specified in the Soils Report, and that the building pad elevations and on-site retaining wall locations and elevations have been prepared according to the approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items:
 - a. Building pad elevation
 - b. Finish floor elevation
 - c. Foundation corner locations
 - d. Retaining wall(s) locations and elevations
 24. TITLE 24 ENERGY COMPLIANCE: All required California Title 24 Energy Compliance Forms must be blue-lined (sticky-backed), i.e. directly printed, onto a plan sheet.
 25. TOWN RESIDENTIAL ACCESSIBILITY STANDARDS: New residential units shall be designed with adaptability features for single-family residences per Town Resolution 1994-61:
 - a. Wood backing (2" x 8" minimum) shall be provided in all bathroom walls, at water closets, showers, and bathtubs, located 34 inches from the floor to the center of the backing, suitable for the installation of grab bars if needed in the future.
 - b. All passage doors shall be at least 32-inch doors on the accessible floor level.
 - c. The primary entrance door shall be a 36-inch-wide door including a 5'x 5' level landing, no more than 1 inch out of plane with the immediate interior floor level and with an 18 inch clearance at interior strike edge.
 - d. A door buzzer, bell or chime shall be hard wired at primary entrance.
 26. BACKWATER VALVE: The scope of this project may require the installation of a sanitary sewer backwater valve per Town Ordinance 6.50.025. Please provide information on the plans if a backwater valve is required and the location of the installation. The Town of Los Gatos Ordinance and West Valley Sanitation District (WVSD) requires backwater valves on drainage piping serving fixtures that have flood level rims less than 12 inches above the elevation of the next upstream manhole.
 27. TOWN FIREPLACE STANDARDS: New wood burning fireplaces shall be an EPA Phase II approved appliance or gas appliance per Town Ordinance 1905. Tree limbs shall be cut within 10 feet of chimneys.
 28. HAZARDOUS FIRE ZONE: All projects in the Town of Los Gatos require Class A roof assemblies.

29. SPECIAL INSPECTIONS: When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested parties prior to permit issuance. Special Inspection forms are available from the Building Division Service Counter or online at www.losgatosca.gov/building.
30. BLUE PRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available at the Building Division Service Counter for a fee of \$2 or at ARC Blue Print for a fee or online at www.losgatosca.gov/building.
31. APPROVALS REQUIRED: The project requires the following departments and agencies approval before issuing a building permit:
 - a. Community Development – Planning Division: (408) 354-6874
 - b. Engineering/Parks & Public Works Department: (408) 399-5771
 - c. Santa Clara County Fire Department: (408) 378-4010
 - d. West Valley Sanitation District: (408) 378-2407
 - e. Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS AND PUBLIC WORKS:

Engineering Division

32. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner and/or Applicant's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner and/or Applicant's expense.
33. APPROVAL: This application shall be completed in accordance with all the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
34. ENCROACHMENT PERMIT: All work in the public right-of-way will require a Construction Encroachment Permit. All work over \$5,000 will require construction security. It is the responsibility of the Owner/Applicant to obtain any necessary encroachment permits from affected agencies and private parties, including but not limited to, Pacific Gas and Electric (PG&E), AT&T, Comcast, Santa Clara Valley Water District, California Department of Transportation (Caltrans). Copies of any approvals or permits must be submitted to the

Town Engineering Division of the Parks and Public Works Department prior to releasing any permit.

35. GENERAL LIABILITY INSURANCE: The property owner shall provide proof of insurance to the Town on a yearly basis. In addition to general coverage, the policy must cover all elements encroaching into the Town's right-of-way.
36. PUBLIC WORKS INSPECTIONS: The Owner, Applicant and/or Developer or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of any work that occurred without inspection.
37. RESTORATION OF PUBLIC IMPROVEMENTS: The Owner and/or Applicant or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner and/or Applicant or their representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be completed before the issuance of a certificate of occupancy. The Owner and/or Applicant or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
38. SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.
39. STREET CLOSURE: Any proposed blockage or partial closure of the street requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
40. INSPECTION FEES: Inspection fees shall be deposited with the Town prior to the issuance of any building permits.
41. DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner and/or Applicant's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
42. PLANS AND STUDIES: Any studies imposed by the Planning Commission or Town Council shall be funded by the Owner and/or Applicant.
43. DRIVEWAY: The driveway conform to existing pavement on Shannon Road shall be constructed in a manner such that the existing drainage patterns will not be obstructed.
44. DRAINAGE IMPROVEMENT: Prior to the issuance of any building permits, the Owner and/or Applicant shall: a) design provisions for surface drainage; and b) design all necessary storm drain facilities extending to a satisfactory point of disposal for the proper control and

disposal of storm runoff; and c) provide a recorded copy of any required easements to the Town.

45. PRECONSTRUCTION MEETING: Prior to the commencement of any site work, the general contractor shall:
 - a. Along with the Owner and/or Applicant, attend a pre-construction meeting with the Town Engineer to discuss the project conditions of approval, working hours, site maintenance and other construction matters;
 - b. Acknowledge in writing that they have read and understand the project conditions of approval and will make certain that all project sub-contractors have read and understand them as well prior to commencing any work, and that a copy of the project conditions of approval will be posted on-site at all times during construction.
46. WATER METER: The existing water meter, currently located within the Shady View Lane right-of-way, shall be relocated within the property in question, directly behind the public right-of-way line. The Owner and/or Applicant shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
47. SANITARY SEWER CLEANOUT: The existing sanitary sewer cleanout, currently located within the Shady View Lane right-of-way, shall be relocated within the property in question, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town. The Owner and/or Applicant shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
48. PUBLIC IMPROVEMENTS: The following improvements shall be installed by the Owner and/or Applicant. Plans for those improvements shall be prepared by a California registered civil engineer, reviewed and approved by the Town before the issuance of any building permits. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
 - a. Shannon Road: sidewalk; curb and gutter and tie-in paving as required.
 - b. Shady View Lane: Curb and gutter; 2" overlay from the centerline to the eastern lip of gutter, or alternative pavement restoration measure as approved by the Town Engineer.
 - c. Southeastern intersection of Shannon Road and Shady View Lane: curb ramp.
49. CERTIFICATE OF OCCUPANCY: The Engineering Division of the Parks and Public Works Department will not sign off on a Temporary Certificate of Occupancy or a Final Certificate of Occupancy until all required improvements within the Town's right-of-way have been completed and approved by the Town.
50. FRONTAGE IMPROVEMENTS: The Owner and/or Applicant shall be required to improve the project's public frontage (right-of-way line to centerline and/or to limits per the direction of the Town Engineer) to current Town Standards. These improvements may include but not limited to curb, gutter, sidewalk, driveway approach(es), curb ramp, signs, pavement, raised pavement markers, thermoplastic pavement markings, storm drain facilities, etc. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
51. UTILITIES: The Owner and/or Applicant shall install all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications

lines underground, as required by Town Code Section 27.50.015(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television service. The Owner and/or Applicant is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.

52. TRENCHING MORATORIUM (SHANNON ROAD FRONTAGE): Trenching within a newly paved street will be allowed subject to the following requirements:
- a. The Town standard "T" trench detail shall be used.
 - b. A Town-approved colored controlled density backfill shall be used.
 - c. All necessary utility trenches and related pavement cuts shall be consolidated to minimize the impacted area of the roadway.
 - d. The total asphalt thickness shall be a minimum of three (3) inches, meet Town standards, or shall match the existing thickness, whichever is greater. The final lift shall be 1.5-inches of one-half (½) inch medium asphalt. The initial lift(s) shall be of three-quarter (¾) inch medium asphalt.
 - e. The Contractor shall schedule a pre-paving meeting with the Town Engineering Construction Inspector the day the paving is to take place.
 - f. A slurry seal topping may be required by the construction inspector depending their assessment of the quality of the trench paving. If required, the slurry seal shall extend the full width of the street and shall extend five (5) feet beyond the longitudinal limits of trenching. Slurry seal materials shall be approved by the Town Engineering Construction Inspector prior to placement. Black sand may be required in the slurry mix. All existing striping and pavement markings shall be replaced upon completion of slurry seal operations. All pavement restorations shall be completed and approved by the Inspector before occupancy.
53. SIDEWALK IN-LIEU FEE: A curb and sidewalk in-lieu fee of **\$9,600.00** shall be paid prior to issuance of a grading or building permit. This fee is based on 600 square feet of 4.5-foot wide sidewalk at \$16.00 per square foot in accordance with Town policy and the Town's Comprehensive Fee Schedule. The final sidewalk in-lieu fee for this project shall be calculated using the current fee schedule and rate schedule in effect at the time the fee is paid.
54. CURB AND GUTTER REPAIR: The Owner and/or Applicant shall repair and replace to existing Town standards any curb and gutter damaged now or during construction of this project. All new and existing adjacent infrastructure must meet Town standards. New curb and gutter shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of curb and gutter repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
55. DRIVEWAY APPROACH: The Owner and/or Applicant shall install one(1) Town standard residential driveway approach. The new driveway approach shall be constructed per Town Standard Plans and must be completed and accepted by the Town before a Certificate of

Occupancy for any new building can be issued. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore.

56. CURB RAMP: The Owner and/or Applicant shall construct one (1) curb ramp in compliance with ADA Standards which must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore.
57. FENCING: Any fencing proposed within two hundred (200) feet of an intersection shall comply with Town Code Section §23.10.080.
58. SIGHT TRIANGLE AND TRAFFIC VIEW AREA: Any proposed improvements, including but not limiting to trees and hedges, will need to abide by Town Code Sections 23.10.080, 26.10.065, and 29.40.030.
59. CONSTRUCTION VEHICLE PARKING: Construction vehicle parking within the public right-of-way will only be allowed if it does not cause access or safety problems as determined by the Town.
60. HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of a building permit, the Owner and/or Applicant or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include, but is not limited to provisions for the Owner and/or Applicant to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.
61. CONSTRUCTION HOURS: All construction activities, including the delivery of construction materials, labors, heavy equipment, supplies, etc., shall be limited to the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays. The Town may authorize, on a case-by-case basis, alternate construction hours. The Owner and/or Applicant shall provide written notice twenty-four (24) hours in advance of modified construction hours. Approval of this request is at discretion of the Town.
62. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
63. CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any building permits, the Owner and/or Applicant's design consultant shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Project

Schedule, site security fencing, employee parking, construction staging area, materials storage area(s), concrete washout(s) and proposed outhouse location(s). Please refer to the Town's [Construction Management Plan Guidelines](#) document for additional information.

64. SANITARY SEWER BACKWATER VALVE: Drainage piping serving fixtures which have flood level rims less than twelve (12) inches (304.8 mm) above the elevation of the next upstream manhole and/or flushing inlet cover at the public or private sewer system serving such drainage piping shall be protected from backflow of sewage by installing an approved type backwater valve. Fixtures above such elevation shall not discharge through the backwater valve, unless first approved by the Building Official. The Town shall not incur any liability or responsibility for damage resulting from a sewer overflow where the property owner or other person has failed to install a backwater valve as defined in the Uniform Plumbing Code adopted by the Town and maintain such device in a functional operation condition. Evidence of West Sanitation District's decision on whether a backwater device is needed shall be provided prior to the issuance of a building permit.
65. BEST MANAGEMENT PRACTICES (BMPs): The Owner and/or Applicant is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop work orders.
66. SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
 - a. Protect sensitive areas and minimize changes to the natural topography.
 - b. Minimize impervious surface areas.
 - c. Direct roof downspouts to vegetated areas.
 - d. Use porous or pervious pavement surfaces on the driveway, at a minimum.
 - e. Use landscaping to treat stormwater.
67. EROSION CONTROL: Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks and Public Works Department. A maximum of two (2) weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets, Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The Town of Los Gatos Engineering Division of the Parks and Public Works Department and the Building Department will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.
68. DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and

by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty (20) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.

69. AIR QUALITY: To limit the project's construction-related dust and criteria pollutant emissions, the following the Bay Area Air Quality Management District (BAAQMD)-recommended basic construction measures shall be included in the project's grading plan, building plans, and contract specifications:
- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day, or otherwise kept dust-free.
 - b. All haul trucks designated for removal of excavated soil and demolition debris from site shall be staged off-site until materials are ready for immediate loading and removal from site.
 - c. All haul trucks transporting soil, sand, debris, or other loose material off-site shall be covered.
 - d. As practicable, all haul trucks and other large construction equipment shall be staged in areas away from the adjacent residential homes.
 - e. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day, or as deemed appropriate by Town Engineer. The use of dry power sweeping is prohibited. An on-site track-out control device is also recommended to minimize mud and dirt-track-out onto adjacent public roads.
 - f. All vehicle speeds on unpaved surfaces shall be limited to fifteen (15) miles per hour.
 - g. All driveways and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
 - h. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within forty-eight (48) hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations.
 - i. All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed twenty (20) miles per hour.

- j. Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established.
- 70. CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
- 71. SITE DRAINAGE: Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed. On-site drainage systems for all projects shall include one of the alternatives included in section C.3.i of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. If stormwater treatment facilities are to be used they shall be placed a minimum of ten (10) feet from the right-of-way. Alternatively, the facility(ies) may be located with an offset between 5 and 10 feet from the adjacent right-of-way line(s) if the responsible engineer in charge provides a stamped and signed letter that addresses infiltration and states how facilities, improvements and infrastructure within the Town's right-of-way (driveway approach, curb and gutter, etc.) will not be adversely affected. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property.
- 72. SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
- 73. GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner and/or Applicant's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Owner and/or Applicant's expense.
- 74. COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

- 75. Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.
- 76. FIRE SPRINKLERS REQUIRED: Fire sprinklers required to be installed in both the single family home and the secondary dwelling unit. An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that

increase the building area to more than 3,600 square feet. EXCEPTION: A one-time addition to an existing building that does not total more than 1,000 square feet of building area. Note: The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or update of the existing water service is required. A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CRC Sec. 313.2 as adopted and amended by LGTC.

77. WATER SUPPLY REQUIREMENTS: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2016 CFC Sec. 903.3.5 and Health and Safety Code 13114.7
78. CONSTRUCTION SITE FIRE SAFETY: All construction sites must comply with applicable provisions of the CFC Chapter 33 and Santa Clara County Fire Department Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Ch. 33.
79. ADDRESS IDENTIFICATION: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.

16336 Shady View Ln. - PROJECT DATA

	EXISTING CONDITIONS	PROPOSED PROJECT	REQUIRED/ PERMITTED
Zoning district	R-1:8	R-1:8	-
Land use	Residential	Residential	-
General Plan Designation	Low density residential	Low density residential	-
Lot size (sq. ft.)	8,610 SF	8,610 SF	8,000 SF minimum
• gross lot area	8,610 SF	8,610 SF	
Exterior materials:			
• siding	Wood siding	Stucco	-
• trim	Wood	Wood	-
• windows	Vinyl	Wood	-
• roofing	Composite	Class "A" Spanish Tile	-
Building floor area:			
• first floor	1,056 SF	1,425 SF	-
• second floor	N/A	1,273 SF	-
• garage	N/A	422.81 SF	-
• cellar	N/A	N/A	-
Setbacks (ft.):			
• front	37 feet	25 feet	25 feet minimum
• rear	15 feet	20 feet	20 feet minimum
• side / street	8 feet / 29 feet	8 feet / 15 feet (street)	8 feet / 15 feet minimum
Average slope (%)			-
Maximum height (ft.)	15 feet	28 feet 7 inches	30 feet maximum
Building coverage (%)	12.3 %	26.8 %	40 %

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 TOWN OF LOS GATOS
 PLANNING DIVISION

Impervious coverage (%)	12.3 %	32.4 %	no maximum
Parking			
• garage spaces	N/A	2	
• uncovered spaces	N/A	N/A	
Sewer or septic	Sewer	Sewer	

Planning Department
Town of Los Gatos
110 E Main St.
Los Gatos, CA 95031



Project Name: Coulson Residence
Project Address: 16336 Shady View Lane.
Date: 11/21/18
Description of Project, Letter of demolition justification and structure condition report.

To Whom It May Concern,

The existing 1-story, non-sprinklered residence located at 16336 Shady View Lane is a ranch style home of wood and stucco siding, and composite roof over conventional raised floor spread footing foundation. The home was built in 1952 to building codes of the time. The structure is of reasonable condition with no signs of major structural failure and does not pose any significant risk to person or property.

Although the existing home is in good condition, it lacks the benefits of recent building codes such as seismic improvements and energy savings. We are proposing to build a new 2-story Spanish style home with 2 car garage and pool at the rear yard. The new home will be constructed in compliance with current codes using modern methods and materials and will be fully sprinklered. Further, the new home will make more efficient use of the site and will be aesthetically compatible with the Town guidelines and immediate neighborhood. Landscape and site work design will utilize materials and methods consistent with current green building measures and be compatible with the site and surrounding neighborhood.

We feel that the new home will be a wonderful addition to the neighborhood.

Please don't hesitate to contact me with any questions or concerns.

Regards,
Lerika Liscano
De Mattei Construction
415-559-1081

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SEP 05 2019

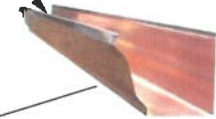
TOWN OF LOS GATOS
PLANNING DIVISION

SPANISH COLONIAL
TILES ROOFING.

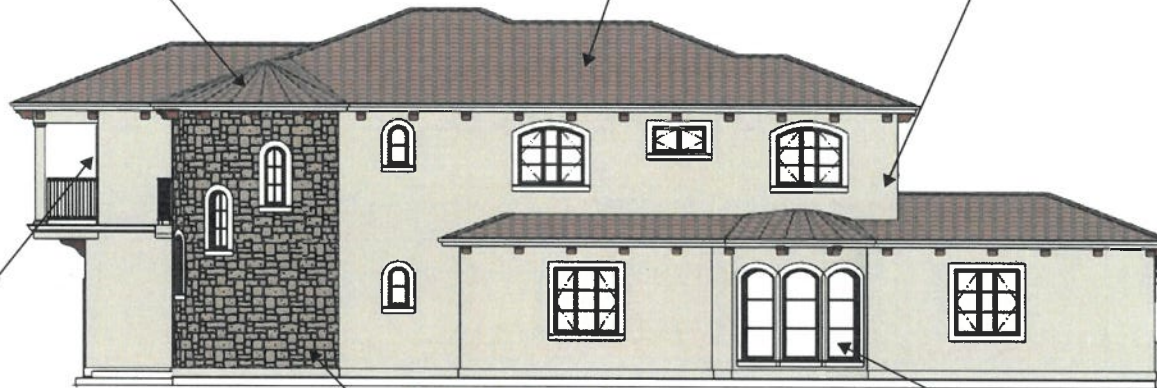


EXTERIOR STUCCO
WALLS.

COPPER 'OGEE' GUTTER



EXTERIOR WOODEN
DOOR.



STACKED STONE



EXTERIOR WOODEN
WINDOW.

COULSON RESIDENCE – MATERIALS AND COLORS BOARD
16336 SHADY VIEW LANE. LOS GATOS.

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February 8, 2019

Mr. Azhar Kahn
Community Development Department
Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95031

RE: 16336 Shady View Lane

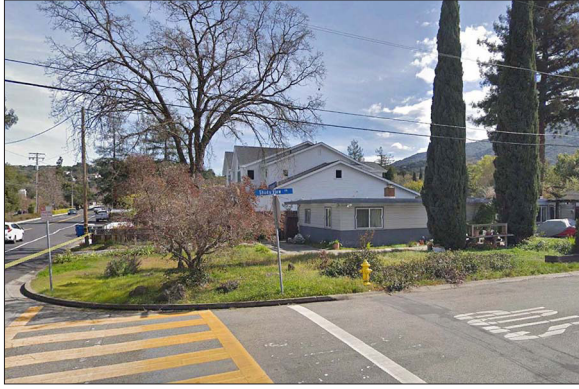
Dear Azhar:

I reviewed the drawings and evaluated the site context. I am familiar with the site by virtue of reviewing the new house immediately adjacent to this parcel on Shannon Road. My comments and recommendations are as follows:

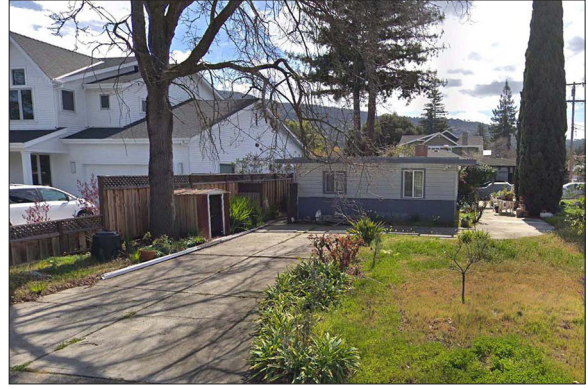
Neighborhood Context

The site is in a neighborhood which has seen many newer one and two-story homes constructed within the fabric of largely one-story older homes. The architectural styles of the neighborhood are eclectic, but all are traditional in form and architectural style. Photographs of the site and surrounding neighborhood context are shown on the following page.





The Site



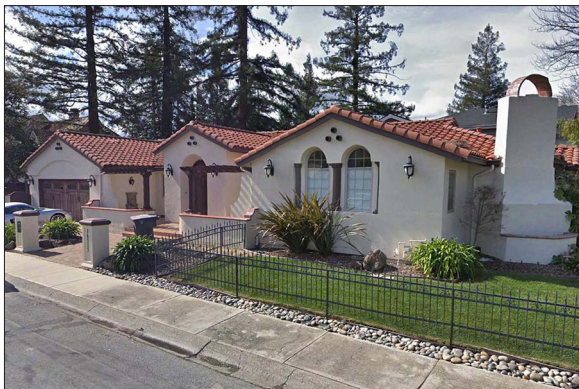
The Site: Shannon Road Frontage



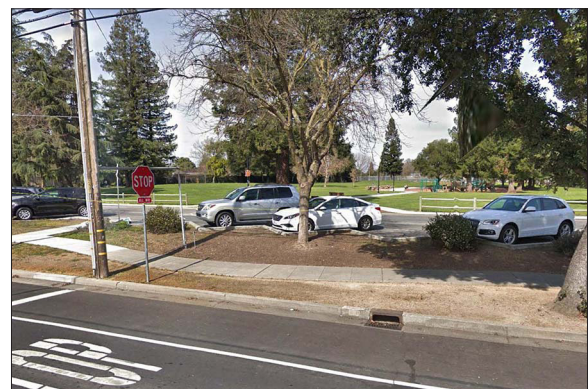
House to the immediate left on Shannon Road



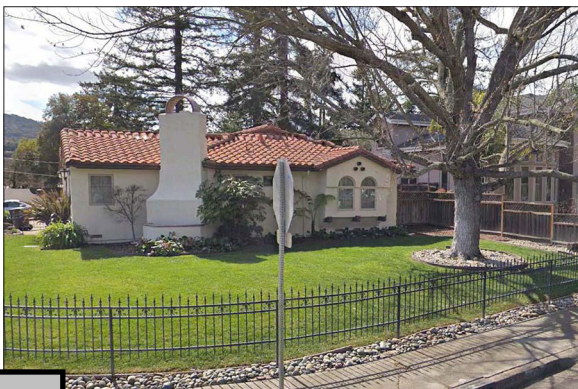
House to the immediate Right on Shady View Lane



House immediately Across Shady View Lane



Park immediately Across Shannon Road



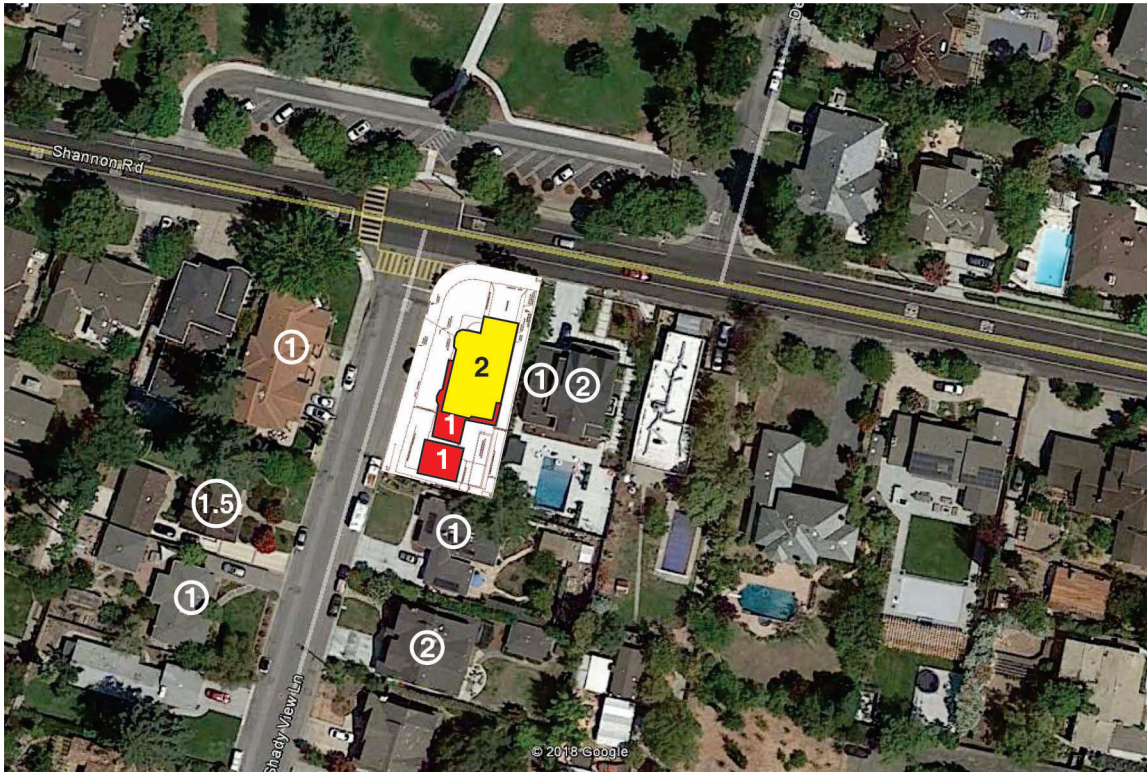
*House immediately Across Shady View Lane
(Shannon Road Frontage)*



Nearby house to the right on Shady View Lane

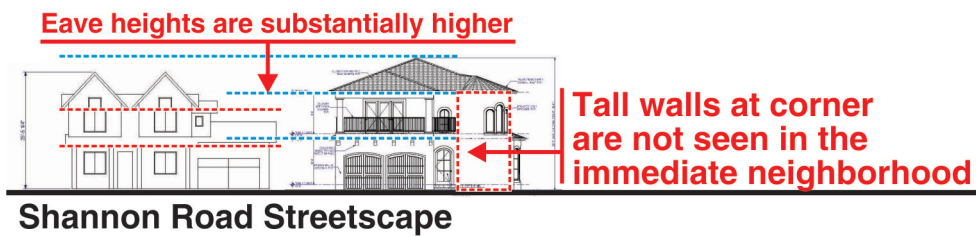
Issues and Concerns

The proposed house is located on a corner parcel, and is largely two-stories in height - see illustration below.



The home is well designed in a Spanish Revival Style. I believe the main issue is the height and mass of the structure - especially at the corner of Shady View Lane and Shannon Road. It should be noted that there are different context conditions on each side of this parcel. Two specific issues are of note:

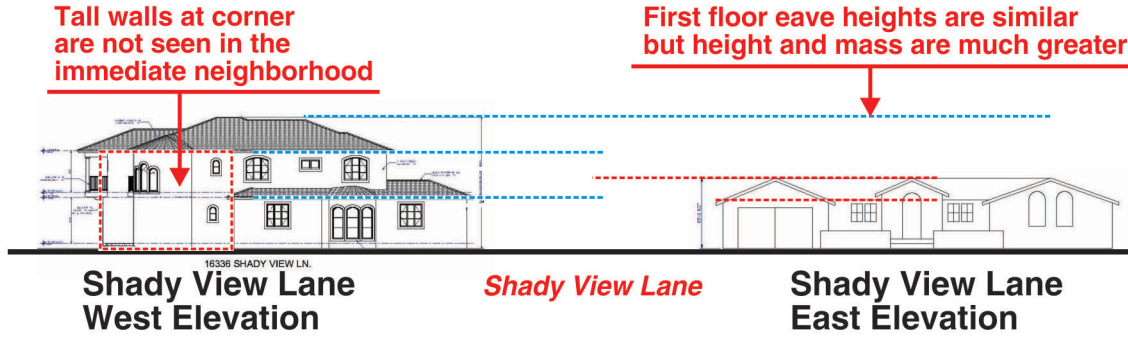
1. The eave and roof ridge heights are substantially taller than most homes in the immediate neighborhood.
2. The tall corner wall at the Shady View Lane and Shannon Road corner would be in substantial contrast to the strong first floor roof eave emphasis of homes in the immediate neighborhood.



Shannon Road Streetscape

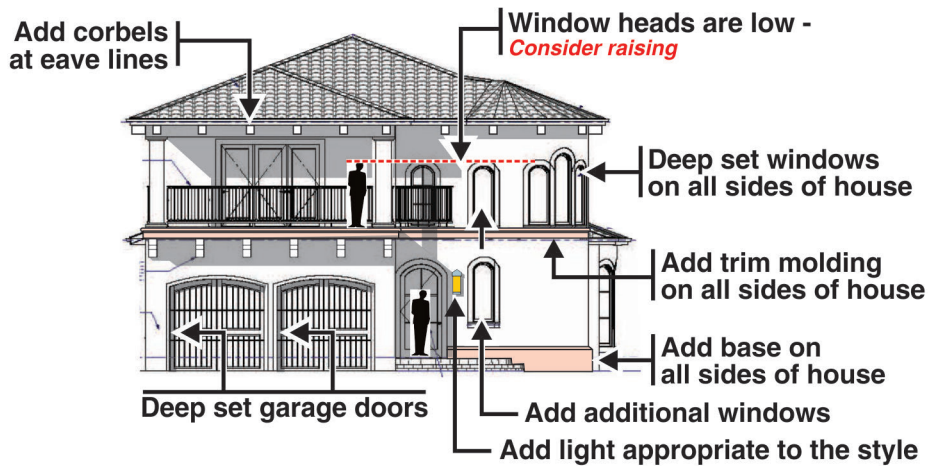


Shady View Lane Streetscape



Recommendations

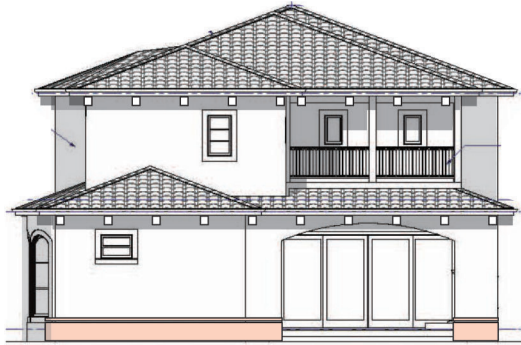
1. The tall corner facades with substantial blank wall area compared to the window areas could be redesigned to replace the round tower form with perpendicular wall planes, and a first floor eave and roof section carried around to both the north and west facades. However, the round stair tower is a common feature of this architectural style. Overall, the proposed design, while correct in general form, is short of the architectural details normally associated with the style. My recommendation would be to enhance the architectural details which would serve to mitigate the situation and divert attention away from the tall walls. These details could include the following:
 - Additional windows at the corner on both the north and west facades.
Note: Second floor arched window heads appear to be lower than eye level, and consideration should be given to raising them.
 - Decorative wood corbels at eave lines.
 - Trim molding on all sides of the house at the second floor line.
 - Deep set garage doors and all windows on all facades - see example photo below.
 - Projecting stucco base on all sides of the house.
 - Add a decorative carriage light consistent with the architectural style at the entry door.
 - Make the second floor columns on the north balcony square. They are now shown with a wide face on Shannon Road and a narrower face on Shady View Lane



Recommended Shannon Road Elevation



Recommended Shady View Lane Elevation



Recommended South Elevation



Recommended East Elevation

Azhar, please let me know if you have any questions or if there are issues that I did not address.

Sincerely,
CANNON DESIGN GROUP

Larry L. Cannon

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Ryan Safty

From: Larry Cannon <cdgplan@pacbell.net>
Sent: Thursday, September 26, 2019 5:57 PM
To: Ryan Safty
Subject: 16336 Shady View Lane Review Letter Addendum

Follow Up Flag: Follow up
Flag Status: Flagged

RECEIVED

SEP 26 2019

TOWN OF LOS GATOS
PLANNING DIVISION

Ryan
RE: Review letter dated February 8, 2019

My review letter for this project identified a concern that the project's proposed second floor eave height would be substantially higher than that of the adjacent home at 16330 Shannon Road. I later received a revised drawing sheet A6.3, noted as "*Planning Set 7/9/2019*", which showed the adjacent home's height corrected to its actual height which is 29 feet - over three and a half feet taller than shown on the previous drawing used for the review. That review letter comment is therefore no longer applicable since the maximum roof height for new proposed new home at 16336 Shady View Lane height is 28'-7" which is is comparable to the adjacent existing home.

Larry

Larry Cannon

*CANNON DESIGN GROUP
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**Assessment of Five (5) Regulated-Size Trees #51 Through #55
At and Adjacent to
16336 Shady View Lane
Los Gatos, California**

Prepared for:
Mr. Azhar Khan, Assistant Planner
Town of Los Gatos Community Development Department

Field Visit:
Walter Levison, Contract Town Arborist (CTA)
1/29/2019

Report by (CTA)
1/31/2019

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1.0 Summary

- a. Below is a matrix style overview of the tree situation at the site, summarizing tree disposition and the suggested maintenance and protection items that should be performed or installed to optimize survival of both on-site trees and neighbor-owned trees that the CTA expects to be retained during and after proposed construction.

Appraised values of the trees, which can be used as a tool for determining the proper security bond amount to have the applicant post with the Town as a hedge against site plan-related tree damages (if applicable), are noted in detail in the attached appraisal worksheet at the end of this report.

Note: Only trees on this property, and neighbor-owned trees within roughly 10 horizontal feet of the existing property line fences, are included in this initial tree study.

Note also that this initial study is based on a rough site plan sheet that does not include grading daylights, drainage pipe trenching routes, utility trenching routes, irrigation and landscape activity proposed, etc. Therefore, additional analysis of negative impacts to trees from proposed new work will likely need to be performed by WLCA and written up as part of a revision of this initial arborist report, prior to start of the proposed new site work.

Table 1.0(a) (REFER TO THE WLCATREE MAP MARKUP WHEN REVIEWING THIS MATRIX)

Tree Tag Number	Common Name	Special Protection as a Los Gatos "Large Protected Tree" (LPT)?	Conflicts with Current Proposed Plans & Suggested Plan Adjustments to Reduce Those Conflicts	Appraised Value Per Separate Worksheet by the CTA	Replacement Rate Per Canopy Lost	Replacement Size Tree
51	Italian cypress	No	(To be removed)	\$8,900.	2 (\$500.)	24" box
52	Italian cypress	No	(To be removed)	\$8,900.	2 (\$500.)	24" box
53	California valley oak	Yes	<p>a. Proposed joint trench will cut through root system within the Critical Root Zone (CRZ) area. Suggest relocate trench to at least 20 or 25 feet offset from trunk.</p> <p>b. Proposed storm drain trench and drain box will cut through south side of root system within the Critical Root Zone (CRZ) area. Suggest eliminate trenching in this area, and go with a shallow hand-graded earth swale to convey stormwater overland to a point near the street where a drain</p>	\$28,500.	6 (\$1,500.)	24" box

Tree Tag Number	Common Name	Special Protection as a Los Gatos "Large Protected Tree" (LPT)?	Conflicts with Current Proposed Plans & Suggested Plan Adjustments to Reduce Those Conflicts	Appraised Value Per Separate Worksheet by the CTA	Replacement Rate Per Canopy Lost	Replacement Size Tree
			<p>can be installed as necessary to comply with any public works stormwater requirements.</p> <p>c. Proposed storm drain trench west of trunk cuts through the Critical Root Zone (CRZ) area that is beneath the existing older driveway. Suggest relocate or eliminate this trench, since the storm drain box inlet will be eliminated from the area south of the trunk of oak #53 anyway.</p> <p>d. Proposed new driveway excavation if built as per normal construction standards will destroy the west side of the oak #53 root system within the Critical Root Zone (CRZ) area. Suggest eliminate subbase overexcavation and eliminate subbase recompaction through use of a Tensar TriAx triaxial geogrid underlayment pinned down over the older baserock or the older soil surface, which will allow the new driveway to be built up over the soil without any excavation below existing soil grade elevations whatsoever (see digital images of Walter Levison's Stanford University parking lot project from summer 2018 below in this report for a real-world example of this type of installation).</p> <p>e. Proposed new garage foundation work, if built using a standard slab on grade and a perimeter grade beam, which is typically cut down to 18 inches or more below soil surface grade, will destroy the oak #53 root system at roughly 10 to 12 feet south of trunk edge. The CTA suggests requiring a condition of project approval that states that the specification for the new garage perimeter grade beam be floated over existing soil surface elevations, with a maximum of 4 inches of total cut below grade for the bottom edge of the beam.</p>			

Tree Tag Number	Common Name	Special Protection as a Los Gatos "Large Protected Tree" (LPT)?	Conflicts with Current Proposed Plans & Suggested Plan Adjustments to Reduce Those Conflicts	Appraised Value Per Separate Worksheet by the CTA	Replacement Rate Per Canopy Lost	Replacement Size Tree
54	Coast redwood (Neighbor tree)	Yes	<p>This is by far the most valuable tree noted in this tree study, though it is located off-site on a neighbor property, with two mainstems located just east of the southeast corner of the 16336 Shady View Lane property (see the CTA's tree map attached to the end of this report).</p> <p>a. The swimming pool that is assumedly proposed as a separate "future" permit application, and an associated "pool house" which appears to be an accessory dwelling unit (ADU), are shown on the applicant's plans in the south portion of the site. Even if the pool is to be a separate future entitlement application, the excavation of this area of the site may cause severe damage to the root system of redwood #54, which is assumed to be growing laterally westward beneath the existing older southmost residence foundation footing at 16336 Shady View Lane proposed to be demolished. Many of these older foundations were built in a substandard manner, and allow for tree roots to grow beneath the footing.¹</p> <p>The CTA suggests that Staff require a condition of approval that the proposed pool be eliminated or relocated to an area outside of the Critical Root Zone (CRZ) which spans roughly 23 to 25 feet west radius from the trunks of redwood #55. If the pool is not eliminated from this area, the tree may decline or die as a result of root loss (assuming that the tree's root system consisting of very small, small, and larger diameter fibrous and woody roots does continue throughout the area underneath the existing southmost residence foundation</p>	\$62,600.	6 (\$1,500.)	24" box

¹ I am currently dealing with a very similar situation at a Walter Levison project in Berkeley, where very large diameter coast redwood roots are growing horizontally through the entire basement area of a 100 year old residence. The roots plunged underneath the perimeter beam footing, and then grew upward in the soil profile, continuing horizontal growth for roughly 30 or 40 feet of extension distance beyond the foundation footing, essentially coursing through the entire footprint of the residence. This is the 6th or 7th instance that I have documented this occurrence with older residence footings and coast redwood specimens during my 20 years as a professional consulting arborist in the

Tree Tag Number	Common Name	Special Protection as a Los Gatos "Large Protected Tree" (LPT)?	Conflicts with Current Proposed Plans & Suggested Plan Adjustments to Reduce Those Conflicts	Appraised Value Per Separate Worksheet by the CTA	Replacement Rate Per Canopy Lost	Replacement Size Tree
			<p>footprint at 16336 Shady View Lane). One option for the applicant would be to relocate the pool westward such that it would lay in a position outside of (i.e. west of) the CTA's indicated magenta highlighted Critical Root Zone (CRZ) area. This would bring the pool closer to the proposed residence footprint, abutted up to the southeast corner of the new residence. The associated "pool house" (second dwelling unit?) would then assumedly have to be reduced in square footage or pushed westward from its current proposed position to allow the pool footprint to itself be pushed westward to outside of the redwood tree CRZ.</p> <p>Note that the CTA has included a red dashed line on the tree map attached to this report, which indicates a "post-demolition fencing route" where chain link fencing will need to be installed immediately after demolition of the existing residence, in order to preserve and protect the root system of redwood #55 assumed to be present underneath the older foundation.</p>			
55	Purple smoke tree (Town right of way tree)	No	<p>No apparent conflicts. Protect with chain link fencing (RPZ) as shown on the CTA's tree map markup attached to this report, and periodically irrigate the tree with garden hose water 1x/week.</p> <p>Note that this tree was not shown on the applicant's plans. If the applicant wishes to propose removal of this Town-owned tree, then Staff will need to approve the removal, and mitigate accordingly per the boxes at the right in this column.</p>	\$3,680.	3 (\$750.)	24" box

2018-19 Town of Los Gatos In-lieu fee equivalent = \$250 per each required 24" box mitigation tree planting not installed on the site.

1.0(b) Bulleted summary of tree disposition and tree issues, based on the initial grading and drainage plan sheet C-2 dated 12/2/2018 by NNR Engineering of San Jose, California:

1. TREE IMPACTS AND SUGGESTED AMENDMENTS TO THE PROPOSED PLANS AS DESCRIBED ABOVE IN TABLE 1.0(A):

A. Oak #53:

- 1.1. Proposed joint trench within critical root zone (CRZ). Need to relocate to 20 or 25 feet offset from trunk.
- 1.2. Proposed storm drain and associated drain inlet/box south of trunk within critical root zone (CRZ). Need to relocate or eliminate, and use shallow hand graded swale to convey water toward street.
- 1.3. Proposed storm drain west of trunk within critical root zone (CRZ). It appears that this drain may also convey roof downspout drainage water, though this would have to be verified by the applicant. Need to relocate this entire trench to at least 20 or 25 feet offset radius from the trunk of oak #53.
- 1.4. Proposed new driveway is within the critical root zone (CRZ). Suggest use alternative methods and materials, such as installation of a Tensar TriAx triaxial geogrid pinned down over the soil surface or old baserock surface as an underlayment to allow the new baserock and new concrete to be placed over grade as a floating system, thereby avoiding excavation. Geogrids allow for elimination of any subbase excavation or subbase recompaction. They also allow for up to a 50% thinning of the new base section thickness per Tensar Corp's technical documents online.
- 1.5. Proposed new garage will be built slightly within the critical root zone, and will destroy half of the existing southward root system (Current existing residence is over 20 feet south of trunk. Proposed new garage will be 10 or 11 feet south of trunk). Suggest use an alternative specification for the garage foundation work, such as "slab floating over grade with maximum 4 inches of total cut below existing grade elevation, and total max. cut of 4 inches below existing grade elevation for any proposed perimeter grade beam (if a grade beam required)".
- 1.6. Proposed work may require pruning to achieve 14 feet of airspace clearance over the new driveway. If airspace clearance pruning is required, then retain an ISA Certified Arborist to perform removal of one (1) 7 inch diameter limb at the point of attachment on the main stem at 15 feet above grade, to remove the entire limb which currently extends westward over the driveway and hangs down to just a few feet above grade (see photos in below in this report).

B. Redwood #54:

- 1.1. Proposed demolition of the existing southmost residence may cause damage to existing fine fibrous roots and larger diameter woody roots extending westward from neighbor redwood #54 valued at over \$60,000, within the critical root zone (CRZ) of this tree. The CTA suggests that a chain link post-demolition fence be immediately erected around the zone shown in magenta highlight on the CTA's tree map attached to this report, in order to protect the roots assumed to be growing horizontally westward underneath the existing residence foundation in this area. It is also suggested that this area be maintained as a "heavy irrigation" zone with once-weekly water applied to the area by garden hose or other means to maintain soil moisture within the critical root zone.

- 1.2. Proposed swimming pool work, shown as a “future” entitlement application on the grading and drainage plan sheet, would require deep excavation through the critical root zone (CRZ). The CTA suggests that the proposed swimming pool be relocated to an area west of the CRZ as shown in magenta colored highlight on the tree map attached to this arborist report, or eliminated and disallowed for this site. This may require that the proposed “pool house” (is this an accessory dwelling unit (ADU)?) be redesigned such that it is placed further westward than currently proposed on the applicant’s plans, in order to allow for the relocation of the proposed new swimming pool west of the redwood #54 critical root zone.

C. Smoke tree #55:

This is a Town-owned street tree specimen of small stature, and can be retained as-is if chain link RPZ fencing is erected around the canopy dripline as shown on the CTA’s tree map attached to this arborist report, and once-weekly irrigation water applied to the root zone.

It is not known if the applicant had planned on retaining the tree or removing it, since it was omitted from the survey and not shown on any of the proposed plan sheets. For the purposes of this report, the CTA assumes the tree is to remain.

2. TREE REMOVALS :

Cypress trees #51 and #52, valued at a total of \$17,800, are proposed by the applicant to be removed.

Per Town policy, the required mitigation for these removals is per canopy replacement value which totals 4 X \$250 = **\$1,000**, which is only 5% of the actual value of the trees. Alternatively, staff could require installation of four (4) 24” box size trees of (species and locations to be determined) on the proposed construction site.

If **Town-owned smoke tree #55** is also to be removed, then this would require an additional mitigation payment of **\$750** (3 X \$250) canopy replacement fee by the applicant. Staff should verify with the applicant whether they had planned to remove this tree from the landscape.

3. LANDSCAPE AND IRRIGATION

Landscape plans and irrigation plans were not available in the submittal set of plans for the author’s review. Therefore, irrigation pipe trenching and tree planting locations (if any) will need to be reviewed by Town planning Staff prior to final approval of the plans, to **ensure that PVC pipe trench alignments are kept to at least 20 or 25 radial distance offset from the trunks of oak #53 and redwood #54.**

4. APPRAISAL:

The total value of the three (3) trees #53, 54, and #55 being protected and retained at and adjacent to this site is **\$94,780** as determined by the CTA and shown in the above table. See the table above for the appraised dollar value of each individual tree specimen based on the new Guide for Plant Appraisal 10th edition (2018). Also note that per this new edition of the Guide, a newly revised overall condition rating table applies (the new table is included in this report below the tree data table).

5. SECURITY BONDING:

The new 2015 iteration of the Town tree ordinance section 29.10.1000 (c)3 includes wordage that requires that all trees being retained on a development site need to be appraised for dollar value at the applicant's expense prior to building or grading permits being issued by the Town. Part 'f' of this same tree ordinance section states that the Town may condition a security bond prior to issuance of a permit, in the sum of \$5,000 per each tree being preserved, or \$25,000, whichever is less. There are three (3) trees being preserved.

It would be reasonable, based on the actual appraised values of trees being retained at this site, for the Town to condition the project approval upon posting of a security bond in the amount of **\$15,000**, to ensure that the trees being retained and protected (oak #53, redwood #54, smoke tree #55) actually survive the construction process and maintain their pre-project condition ratings into the future. Note that the actual value of these three trees is \$94,780, and that a bond of \$15,000 would constitute only 16% of the appraised value of the trees: a very reasonable security bond amount.

2.0 Assignment & Background

Walter Levison, Consulting Arborist (the Los Gatos CTA) was directed to tag and assess all Protected-Size (4-inch diameter and greater) trees in relatively close proximity to the proposed site plan project.

The trees that were accessible were affixed with numeric tags at approximately eye level.

The CTA summarized the tree situation from a long-term site manager's perspective, both in table form and in written form above, in section 1 of the report. This may be most important section of the report, as it provides a quick but very detailed summary of existing tree conditions and suggested protection and maintenance items in both table form and written form for use by City Staff and the project development team.

Specific recommendations for tree maintenance and protection are outlined below in section 4.0, and are based directly on the suggested protection and maintenance items noted in section 1.

Digital images of the trees archived by WLCA are included below in this report for reference of existing pre-project conditions as report section 10. Images are in order of tree tag number.

The tree data table with detailed tree information makes up section 11.0 of this report. The CTA used a forester's D-tape to determine trunk diameter at 4.5 feet above grade, or at a narrow point below a mainstem fork if the fork occurs at 4.5 feet above grade. The D-tape converts actual trunk circumference into diameter in inches and tenths of inches. Tree heights were determined using a digital Nikon Forestry Pro 550 rangefinder and hypsometer. Tree canopy spreads were visually estimated or paced out by foot.

Tree tag numbers are noted on the CTA tree map markup attached to the end of this written report as section 12. The base sheet used for creation of this markup is the applicant's grading and drainage plan sheet C-2 dated 12/2/2018 by NNR Engineering of San Jose, California. The sheet includes black clouding for canopy driplines, red dashed lines indicating preferred chain link root protection zone fence routing, magenta highlighting indicating rough "critical root zone" areas which should be maintained as "no dig" zones where trenching and excavation should be eliminated, and various typed notes.

The appraisal worksheet, also attached to the end of this report, is referenced as report section 13, and is a special Town of Los Gatos requirement that determines the dollar value of each tree. The CTA used the new 2018 10th edition of *Guide for Plant Appraisal* to determine these values, based on the new “trunk formula technique” (TFT) that has been in use for less than one year.

3.0 Town of Los Gatos – What Trees are Protected?

Per the most recent (2015) iteration of the Town of Los Gatos tree ordinance (Town Code Chapter 29 – Zoning Regulations, Article 1), the following regulations apply to all trees within the Town’s jurisdiction (wordage adjusted):

1. All trees with at least a single mainstem measuring four (4) inches diameter or greater at 4.5 feet above grade are considered “**Protected Trees**” when removal relates to any development review.
2. 12 inch diameter (18 inch multistem total) trees on developed residential property not currently subject to development review.
3. 8 inch diameter (8 inch multistem total) blue oak (*Quercus douglasii*), black oak (*Quercus kellogii*), California buckeye (*Aesculus californica*), and Pacific madrone (*Arbutus menziesii*) on developed residential lots not currently subject to development review.
4. 8 inch diameter (8 inch multistem total) trees on developed residential property not currently subject to development review, on lots in the designated **Hillside Area** per the official Town map.
5. All trees with a single mainstem or sum of multiple mainstems totaling 48 inches diameter or greater at 4.5 feet above grade are considered “**Large Protected Trees**” (LPT).
6. All oak species (*Quercus spp.*), California buckeye (*Aesculus californica*), and Pacific madrone (*Arbutus menziesii*) with one or more mainstems totaling 24 inches diameter or more at 4.5 feet above grade are considered “**Large Protected Trees**” (LPT).
7. Section 29.10.0965. Prohibitions: A **permit** is required to prune, trim, cut off, or perform any work, on a single occasion or cumulatively, over a three-year period, affecting 25% or more of any **Protected Tree** (including below ground root system).
8. Section 29.10.0965. Prohibitions: A **permit** is required to prune, trim, or cut any branch or root greater than four (4) inches in diameter of a **Large Protected Tree**.
9. Section 29.10.0965. Prohibitions: A permit is required to conduct severe pruning on any protected tree. Severe pruning is defined in section 29.10.0955 as “topping or removal of foliage or significant scaffold limbs or large diameter branches so as to cause permanent damage and/or disfigurement of a tree, and/or which does not meet specific pruning goals and objectives as set forth in the current version of the International Society of Arboriculture Best Management Practices-Tree Pruning and ANSI A300-Part 1 Tree, Shrub, and Other Woody Plant Management-Standard Practices, (Pruning).”
10. Exceptions:

Severe Pruning Exception in Town Code section 29.10.1010(3) “.....except for pollarding of fruitless mulberry (*Morus alba*) or other species approved by the Town Arborist....”.

Protected Tree Exceptions:

- a. Edible fruit or nut bearing trees less than 18 inches diameter (multistem total or single stem)
- b. *Acacia melanoxylon* (blackwood acacia) less than 24 inches (multistem total or single stem)
- c. *Liriodendron tulipifera* (tulip tree) less than 24 inches (multistem total or single stem)
- d. *Ailanthus altissima* (tree of heaven) less than 24 inches (multistem total or single stem)
- e. *Eucalyptus globulus* (Tasmanian blue gum) less than 24 inches (multistem total or single stem)
- f. *Eucalyptus camaldulensis* (River red gum) less than 24 inches (multistem total or single stem)
- g. *Other eucalyptus species* (E. spp.) not noted above, less than 24 inches (multistem total or single stem)

(REMOVAL O.K. ONLY AT HILLSIDE AREA LOCATIONS PER OFFICIAL TOWN MAP):

www.losgatosca.gov/documentcenter/view/176

- h. All palm species (except *Phoenix canariensis*) less than 24 inches (multistem total or single stem)
- i. *Ligustrum lucidum* (glossy privet) less than 24 inches (multistem total or single stem)

Note that per the exception in part ‘a’ above, fruiting olive trees with stems totaling less than 18 inches are considered non-protected.

4.0 Recommendations

1. Project Team Pre-Project Adjustments, Clarifications, and Limits Requested (excerpted from this CTA Report Section 1.0(b):

D. Oak #53:

- 1.1. Proposed joint trench is within critical root zone (CRZ) of tree. Need to relocate to 20 or 25 feet offset from trunk edge.
- 1.2. Proposed storm drain and associated drain inlet/box south of trunk within critical root zone (CRZ). Need to relocate or eliminate this drain trench and inlet box, and instead use shallow hand-graded swale to convey water toward street. Build inlet box adjacent to street as necessary to comply with Town Public Works Dept stormwater conveyance requirements.
- 1.3. Proposed storm drain west of trunk within critical root zone (CRZ) of tree. Verify with applicant’s project team whether this drain pipe trench is meant to convey rooftop downspout water. Need to relocate this entire trench to at least 20 or 25 feet offset radius from the trunk of oak #53 by placing it on the opposite side of the proposed new residence.
- 1.4. Proposed new driveway is within the critical root zone (CRZ) of tree. Suggest use alternative methods and materials, such as installation of a Tensor TriAx triaxial geogrid pinned down over the soil surface or old baserock surface as an underlayment to allow the new baserock and new concrete to be placed over grade as a floating system, thereby avoiding excavation. The TriAx geogrid disperses load forces laterally, and thereby allows for elimination of any subbase excavation or subbase recompaction. It also allows for up to a 50% thinning of the new base section thickness per Tensor Corp’s technical documents online. See photos below showing Walter Levison’s Stanford University parking lot and sidewalk TriAx installation in 2018. **NOTE: PHASE DEMOLITION OF THE OLDER DRIVEWAY TO END OF PROJECT.**

This Page:

Tensor TriAx geogrid being pinned down to the soil surface at Stanford University in 2018 (Walter Levison projects).

Above and below images are a parking lot project where \$200,000 worth of large mature oak trees are being preserved throughout the lot by use of the geogrid, and by eliminating subbase work altogether. Also, the curb footing bases were raised up to the elevations of the geogrid so that no

unnecessary excavation would occur.

The photo at far right is a sidewalk project at Stanford where the walkway passes beneath the canopy dripline of a very large and valuable oak specimen that is a key historic element of the landscape.

Baserock is laid directly over the geogrid after it is pinned in place with steel pins (photo at right shows baserock piled over the geogrid).



- 1.5. Proposed new garage will be built slightly within the critical root zone. Suggest use an alternative specification for the garage foundation work, such as "slab floating over grade with maximum 4 inches of total cut below existing grade elevation, and total max. cut of 4 inches below existing grade elevation for any proposed perimeter grade beam.
- 1.6. If 14 feet of airspace clearance over the new driveway is required, then retain an ISA Certified Arborist to perform removal of one (1) 7 inch diameter limb at the point of attachment on the main stem at 15 feet above grade per all of the most current ANSI A300 tree pruning standards, to remove the entire limb which currently extends westward over the driveway and hangs down to just a few feet above grade (see photos in below in this report).

E. Redwood #54:

- 1.1. Proposed demolition of the existing southmost residence may cause damage to existing fine fibrous roots and larger diameter woody roots extending westward from neighbor redwood #54 valued at over \$60,000, within the critical root zone (CRZ) of this tree. The CTA suggests that a chain link post-demolition fence be immediately erected around the zone shown in magenta highlight on the CTA's tree map attached to this report, in order to protect the roots assumed to be growing horizontally westward underneath the existing residence foundation in this area. It is also suggested that this area be maintained as a "heavy irrigation" zone with once-weekly water applied to the area by garden hose or other means to maintain soil moisture within the critical root zone.
- 1.2. Proposed swimming pool work, shown as a "future" entitlement application on the grading and drainage plan sheet, would require deep excavation through the critical root zone (CRZ). The CTA suggests that the proposed swimming pool be relocated to an area west of the CRZ as shown in magenta colored highlight on the tree map attached to this arborist report, or eliminated and disallowed for this site. This may require that the proposed "pool house" (is this an ADU second dwelling unit (ADU)?) be redesigned such that it is placed further westward than currently proposed on the applicant's plans, in order to allow for the relocation of the proposed new swimming pool west of the redwood #54 critical root zone.

F. Smoke tree #55 (if retained):

Erect chain link RPZ fencing around the canopy dripline as shown on the CTA's tree map attached to this arborist report, and apply once-weekly irrigation water to the entire protected root zone area within the chain link fence perimeter.

2. Pruning:

All pruning work on trees at this project will need to be performed directly by or under full-time direct site supervision of an ISA Certified Arborist.

All pruning shall conform to the most current iteration (2017) of ANSI-A300 *tree, shrub, and other woody plant maintenance / pruning* and the Best Management Practices companion pamphlet to the ANSI-A300 pruning standards, published by International Society of Arboriculture.

3. New Irrigation Piping and Landscape Plantings:

For irrigation piping that needs to be placed within 25 linear feet of oak #53 or redwood #54, use a flexible UV-resistant pipe of commercial grade, such as the following very thick-walled flexible UV-resistant PVC piping, which can be placed directly over-grade, or shallow-buried at 0 to 2 inches maximum depth below surface soil grade. Images of these components are shown below on page 17 of this report. The construction of this brand of piping is far superior to anything else available on the market in the United States, as the thickness of the tubing wall is at least 3x to 4x thickness of standard flex irrigation tubing, and is therefore highly resistant to animal chewing and other “vandalism” type damages that occur with surface-installed tubing. Available for purchase only at Site One Landscape Supply in San Jose, CA within easy driving distance of Los Gatos.

Suggested Best Management Practice (BMP) Irrigation System Components:

- Salco brand flexible PVC. UV-resistant and algae-resistant. **Salco model #PVC-AR-050IPS.** “1/2 inch” diameter (see photo below for example of how the system is constructed).
- White PVC ½ diameter” tubing couplings.
- “1 gallon per minute” or “2 gallon per minute” very high-flow rate adjustable flood bubblers (e.g. TORO brand, etc.).

SiteOne Landscape Supply

[Website](#) [Directions](#) [Save](#)

4.6 ★★★★★ 21 Google reviews
Landscaping supply store

Address: 1145 N 13th St, San Jose, CA 95112
Hours: Open · Closes 4:30PM ▾
Phone: (408) 295-3376



2. Trunk Buffer Wrap Type III Protection:

Prior to project commencement, install a trunk buffer around the lowermost 6 to 8 feet of the mainstems of **valley oak #53 and smoke tree #55 being retained in close proximity to proposed new construction activity.**

Wrap approximately 10 to 15 wraps of orange plastic snow fencing around the trunk between grade and 6 to 8 feet above grade to create a padding at least 1 to 2 inches thickness around each tree trunk.

Stand 2x4 wood boards upright, side by side, around the entire circumference of the trunk. Affix using duct tape (do not use wires or ropes). See spec image at right showing the wooden boards correctly mounted against the plastic, such that the wood does not actually touch the trunk at all.



3. Chain Link Fencing Type I and/or Type II Root Protection Zone (RPZ):

Prior to commencing site demolition, erect chain link fencing panels set on moveable concrete block footings. Wire the fence panels to iron layout stakes pounded 24 inches into the ground at the ends of each fence panel to keep the fence route stabilized and in its correct position. Do **not** wire the fence panels to the trunks of the trees. These panels are available commonly for rent or purchase.

Alternative Fencing / Tube Posts and Rolled Chain Link:

Using a professional grade post bender, pound 7-foot long 2-inch diameter iron tube posts 24-inches into the ground, at 6 to 10-foot spacing maximum on-center, and hang steel chain link fencing material minimum 5-feet height on the tube posts. These materials are available for purchase at many retail and wholesale construction supply houses such as Home Depot, Lowe's, Grainger's, White Cap, Harbor Freight, etc.

Pre-construction fence routes:

Per the red dashed lines on the tree map mark-up attached to this WLCA arborist report.

- **Valley oak #53: Erect fencing as far as possible from trunk, assuming the existing older driveway is to remain under the end of project. If the older driveway is demolished in the beginning of the project, then fencing will need to be placed over the entire magenta highlighted area indicated on the CTA's tree map in order to preserve the root system within roughly 25 feet of trunk.**



- **Neighbor redwood #54: Erect fencing (immediately after demolition of the southmost older residence) around the entire magenta highlighted area indicated on the CTA's tree map attached to this report.**
- **Town-owned smoke tree #55: Erect fencing roughly 10 feet radius offset from trunk mass (i.e. 20 foot diameter fence perimeter).**

(Routes may be subject to change, depending on the finalized alignments of work items).

This fencing must be erected prior to any heavy machinery traffic or construction material arrival on site, except for redwood #54 fencing which is "post-demolition" phase.

The protective fencing must not be temporarily moved during construction. No materials, tools, excavated soil, liquids, substances, etc. are to be placed or dumped, even temporarily, inside the root protection zone or "RPZ".

No storage, staging, work, or other activities will be allowed inside the RPZ except with PA monitoring. Note however that some RPZ fencing areas may need to be removed or moved to allow for final hardscape and final landscape plant and irrigation system installation to occur.

4. Signage: The RPZ fencing shall have one sign affixed with UV-stabilized zip ties to the chain link at eye level for every 15 linear feet of fencing, minimum 8"X11" size each, plastic laminated, with wordage that includes the Town Code section that refers to tree fence protection requirements (wordage can be adjusted):

**TREE PROTECTION ZONE FENCE
ZONA DE PROTECCION PARA ARBOLES**

**-NO ENTRE SIN PERMISO-
-LLAME EL ARBOLISTA-**

**REMOVAL OF THIS FENCE IS
SUBJECT TO PENALTY ACCORDING TO
LOS GATOS TOWN CODE 29.10.1025**

PROJECT ARBORIST:

TELEFONO CELL:

EMAIL:

5. Water Spray:

Spray off foliage of all trees **within 20 feet of construction** activity using a very high power garden hose or a pressure washer system set on low pressure to wash both the upper and lower surfaces of foliage. This helps keep the gas portals (stomata) unclogged for better gas exchange which is crucial for normal tree function.

Spray should be applied approximately **once-monthly**, or when ambient airborne dust concentration is unusually high.

6. Tree Removal Permitting / Removal of Protected-Size Trees:

Removal of trees #51 and 52 is expected to occur as a result of proposed new project. The applicant shall pay a canopy replacement fee of **\$1,000**, or install four (4) 24" box size trees on site (locations and species to be determined).

If Town-owned smoke tree #55 is removed, then the applicant shall pay an additional **\$750** in canopy replacement fees, or site installation of an additional three (3) 24" box size trees (locations and species to be determined).

7. Temporary Irrigation During Construction:

Non-Oaks: Redwood #54 (Neighbor-owned tree)

Volume per week: +/-100 gallons

Application locations: Throughout the magenta highlighted area indicated on the CTA's tree map markup (i.e. the entire area inside the post-demolition chain link RPZ fence perimeter that will span roughly 25 feet offset radius from the trunk edge).

Native California Oaks / Valley Oak #53:

Volume per week: (To be determined).

Application locations: (To be determined).

Water application can be made using one or more of the following methods (see sample images):

- Soaker hoses.
- Emitter lines.
- Garden hoses.
- Fire truck hoses.



- Water trucks.
- Tow-behind spray tank apparatus.
- On-site water tank with gravity feed.
- Over-grade PVC piping with spray heads wired to rebar or other steel stakes.

5.0 Tree Protection and Maintenance Directions per Town Code

The following is excerpted directly from the 2015 iteration of the Town of Los Gatos tree ordinance sections which provide specific tree protection directions and limitations on root pruning and above-ground pruning:

Sec. 29.10.1000. New property development.

(a) A tree survey shall be conducted prior to submittal of any development application proposing the removal of or impact to one or more protected trees. The development application shall include a Tree Survey Plan and Tree Preservation Report based on this survey. The tree survey inventory numbers shall correspond to a numbered metal tag placed on each tree on site during the tree survey. The tree survey plan shall be prepared by a certified or consulting arborist, and shall include the following information:

- (1) Location of all existing trees on the property as described in section 29.10.0995;
- (2) Identify all trees that could potentially be affected by the project (directly or indirectly- immediately or in long term), such as upslope grading or compaction outside of the dripline;
- (3) Notation of all trees classified as protected trees;
- (4) In addition, for trees four (4) inches in diameter or larger, the plan shall specify the precise location of the trunk and crown spread, and the species, size (diameter, height, crown spread) and condition of the tree.

(b) The tree survey plan shall be reviewed by the Town's consulting arborist who shall, after making a field visit to the property, indicate in writing or as shown on approved plans, which trees are recommended for preservation (based on a retention rating of high/moderate/low) using, as a minimum, the Standards of Review set forth in section 29.10.0990. This plan shall be made part of the staff report to the Town reviewing body upon its consideration of the application for new property development;

(c) When development impacts are within the dripline of or will affect any protected tree, the applicant shall provide a tree preservation report prepared by a certified or consulting arborist. The report, based on the findings of the tree survey plan and other relevant information, shall be used to determine the health and structure of existing trees, the effects of the proposed development and vegetation removal upon the trees, recommendations for specific precautions necessary for their preservation during all phases of development (demolition, grading, during construction, landscaping); and shall also indicate which trees are proposed for removal. The tree preservation report shall stipulate a required tree protection zone (TPZ) for trees to be retained, including street trees, protected trees and trees whose canopies are hanging over the project site from adjacent properties. The TPZ shall be fenced as specified in section 29.10.1005:

- (1) The final approved tree preservation report shall be included in the building permit set of development plans and printed on a sheet titled: Tree Preservation Instructions (Sheet T-1). Sheet T-1 shall be referenced on all relevant sheets (civil, demolition, utility, landscape, irrigation) where tree impacts from improvements may be shown to occur;
- (2) The Town reviewing body through its site and design plan review shall endeavor to protect all trees recommended for preservation by the

Town's consulting arborist. The Town reviewing body may determine if any of the trees recommended for preservation should be removed, if based upon the evidence submitted the reviewing body determines that due to special site grading or other unusual characteristics associated with the property, the preservation of the tree(s) would significantly preclude feasible development of the property as described in section 29.10.0990;

(3) Approval of final site or landscape plans by the appropriate Town reviewing body shall comply with the following requirements and conditions of approval:

a. The applicant shall, within ninety (90) days of final approval or prior to issuance of a grading or building permit, whichever occurs first, secure an appraisal of the condition and value of all trees included in the tree report affected by the development that are required to remain within the development using the Tree Value Standard methodology as set forth in this Chapter. The appraisal of each tree shall recognize the location of the tree in the proposed development. The appraisal shall be performed in accordance with the current edition of the Guide for Plant Appraisal published by the Council of Tree and Landscape Appraisers (CTLA) and the Species and Group Classification Guide published by the Western Chapter of the International Society of Arboriculture. The appraisal shall be performed at the applicant's expense, and the appraisal shall be subject to the Director's approval.

b. The site or landscape plans shall indicate which trees are to be removed. However, the plans do not constitute approval to remove a tree until a separate permit is granted. The property owner or applicant shall obtain a protected tree removal permit, as outlined in section 29.10.0980, for each tree to be removed to satisfy the purpose of this division.

(d) Prior to acceptance of proposed development or subdivision improvements, the developer shall submit to the Director a final tree preservation report prepared by a certified or consulting arborist. This report shall consider all trees that were to remain within the development. The report shall note the trees' health in relation to the initially reported condition of the trees and shall note any changes in the trees' numbers or physical conditions. The applicant will then be responsible for the loss of any tree not previously approved for removal. For protected trees, which were removed, the developer shall pay a penalty in the amount of the appraised value of such tree in addition to replacement requirements contained in section 29.10.0985 of this Code. The applicant shall remain responsible for the health and survival of all trees within the development for a period of five (5) years following acceptance of the public improvements of the development or certificate of occupancy.

(e) Prior to issuance of any demolition, grading or building permit, the applicant or contractor shall submit to the Building Department a written statement and photographs verifying that the required tree protection fence is installed around street trees and protected trees in accordance with the tree preservation report.

(f) If required by the Director and conditioned as part of a discretionary approval, a security guarantee shall be provided to the Town. Prior to the issuance of any permit allowing construction to begin, the applicant shall post cash, bond or other security satisfactory to the Director, in the penal sum of five thousand dollars (\$5,000.00) for each tree required to be preserved, or twenty-five thousand dollars (\$25,000.00), whichever is less. The cash, bond or other security shall be retained for a period of one (1) year following acceptance of the public improvements for the development and shall be forfeited in an amount equal to five thousand dollars (\$5,000.00) per tree as a civil penalty in the event that a tree or trees required to be preserved are removed, destroyed or severely damaged.

(g) An applicant with a proposed development which requires underground utilities shall avoid the installation of said utilities within the dripline of existing trees whenever possible. In the event that this is unavoidable, all trenching shall be done using directional boring, air-spade excavation or by hand, taking extreme caution to avoid damage to the root structure. Work within the dripline of existing trees shall be supervised at all times by a certified or consulting arborist.

(h) It shall be a violation of this division for any property owner or agent of the owner to fail to comply with any development approval condition

concerning preservation, protection, and maintenance of any protected tree.

(Ord. No. 2114, §§ I, II, 8-4-03)

Sec. 29.10.1005. Protection of trees during construction.

(a) Protective tree fencing shall specify the following:

- (1) Size and materials. Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than 10-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.
- (2) Area type to be fenced. Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown): orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with 2-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.
- (3) Duration of Type I, II, III fencing. Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.
- (4) Warning sign. Each tree fence shall have prominently displayed an 8.5 x 11-inch sign stating: "Warning—Tree Protection Zone-this fence shall not be removed and is subject to penalty according to Town Code 29.10.1025".

(b) All persons, shall comply with the following precautions:

- (1) Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The dripline shall not be altered in any way so as to increase the encroachment of the construction.
- (2) Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approved by the Director.
- (3) Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree.
- (4) Prohibit the attachment of wires, signs or ropes to any protected tree.
- (5) Design utility services and irrigation lines to be located outside of the dripline when feasible.
- (6) Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.
- (7) The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may

be administered.

(Ord. No. 2114, §§ I, II, 8-4-03)

Sec. 29.10.1010. Pruning and maintenance.

All pruning shall be in accordance with the current version of the International Society of Arboriculture Best Management Practices—Tree Pruning and ANSI A300-Part 1 Tree, Shrub and Other Woody Plant Management—Standard Practices, (Pruning) and any special conditions as determined by the Director. For developments, which require a tree preservation report, a certified or consulting arborist shall be in reasonable charge of all activities involving protected trees, including pruning, cabling and any other work if specified.

- (1) Any public utility installing or maintaining any overhead wires or underground pipes or conduits in the vicinity of a protected tree shall obtain permission from the Director before performing any work, including pruning, which may cause injury to a protected tree. (e.g. cable TV/fiber optic trenching, gas, water, sewer trench, etc.).
- (2) Pruning for clearance of utility lines and energized conductors shall be performed in compliance with the current version of the American National Standards Institute (ANSI) A300 (Part 1)- Pruning, Section 5.9 Utility Pruning. Using spikes or gaffs when pruning, except where no other alternative is available, is prohibited.
- (3) No person shall prune, trim, cut off, or perform any work, on a single occasion or cumulatively, over a three-year period, affecting twenty-five percent or more of the crown of any protected tree without first obtaining a permit pursuant to this division except for pollarding of fruitless mulberry trees (*Morus alba*) or other species approved by the Town Arborist. Applications for a pruning permit shall include photographs indicating where pruning is proposed.
- (4) No person shall remove any Heritage tree or large protected tree branch or root through pruning or other method greater than four (4) inches in diameter (12.5" in circumference) without first obtaining a permit pursuant to this division.

(Ord. No. 2114, §§ I, II, 8-4-03)

6.0 Tree Replacement Standards – Los Gatos Town Code

(Excerpted from Town Code 29.10.0985 and 29.10.0987)

- (1) Two (2) or more replacement trees, of a species and size designated by the Director, shall be planted on the subject private property. Table 3-1 The Tree Canopy—Replacement Standard shall be used as a basis for this requirement. The person requesting the permit shall pay the cost of purchasing and planting the replacement trees.
- (2) If a tree or trees cannot be reasonably planted on the subject property, an in-lieu payment in an amount set forth by the Town Council by resolution shall be paid to the Town Tree Replacement Fund to:
 - a. Add or replace trees on public property in the vicinity of the subject property; or
 - b. Add or replace trees or landscaping on other Town property; or
 - c. Support the Town's urban forestry management program. (Ord. No. 2114, §§ I, II, 8-4-03)

Canopy Size of Removed Tree ¹	(Staff is using 24" box size as the Replacement Standard for SFR Projects as of 2016) ^{2,4}	Single Family Residential Replacement ^{3,4}
10 feet or less	Two 24 inch box trees	Two 15 gallon trees
More than 10 feet to 25 feet	Three 24 inch box trees	Three 15 gallon trees
More than 25 feet to 40 feet	Four 24 inch box trees; or Two 36 inch box trees	Four 15 gallon trees
More than 40 feet to 55 feet	Six 24 inch box trees; or Three 36 inch box trees	Not Available
Greater than 55 feet	Ten 24 inch box trees; or Five 36 inch box trees	Not Available

Notes

¹To measure an asymmetrical canopy of a tree, the widest measurement shall be used to determine canopy size.

²Often, it is not possible to replace a single large, older tree with an equivalent tree(s). In this case, the tree may be replaced with a combination of both the Tree Canopy Replacement Standard and in-lieu payment in an amount set forth by Town Council resolution paid to the Town Tree Replacement Fund.

³Single Family Residential Replacement Option is available for developed single family residential lots under 10,000 square feet that are not subject to the Town's Hillside Development Standards and Guidelines. All 15-gallon trees must be planted on-site. Any in-lieu fees for single family residential shall be based on 24" box tree rates as adopted by Town Council.

⁴Replacement Trees shall be approved by the Town Arborist and shall be of a species suited to the available planting location, proximity to structures, overhead clearances, soil type, compatibility with surrounding canopy and other relevant factors. Replacement with native species shall be strongly encouraged. Replacement requirements in the Hillside shall comply with the Hillside Development Standards and Guidelines Appendix A and Section 29.10.0987 Special Provisions--Hillside.

Sec. 29.10.0987. Special Provisions—Hillsides

The Town of Los Gatos recognizes its hillsides as an important natural resource and sensitive habitat which is also a key component of the Town's identity, character and charm. In order to maintain and encourage restoration of the hillside environment to its natural state, the Town has established the following special provisions for tree removal and replacement in the hillsides:

- (1) All protected trees located 30 or more feet from the primary residence that are removed shall be replaced with native trees listed in *Appendix A Recommended Native Trees for Hillside Areas of the Town of Los Gatos Hillside Development Standards and Guidelines* (HDS&G).
- (2) All protected trees located within 30 feet of the primary residence that are removed shall be replaced as follows:
 - (a) If the removed tree is a native tree listed in Appendix A of the HDS&G, it shall only be replaced with a native tree listed in Appendix A of the HDS&G.
 - (b) If the removed tree is not listed in Appendix A, it may be replaced with a tree listed in Appendix A, or replaced with another species of tree as approved by the Director.
 - (c) Replacement trees listed in Appendix A may be planted anywhere on the property.
 - (d) Replacement trees not listed in Appendix A may only be planted within 30 feet of the primary residence.
- (3) Replacement requirements shall comply with the requirements in Table 3-1 Tree Canopy Replacement Standard of this Code.
- (4) Property owners should be encouraged to retain dead or declining trees where they do not pose a safety or fire hazard, in order to foster wildlife habitat and the natural renewal of the hillside environment.

7.0 Author's Qualifications

- Continued education through The American Society of Consulting Arborists, The International Society of Arboriculture (Western Chapter), and various governmental and non-governmental entities.
- Contract Town Arborist, Town of Los Gatos, California
Community Development Department / Planning Division
2015-present
- Tree Risk Assessment Qualified (ISA TRAQ Course Graduate, Palo Alto, California)
- Millbrae Community Preservation Commission (Tree Board)
2001-2006
- ASCA Registered Consulting Arborist #401
- ASCA Arboriculture Consulting Academy graduate, class of 2000

- Associate Consulting Arborist
Barrie D. Coate and Associates
4/99-8/99
- Contract City Arborist, City of Belmont, California
Planning and Community Development Department
5/99-present
- ISA Certified Arborist #WE-3172A
- Peace Corps Soil and Water Conservation Extension Agent
Chiangmai Province, Thailand 1991-1993
- B.A. Environmental Studies/Soil and Water Resources
UC Santa Cruz, Santa Cruz, California 1990

UCSC Chancellor's Award, 1990

(My full curriculum vitae is available upon request)

8.0 Assumptions and Limiting Conditions

Any legal description provided to the consultant/appraiser is assumed to be correct. Any titles and ownership to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised and evaluated as through free and clean, under responsible ownership and competent management.

It is assumed that any property is not in violation of any applicable codes, ordinance, statutes, or other government regulations.

Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the consultant/appraiser can neither guarantee nor be responsible for the accuracy of information provided by others.

The consultant/appraiser shall not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule and contract of engagement.

Unless required by law otherwise, the possession of this report or a copy thereof does not imply right of publication or use for any other purpose by any other than the person to whom it is addressed, without the prior expressed written or verbal consent of the consultant/appraiser.

Unless required by law otherwise, neither all nor any part of the contents of this report, nor copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales, or other media, without the prior expressed conclusions, identity of the consultant/appraiser, or any reference to any professional society or institute or to any initiated designation conferred upon the consultant/appraiser as stated in his qualifications.

This report and any values expressed herein represent the opinion of the consultant/appraiser, and the consultant's/appraiser's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.

Sketches, drawings, and photographs in this report, being intended for visual aids, are not necessarily to scale and should not be construed as engineering or architectural reports or surveys unless expressed otherwise. The reproduction of any information generated by engineers, architects, or other consultants on any sketches, drawings, or photographs is for the express purpose of

coordination and ease of reference only. Inclusion of said information on any drawings or other documents does not constitute a representation by Walter Levison to the sufficiency or accuracy of said information.

Unless expressed otherwise:

- a. information contained in this report covers only those items that were examined and reflects the conditions of those items at the time of inspection; and
- b. the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in the future.

Loss or alteration of any part of this report invalidates the entire report.

Arborist Disclosure Statement:

Arborists are tree specialists who use their education, knowledge, training, and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or to seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, and other issues. Arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate the trees.

9.0 Certification

I hereby certify that all the statements of fact in this report are true, complete, and correct to the best of my knowledge and belief, and are made in good faith.



Signature of Consultant



Walter Levison

10.0 Digital Images

WLCA archived images of the survey trees on 1/29/2019

Tag #	Image	Tag #	Image
R to L 51, 52		R to L 51, 52	

53



The limb extending left at 15 feet elevation may need to be removed to clear construction. It is placed directly over the existing and proposed driveway footprint, and extends generally westward, hanging down to just a few feet above grade once it reaches the grass area in this image.

53



53



This older driveway area is the oak #53 “Critical Root Zone” (west side of root zone) which will be required to be preserved and protected during construction.

There are two separate proposed storm drain pipes that will have to be realigned to outside this area (preferably to 25 feet offset of the trunk), and one proposed new joint trench that will also need to be realigned to 25 feet or so from trunk.

To preserve the root zone under this older driveway, an underlayment of Tensar TriAx triaxial geogrid will need to be pinned down over the old baserock or old soil as a lateral load dispersal membrane, prior to building up baserock and pavers, etc. over the rock. This will allow us to avoid any subbase overexcavation or subbase recompaction that would otherwise be required and which normally destroy trees’ root systems in the process. See digital images of TriAx installations at Stanford for a Walter Levison project, above in this report.

54



The critical root zone (CRZ) of this very large neighbor owned redwood, valued at over \$60,000, extends at least 20 feet westward beyond the property boundary fence, and into the proposed “future pool” area shown on the applicant’s plans.

54



The tree extends 120 feet vertical, with 50 feet or more of canopy spread. The proposed pool area will need to be redesigned in order to avoid destroying the tree's western root system, assuming that the roots extend under the existing residence to be demolished on 16336 Shady View (which is very likely).

55



11.0 Tree Data Table

NOTE 1: Fruit and nut trees measuring less than 18” diameter (total of all mainstems), including fruiting olive trees, both on the site and on adjacent neighbor properties, are excluded from the CTA’s tree studies as “exemption trees” per the Town tree ordinance.

NOTE 2: Tree preservation suitability ratings (TPS) are determined independently from and irrespective of current proposed site construction work.

Tree Tag Number	Genus & Species (PROTECTED STATUS NOTED WHERE APPLICABLE)	Common Name	Trunk1 Diameter	Trunk2 Diameter	Trunk3 Diameter	Sum of All Trunk Diameters	Height & Canopy Spread (Ft.)	Health & Structural Rating (100% Each)	Overall Condition Rating (0 to 100%)	(R)emove Tree	(S)ave Tree	(D)isposition Unclear	Tree Preservation Suitability Ratings (TPS)	Lopsided Canopy (note direction)	Trunk Lean (note direction)	Girdling Roots	Root Flares Buried in Fill Soil	Pests and Disease Presence, and Other Notes	MAINTENANCE AND PROTECTION CODES
51	<i>Cupressus sempervirens</i>	Italian cypress	Est. 18	--	--	Est. 18	50/8	75/70	74% Good	X			Mod to Good					Good live crown ratio. No insect or pest issues noted. Trunk diameter measured near grade.	(To be removed)
52	<i>Cupressus sempervirens</i>	Italian cypress	Est. 18	--	--	Est. 18	50/8	75/70	74% Good	X			Mod to Good					Good live crown ratio. No insect or pest issues noted. Trunk diameter measured near grade.	(To be removed)

Tree Tag Number	Genus & Species (PROTECTED STATUS NOTED WHERE APPLICABLE)	Common Name	Trunk1 Diameter	Trunk2 Diameter	Trunk3 Diameter	Sum of All Trunk Diameters	Height & Canopy Spread (Ft.)	Health & Structural Rating (100% Each)	Overall Condition Rating (0 to 100%)	(R)remove Tree	(S)ave Tree	(D)isposition Unclear	Tree Preservation Suitability Ratings (TPS)	Lopsided Canopy (note direction)	Trunk Lean (note direction)	Girdling Roots	Root Flares Buried in Fill Soil	Pests and Disease Presence, and Other Notes	MAINTENANCE AND PROTECTION CODES
53	<i>Quercus lobata</i> Protected as "Large Protected Tree"	California valley oak	26.4	--	--	26.4	55/55	87/68	74% Good		X		Good to Very Good	West (due to pruning on east side by neighbor)				<p>Root system extends 50 feet radius westward through the proposed work area. We may need to remove one (1) 7" diameter limb at 15 feet elevation on west side above drive.</p> <p>Suggest move two (2) storm drain trenches and one (1) joint-trench (JT) out to at least 20 or 25 feet from trunk to avoid root loss.</p> <p>Suggest use TriAx geogrid to avoid subbase excavation that would otherwise result in root loss.</p>	<p>TB, RPZ, GEOGRID, RELOCATE THREE CURRENTLY PROPOSED TRENCHES TO 20-25 FEET RADIUS OFFSET, AND REMOVE ONE (1) 7" DIAMETER LIMB AS NEEDED ON WEST SIDE.</p> <p>Use Tensar TriAx triaxial geogrid to build the new drive without any subbase "over - excavation" or recompaction. Refer to photos in report showing this grid placement at Stanford parking lots (Walter Levison projects).</p>

Tree Tag Number	Genus & Species (PROTECTED STATUS NOTED WHERE APPLICABLE)	Common Name	Trunk1 Diameter	Trunk2 Diameter	Trunk3 Diameter	Sum of All Trunk Diameters	Height & Canopy Spread (Ft.)	Health & Structural Rating (100% Each)	Overall Condition Rating (0 to 100%)	(R)remove Tree	(S)ave Tree	(D)isposition Unclear	Tree Preservation Suitability Ratings (TPS)	Lopsided Canopy (note direction)	Trunk Lean (note direction)	Girdling Roots	Root Flares Buried in Fill Soil	Pests and Disease Presence, and Other Notes	MAINTENANCE AND PROTECTION CODES
54	<i>Sequoia sempervirens</i> Protected as "Large Protected Tree"	Coast redwood (NEIGHBOR TREE)	Est. 45	Est. 45		Est. 90 total	120/50	85/70	73% Good		X		Good to Very Good	West	Two main-stems fork at low elevation and are now angled off from vertical			Trunk diameters estimated. Lower trunk situation is not visible due to property line fence. Critical Root Zone (CRZ) is calculated as roughly 23 to 25 feet west of trunk. Assume roots are growing laterally under the existing residence on 16336 Shady View. The CTA suggests fencing off the entire area under the west canopy once the existing residence is demolished there.	Immediately after demolition of the residence under the west side of canopy, fence off the entire area under canopy using RPZ chain link, and irrigate 1x/week heavily with a garden hose 100 to 200 gallons min. per week, in the assumption that there is a viable root system of lateral woody roots extended through that area. Do not build proposed pool within 25 feet west of tree trunk.

Tree Tag Number	Genus & Species (PROTECTED STATUS NOTED WHERE APPLICABLE)	Common Name	Trunk1 Diameter	Trunk2 Diameter	Trunk3 Diameter	Sum of All Trunk Diameters	Height & Canopy Spread (Ft.)	Health & Structural Rating (100% Each)	Overall Condition Rating (0 to 100%)	(R)remove Tree	(S)ave Tree	(D)isposition Unclear	Tree Preservation Suitability Ratings (TPS)	Lopsided Canopy (note direction)	Trunk Lean (note direction)	Girdling Roots	Root Flares Buried in Fill Soil	Pests and Disease Presence, and Other Notes	MAINTENANCE AND PROTECTION CODES
55	<i>Cotinus coggygria</i> Public right of way "street tree" status	Purple smoke tree	5	5	4	27 (seven stems)	12/15	80/45	56% Fair		X		Poor to Mod					Tree has a relatively short life expectancy. Tree is easily preserved through use of periodic irrigation by hand (hose), and installation of a root protection zone fence around canopy prior to demolition start.	RPZ, W

Overall Tree Condition Ratings As Used In The Tree Data Table / New 2018 Breakdown of Numeric Ranges²:

- 00 - 05% = Dead
- 06 - 20% = Very Poor
- 21 - 40% = Poor
- 41 - 60% = Fair
- 61 - 80% = Good
- 81 - 100% = Exceptional

Tree Preservation Suitability (TPS) Ratings Based Solely on Each Tree's Merits: (Not Associated With Proposed Site Plan Construction-Related Work)

TPS Rating	Definition
VG Very Good	Exceptional current season's live twig density and twig extension ("TDE"). Tree provides multiple benefits to the property and users of site (e.g. shade, wildlife, patriarch tree, key landscape element or specimen in front yard, etc.). Trees with a minimum overall condition rating of 85% out of 100% points possible as determined by the City Arborist. Tree structure vertically-oriented with little or no lopsidedness or other architectural defects. Species with long life expectancy, and/or good resistance to most pests and diseases. Tree in a position that is correct for its sun/shade/drainage needs. Tree not damaged by incorrect pruning. Redesign of applicant's proposed site work is warranted at any cost to preserve the root system and the above-ground portion of the tree.
G Good	Good TDE, with a 70% or better overall condition rating as determined by the City Arborist. Tree may be lopsided or leaning, but provides good benefit(s) to the property and users of the property (e.g. shade, wildlife, sight-line screening, etc.). Species with long life expectancy and/or good resistance to most pests and diseases. Tree located in a position that is correct in terms of its sun/shade/drainage needs. Tree may or may not have been correctly pruned in the past. Applicant's project team should seriously consider site plan redesign to work around the tree's root system and above-ground canopy.
M Moderate	Moderate TDE. Tree may be significantly damaged by past pruning. Tree may exhibit pest and disease issues that are not curable through current known treatments. Tree may exhibit non-correctable structural issues. Species may be relatively short-lived or have a limited remaining useful life expectancy. Placement of tree may be incorrect in terms of high voltage power line conflicts, slow drainage, sun/shade requirements, etc. Consider allowing the applicant to remove the tree to achieve proposed site work goals.
P Poor	Tree has potentially serious structural and/or health issues that are not correctable through current known treatments (e.g. a very large diameter girdling root, a serious bark inclusion at a large diameter mainstem fork that is prone to catastrophic splitout, etc.). Tree may be growing vertically up into high voltage electric wires. Tree may be a species that is undesirable in terms of its low relative wood strength, short lifespan (e.g. a colonizing species such as white alder), etc. Tree may be at the end of its expected lifespan, and is in a spiral of decline. Tree root system may be in conflict with existing buildings, infrastructure, etc. Staff is encouraged to allow applicant to remove tree to achieve site plan work goals (though the tree may still be useful as a property boundary wildlife tree for raptors, songbirds, raccoons, foxes, etc.).
VP Very Poor	Roughly 0% to 20% overall condition rating. Tree in active declining stage with no possibility of recovery in terms of health (vigor) or structure. Tree may have a visible high risk of tree part failure and impact with life and/or property. Tree has little remaining useful lifespan. Removal of tree is encouraged as needed to achieve site plan work goals. Tree may still have some use as a sight-line screen and/or wildlife element if retained near the property boundary or far from residential structures and roadways.

Tree Maintenance and Protection Acronyms & Standards:

RPZ: Root protection zone fence, chain link, with 2" diameter iron posts driven 24" into the ground, 6 to 8 feet on center max. spacing. Alternative material: chain link fence panels set over concrete block-type footings, with the fence panels wired to steel pins pounded 24 inches into the ground at both ends of each panel.

RB: Root buffer consisting of wood chip mulch lain over existing soil as a 12 inch thick layer, overlain with 1 inch or greater plywood strapped together with metal plates. This root buffer or soil buffer should be placed over the entire width of the construction corridor between tree trunks and construction.

RP: Root pruning. Prune woody roots measuring greater than or equal to 1 inch diameter by carefully back-digging into the soil around each root using small hand tools until an area is reached where the root is undamaged. Cleanly cut through the root at right angle to the root growth direction, using professional grade pruning equipment and/or a Sawzall with wood pruning blade. Backfill around the cut root immediately (same day), and thoroughly irrigate the area to saturate the uppermost 24 inches of the soil profile.

BDRP: Back-dig root pruning: Hand-dig around the broken root, digging horizontally into the open soil root zone until a clean, unbroken, unshattered section of the root is visible. Proceed as per 'root pruning'.

RCX: Root crown excavation. Retain an experienced ISA-Certified arborist to perform careful hand-digging using small trowels or other dull digging tools to uncover currently-buried buttress root flares. Digging shall occur between trunk edge and at least two (2) feet horizontal from trunk edge. The final soil elevation will be at a level such that the tree's buttress roots visibly flare out from the vertical trunk.

TB: Trunk buffer consists of 20-40 wraps of orange plastic snow fencing to create a 2 inch thick buffer over the lowest 8 feet of tree trunk (usually takes at least an entire roll of orange fencing per each tree). Lay 2X4 wood boards vertically, side by side, around the entire circumference of the trunk. Secure buffer using duct tape (not wires).

F: Fertilization with slow-release Greenbelt 22-14-14 tree formula, as a soil injection application using a fertilizer injection gun. This brand and formulation is commonly used by reputable tree care companies in the Bay Area. Apply at label rate and injection hole spacing.

M: 4-inch thick layer of chipper truck type natural wood chips (example source: Lyngso Garden Supply, self pick-up). Do not use bark chips or shredded redwood bark.

W: Irrigate using various methods to be determined through discussion with General Contractor. Irrigation frequency and duration to be determined through discussion and/or per directions in this report. Native oak species typically require 1x/month irrigation, while other tree species tend to prefer 2x/month or 4x/month moderate to heavy irrigation during construction.

P: Pruning per specifications noted elsewhere. All pruning must be performed only under direct site supervision of an ISA Certified Arborist, or performed directly by an ISA Certified Arborist, and shall conform to all current ANSI A300 standards.

MON: A Project Arborist must be present to monitor specific work as noted for each tree.

12.0 Attached: Tree Location & Protection Fence Map Mark-up

WLCA added the following color-coded items to this sheet for reference purposes:

- a. Black clouding outlines are shown around tree specimens to show approximate true-scale canopy dripline dimensions.
- b. Magenta highlighted zones indicate the CTA's suggested areas to preserve and protect as "Critical Root Zones" (CRZ). The actual CRZ of oak #53 is roughly 13 feet radius from trunk. However, given that the tree is a *Quercus lobata* specimen (a species that is extremely sensitive³ to construction damages such as root loss and grade changes), the CTA roughly doubled the CRZ distance to 25 feet radius offset from trunk to account for this sensitivity.
- c. Red dashed lines indicate optimal routing for chain link root protection zone (RPZ) fencing.

The fencing around oak #53 is not shown as bounding the existing magenta root protection zone, since it is assumed that the driveway will be allowed to remain as-is during construction to act as a type of ground protection and root zone "buffer". If the drive is to be demolished in the first phase (demolition phase), then fencing will need to be placed around the entire magenta colored area indicated on the CTA's tree map to avoid damage to the root system in that area.

The fencing around redwood #54's root zone is "post-demolition" fencing that will be erected immediately after the existing older residence is removed from the magenta colored area indicated on the CTA's map markup. The purpose of this particular fence is to protect and preserve lateral fine roots and larger woody roots that are assumed to be growing laterally westward under the existing residence to be demolished in the area west of the tree, which is the area considered to be the tree's "Critical Root Zone" (CRZ) that must remain as a no-dig, no-impact zone.

13.0 Attached: Tree Appraisal (Valuation) Worksheet Using the New 2018 *Guide for Plant Appraisal*

An appraisal worksheet (Excel format) is attached to the end of this report, and includes fully transparent calculations based on the new 10th edition of the *Guide for Plant Appraisal*. The specific protocol used for this valuation is the "Trunk Formula Technique" (TFT), which is basically an entirely new system of tree valuation with calculations and multiplication factors that were not previously used in past iterations of the Guide.

³ Matheny and Clark. 1998. *Trees and Development*. Page 176.

ment is also based on the CTA's 20 years of professional experience with valley oak specimens on construction sites throughout the Bay Area.

SHANNON ROAD
(50' WIDE)

SHADY VIEW LANE
(60' WIDE)

BASIS OF BEARINGS
711-M-48

CONFORM TO
(E) ROLLED CURB

CATCH &
BASIN

DRAIN BOX
RIM 356.5±
INV 353.0±

DRAIN BOX
RIM 356.5±
INV 352.0±

(N) SSCO
RIM 357.5±
INV 354.0±

(N) HOUSE
FF 359.0
PAD 356.5±

(N) GARAGE

COVERED
PORCH
FS 359.0

N-POOL
HOUSE
FF 359.0
PAD 356.5±

(N) SSCO
RIM 357.5±
INV 354.3±

EG 358.2
EG 357.4

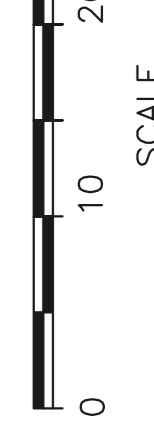
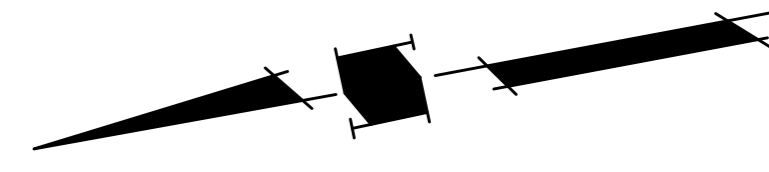
APN: 532-03-033

APN: 532-03-035

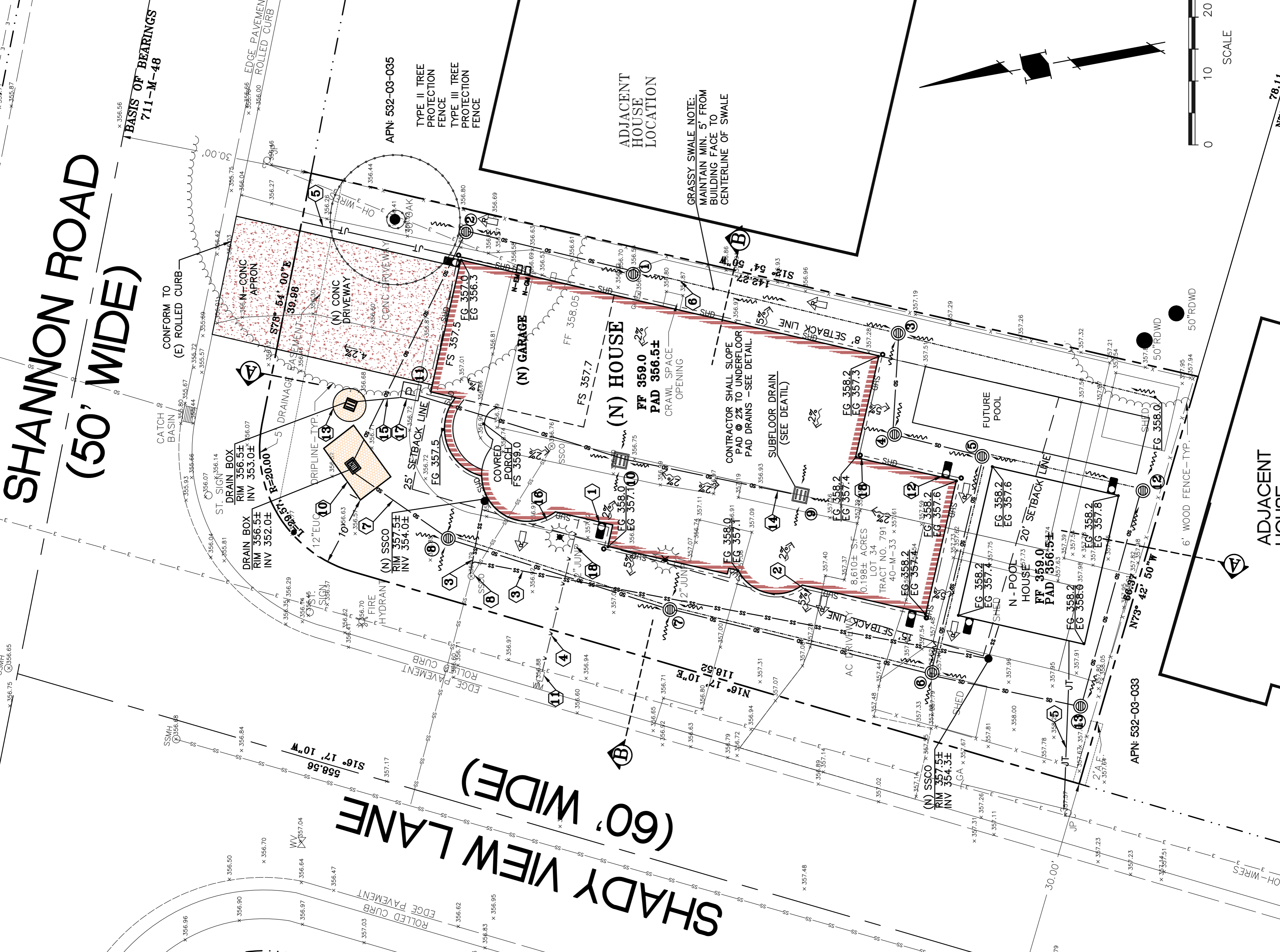
TYPE II TREE
PROTECTION
FENCE
TYPE III TREE
PROTECTION
FENCE

ADJACENT
HOUSE
LOCATION

GRASSY SWALE NOTE:
MAINTAIN MIN. 5' FROM
BUILDING FACE TO
CENTERLINE OF SWALE



SCALE





Valuation Appraisal Worksheet Based on *Guide for Plant Appraisal, 10th Edition (2018)*
"Functional Replacement Method / Trunk Formula Technique"

1/31/2019

16336 Shady View Lane, Los Gatos, California

Tree Tag #	Name (Initials)	WCISA Species Group Classification Booklet Page	Health (Weighted 0.15)	Structure (Weighted 0.70)	Form (Weighted 0.15)	Overall Condition Rating (OCR) "Weighted Method"	Diameter Inches at 4.5 ft. Above Grade	Depreciation Factors		WCISA Species Group Number	Trunk Square Inches for Replacement-Size Specimen of This Species	Average SF Bay Area Cost of 24 Inch Box Tree (2019)	Line 9	Line 10	Line 11	Rounded-off Appraised Values	
								Functional Limitations	External Limitations				(UTC) Unit Tree Cost per Sq Inch (M Divided by L)	Trunk Area (TA) ((dia. x dia.) x 0.785)	Basic Functional Replacement Cost (BFRC) = (OxN)		Depreciated Functional Replacement Cost (DFRC) = PxGxixJ
51	Cs	12	0.75	0.7	0.9	74%	18	80%	90%	3	3.8	\$250.00	\$65.79	254.34	\$ 16,732.89	\$ 8,885	\$8,900
52	Cs	12	0.75	0.7	0.9	74%	18	80%	90%	3	3.8	\$250.00	\$65.79	254.34	\$ 16,732.89	\$ 8,885	\$8,900
53	QI	31	0.87	0.68	0.9	74%	26.4	70%	90%	2	2.24	\$250.00	\$111.61	547.11	\$ 61,061.79	\$ 28,525	\$28,500
54	Ss	34	0.85	0.7	0.78	73%	Multistem (estimated 45" and 45") Neighbor Tree	75%	80%	4	4.75	\$250.00	\$52.63	2700.00	\$ 142,105.26	\$ 62,626	\$62,600
55	Cc	11	0.8	0.45	0.8	56%	Multistem 5/5/4/4/3/3/3"	60%	90%	2	2.24	\$250.00	\$111.61	110.00	\$ 12,276.79	\$ 3,679	\$3,680



Valuation Appraisal Worksheet Based on *Guide for Plant Appraisal, 10th Edition (2018)*
"Functional Replacement Method / Trunk Formula Technique"

1/31/2019

16336 Shady View Lane, Los Gatos, California

Tree Tag #	Name (Initials)	WCISA Species Group Classification Booklet Page	Health (Weighted 0.15)	Structure (Weighted 0.70)	Form (Weighted 0.15)	Overall Condition Rating (OCR) "Weighted Method"	Diameter Inches at 4.5 ft. Above Grade	Depreciation Factors		WCISA Species Group Number	Trunk Square Inches for Replacement-Size Specimen of This Species	Average SF Bay Area Cost of 24 Inch Box Tree (2019)	Line 9 (UTC) Unit Tree Cost per Sq Inch (M Divided by L)	Trunk Area (TA) ((dia. x dia.) x 0.785)	Line 10 Basic Functional Replacement Cost (BFRC) = (OxN)	Line 11 Depreciated Functional Replacement Cost (DFRC) = PxGxIxJ	Rounded-off Appraised Values
<p>Notes: (NEWLY REVISED) Overall condition rating range per the new 10th edition of <i>Guide for Plant Appraisal (2018)</i>: Excellent: 81-100% Good: 61-80% Fair: 41-60% Poor: 21-40% Very Poor: 6-20% Dead: 0-5%</p>																	
															Total Appraised Value of All Study Trees	\$112,580	

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Neighbor Communication Summary Report

16336 Shady View Lane,
Los Gatos, CA 95032

Allan and Katty Coulson
June 6, 2019

Allan and I have reached out to every neighbor shown in the picture shown below.



1) Matt and Carrie Currie, 16330 Shannon Road

- a. We initially reached out to Matt and Carrie sometime in January 2019 introducing ourselves. We mentioned we will come back to share the plans.
- b. In March 2019 Allan's father fell gravely ill and in April we made decision to put the property for sale. We did not reach out to any neighbors during this time.
- c. May 2019 we sent a letter to Matt and Carrie asking for a time to meet with them and share the plans and answer any questions they may have.
- d. May 20th, 2019, I (Katty Coulson) stopped by their home and mentioned I would be happy to answer any questions and share the plans. Carrie mentioned that Matt would be replying to Allan with a few available dates/ time to meet.
- e. Thursday, May 30th we meet at Peet's coffee on Blossom Hill Rd. to talk about the plans, listen to their concerns and answer their questions.

- 2) 16344 Shady View Ln – June 3rd and June 5th
 - a. Both Allan and myself went to their home on June 3rd and again on June 5th, 2019. We left a hand written note and a pint out of the design. (Picture attached)
- 3) 16356 Shady View Lane – June 5th
 - a. Letter was delivered with a copy of the design and the Shadow Report
 - b. Allan spoke to the neighbor
- 4) 16347 Shady View Lane – June 5th
 - a. Letter was delivered with a copy of the design and the Shadow Report
 - b. Neighbor was not at home
- 5) 16337 Shady View Lane – June 5th
 - a. Letter was delivered with a copy of the design and the Shadow Report
 - b. Allan spoke with our neighbor
- 6) 100 Hillow Court – June 5th
 - a. Letter was delivered with a copy of the design and the Shadow Report
 - b. Allan spoke with neighbor
- 7) 100 Del Carlo Court – June 5th
 - a. Letter was delivered with a copy of the design and the Shadow Report
 - b. Allan spoke with neighbor
- 8) 16359 Shady View Lane – June 5th
 - a. Letter was delivered with a copy of the design and the Shadow Report
 - b. Allan spoke to neighbor
- 9) 16311 Shannon Road – June 6th
 - a. Letter was delivered with a copy of the design and the Shadow Report



20 Approvals
 18 noted on
 map
 +
 2 Did not
 provide
 their
 Address

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RECEIVED

MAY 13 2019

TOWN OF LOS GATOS
PLANNING DIVISION

May 7, 2019

VIA US MAIL and EMAIL

Town of Los Gatos
Planning Division
Civic Center
110 E. Main Street
Los Gatos, California 95030
Email: planning@LosGatosCa.gov

Re: 16336 Shady View Lane, Los Gatos, CA

Dear Town of Los Gatos Planning Department:

My wife Carrie and I live at 16330 Shannon Road, next door to 16336 Shady View Lane, Los Gatos, CA (the "Shady View Property"). Recently, we were surprised to learn that the Shady View Property was being offered for sale since the property had been just been sold by its long time owners in September 2018. Our surprise quickly grew into concern as we took a closer look at the MLS listing for the Shady View Property and learned that it is being marketed as having "[p]ermits will be ready in June for 2700+ sq ft home with option to add a 1300 sq ft basement. Potential for over 4000 sq ft home!" Earlier this year the current owner of the Shady View Property introduced himself and indicated that he was looking to tear down the existing home on the property and would soon be providing us with draft plans to review. Needless to say, we have never been consulted with on proposed development plans for the Shady View Property. We are extremely concerned that a new home may be constructed next door to our family home that has not considered the impacts that their project will have on immediate neighbors. This includes protecting the privacy on neighboring properties, shade/shadow impacts, adverse impacts to protected trees, street safety, neighborhood fit or the same rigorous town planning process that my wife and I, along with countless other neighbors worked through in order to obtain the permits necessary to construct our current homes.

As you know, Section 1 (Introduction) of the Town's Residential Design Guidelines includes the following general planning advice - "[m]eetings with your neighbors to discuss their concerns and your designs are strongly encouraged."

Section 1.4 (Community Expectations) of the Town's Residential Design Guidelines requires that "[h]omes will be designed with respect for the views, privacy and solar access of their neighbors."

Section 2.5.2 (Design with Sensitivity to Adjacent Neighbors) of the Town's Residential Design Guidelines provides that "new homes should be planned with awareness of the impacts which they will have on the views, sky exposure, sun access and privacy of neighbors."

Section 3.11.1 (Minimize shadow impacts on adjacent properties) of the Town's Residential Design Guidelines instructs to "[l]ocate structures to minimize blocking sun access to living spaces and actively used outdoor areas on adjacent homes."

Our expectation is that any planning process for the Shady View Property will follow the Town's Residential Design Guidelines as well as the Town's height and structure coverage limitations, setbacks and all applicable codes.

Beyond this, it is critically important to us that the owner of the Shady View Property meet with my wife and I to discuss their design ideas and to listen to our concerns and priorities. This is the same courtesy that my wife and I extended to our neighbors before we embarked on our own planning process. In fact, before settling on a design approach for our home, my wife and I obtained letters of support from each of our immediate neighbors confirming that we considered their privacy and that our home would comfortably fit with and enhance our neighborhood.

We would like to remind the Town that our entire second level has been designed to protect the privacy of our neighbors. Our home has a 20' setback on the left side. This, along with designing high windows on the left side elevation gives the neighbor to the east the same privacy he has historically enjoyed. For the right side elevation adjacent to the Shady View Property, we designed a one-story element at the 8' side setback. The balance of the second level was setback an additional 15' to 21' creating a setback of over 20' from the property line. The two small windows that face west have obscured glass to maintain privacy and create articulation in the design. In fact, our entire second level was designed towards the middle of the width of our lot allowing most of the second level to maintain a minimum of a 20' setback from the property lines. The proportions of our second level were minimized where possible. As mentioned above, our neighbors fully supported our home plan and indicated so in writing.

We urge the Town to require the owner of the Shady View Property to engage in a design, entitlement and development process that considers our concerns and priorities, minimizes impacts to neighbors, protects privacy wherever possible and requires adherence to Town codes, regulations and guidelines.

Respectfully,

A handwritten signature in black ink, appearing to read "Matt Currie", written in a cursive style.

Matt Currie

June 13, 2019

RECEIVED

JUN 13 2019

TOWN OF LOS GATOS
PLANNING DIVISION

VIA E-MAIL AND HAND DELIVERY

Town of Los Gatos
Planning Division
Civic Center
110 E. Main Street
Los Gatos, California 95030
Email: planning@LosGatosCa.gov

Re: 16336 Shady View Lane, Los Gatos, CA (the "Shady View Property")

Dear Town of Los Gatos Planning Department:

Following our May 7, 2019 letter to the Town about the Shady View Property, we met with the Allan and Katty Coulson (the owners of the Shady View Property) on May 31, 2019. During this meeting were only given a cursory look at the Coulson's plans, but learned that they plan to load the tallest portions of their proposed home 8 feet from our property line. The left side of the home proposed for the Shady View Property rises at least 26 feet from the minimum permitted side setback with very little to no articulation to relieve us from the massing towering over our side yard. Beyond this, the Coulson's have designed a second story balcony that opens to views of our yard and home from the left hand side and rear of the home. It was incredibly frustrating to learn that neither the Coulson's nor the town seem to be following the principals laid out in the Town of Los Gatos' Residential Design Guidelines.

These include:

- 1) Section 2.5.2 Design with sensitivity to adjacent neighbors [which provides in part]: "new homes should be planned with an awareness of the impacts which they will have on the views, sky exposure, sun access and privacy of neighbors."
- 2) Section 3.3.2 Height and bulk at front and side setbacks [which provides in part]: "Give special attention to adopting to the height and massing of adjacent homes."
- 3) Section 3.11.2 Minimize privacy intrusions on adjacent residences [which provides in part]: "second floor balconies and decks should be used only when they do not intrude on the privacy of adjacent neighbors."

To comply with these principals, at the right side elevation of our home adjacent to the Shady View Property, we designed a one-story element that tops out at 21 feet at the top of a gabled roof. The balance of our second level on the right side of our home is setback an additional 15 to 21 feet creating a setback of over 20 feet from the property line for the tallest elements of this side of our home. We also set back our home 20 feet from the

property line on the left side. This, along with designing high windows on the left side elevation gives our neighbor to the east the same privacy that he has historically enjoyed. The same awareness to minimizing the impact of their home and protecting neighbor privacy has not been contemplated in the current design plans for the Shady View Property.

Making this situation even more frustrating is that as of the date of this letter, the Shady View Property is up for sale. It is easy to understand that someone who does not appear to be vested in establishing roots in our neighborhood would not understand the care and attention that long term residents have taken to minimize the impact of their homes on their neighbors, and to properly fit into the neighborhood. As you likely know, in the current market, a teardown with ready to build plans is significantly more valuable than one without entitlements. We are exceedingly concerned that Shady View Property will ultimately be sold to a developer who will care even less about the impacts that this project will have on neighboring properties. We strongly object to the current design of the home proposed for the Shady View Property.

At this point, our primary concerns are:

- 1) Reducing the height and massing of side of the proposed home adjacent to our shared property line;
- 2) Stepping down the rear of the proposed home (that extends beyond the rear of our home) to a one story element similar to the way we have stepped down our home;
- 3) Removing the second floor balcony;
- 4) Removing windows that look directly onto our home and backyard; and
- 5) Considering other modifications that will minimize the impact of the home proposed for the Shady View Property on us.

We would also like the City to explain the planning status of the Shady View Property and the timing for a public hearing on this project.

Again, we urge the Town to require the owner of the Shady View Property to engage in a design, entitlement and development process that considers our concerns, minimizes impact of this house on us, protects our privacy wherever possible, and requires adherence to the Town's residential design guidelines in addition to all applicable codes and regulations.

Respectfully,



Matt & Carrie Currie

Ryan Safty
Planning Department
Town of Los Gatos
110 E Main St.
Los Gatos, CA 95031



Project Name: Coulson Residence
Project Address: 16336 Shady View Lane.
Date: 06/11/19
Response to neighbor concerns.

RECEIVED

JUN 14 2019

TOWN OF LOS GATOS
PLANNING DIVISION

To Whom It May Concern,

The purpose of this letter is to respond to and address the concerns raised by the neighbor located at 16330 Shannon Road. In a letter to the town dated May 7, 2019, the neighbors Carrie and Matt Currie wrote that they were concerned that the project was not following the various procedures and design guidelines set for the by the town with respect to privacy and the neighborhood impact.

During the design process, we have shown our intent to mitigate the impact on the surrounding neighborhood and worked with the town to ensure that our design followed the recommendations of the town. On the town's suggestion, our clients met Carrie and Matt to discuss their concerns and get their feedback. In short, the prevailing concerns are with views on to their property from second floor windows and balcony, as well as the two story height at the side setback.

We feel that these concerns can be addressed by adding a privacy screen made up of trees along the shared fence line. We have proposed strategically placing trees in such a way that obscures the views on to the neighbor's property. (Please see proposed landscape plan under separate copy).

We hope that this gesture is acceptable to the town and received by the neighbors as a friendly compromise.

Please feel free to contact me with any questions.

Regards,
Jim Whitney
De Mattei Construction
1-408-350-4200

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LANDSCAPE DOCUMENTATION PACKAGE CHECKLIST

1 - PROJECT INFORMATION

- a Date - 5-27-19
- b Applicant - Greg Lewis - Landscape Architect
- c Project Address - 16336 Shady View Lane, Los Gatos
- d Total Irrigated Landscape Area - 4030 sf (not counting pool)
- e Type of project - single family residential
- f Potable Water
- g Checklist of all documents in package - see this page
- h Contacts of Applicant -
Greg Lewis - Landscape Architect
lewislandscape@sbcglobal.net
phone (831) 359-0960
Owner - Katy Coulson kcoulson@cisco.com

i "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package"

2 - WATER EFFICIENT LANDSCAPE WORKSHEETS - SEE SHEET L2

3 - SOIL MANAGEMENT REPORT
See sheet L3

4 - LANDSCAPE DESIGN PLAN
See sheets L1

5 - IRRIGATION DESIGN PLAN
See sheets L2

6 - GRADING DESIGN PLAN
See the Grading and Drainage Plans done by the civil engineer - NNR Engineering nrengineering@yahoo.com

The following items are required when the landscape construction is complete

CERTIFICATION OF COMPLETION
Project information sheet - see current MWEL0 information on line for current forms

Certification that the landscape project has been installed per the approved Landscape Documentation Package
See current MWEL0 information on line for the current forms

Irrigation Scheduling

Landscape and Irrigation Maintenance Schedule

Irrigation Audit Report

Documentation verifying implementation of soil report recommendations

Replacement Trees

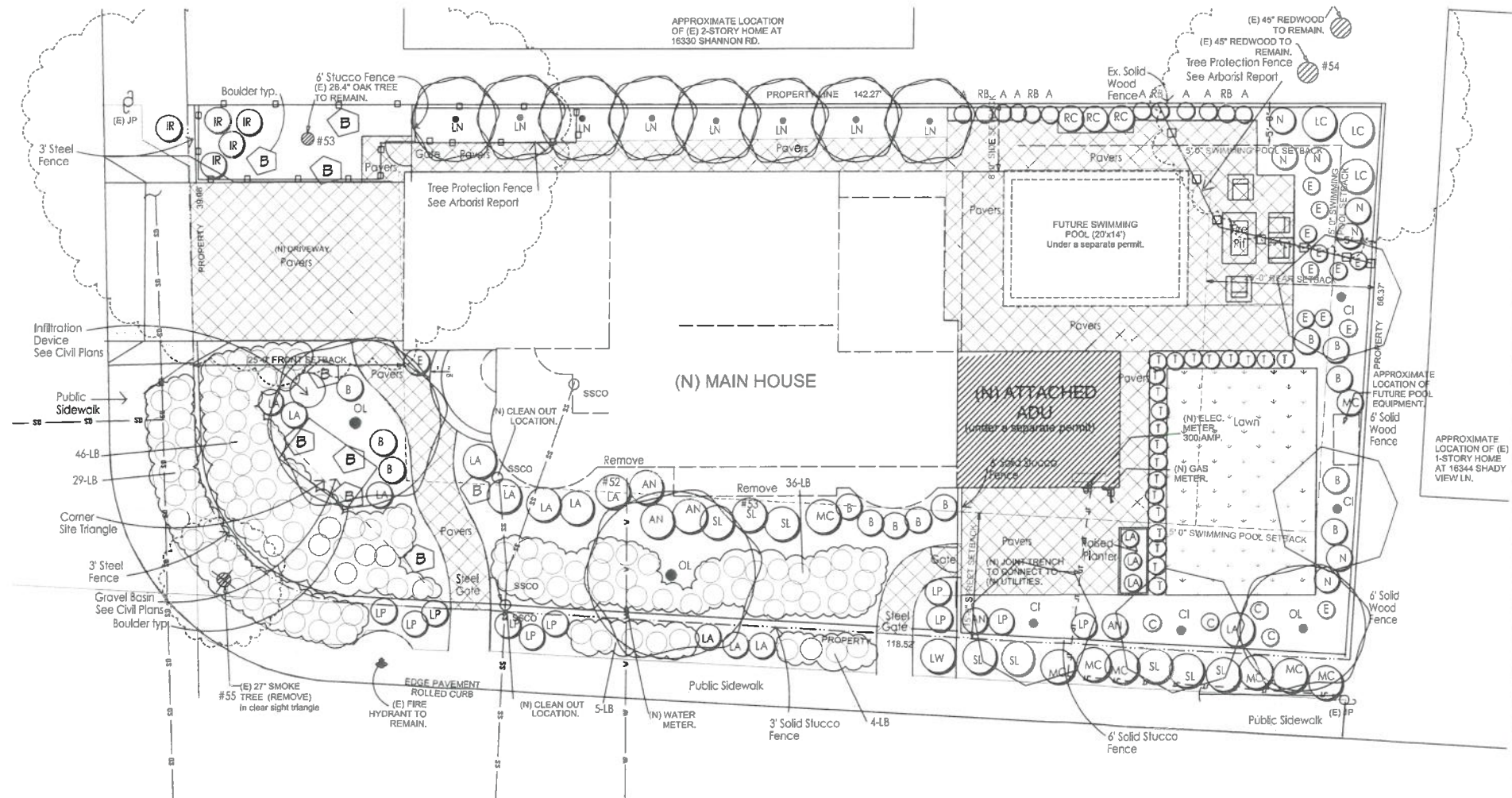
- 1) Per city arborist consultant report dated 1/31/19 by Walter Levison, replacement trees for Cypress trees # 51 and #52 & four 24" box trees
- 2) The existing Smoke Tree in the city ROW is in the clear sight triangle and we would like to remove it. The canopy is between 10' and 25' dia. which would require three 24" box trees according to the table on page 22 of the arborist's report
- 3) Total replacement trees are seven 24" box trees
four 24" box Citrus
three 24" box Swan Hill Olive

Landscape Notes

- 1) See sheets L3 and L4 for details and specifications.
- 2) No irrigation trenching is allowed under the canopy of existing trees to be saved unless approved by the city arborist. Irrigation drip lines are to be 1 inch deep on the surface of the soil, covered with mulch. Pressure lines and valves are not to be located under canopies of trees to be saved.
- 3) Exact location of plants on site to be adjusted to as to best coordinate with irrigation component locations, lights, drainage features, and swales
- 4) Use 3 inch deep mulch in all planting areas. Provide owner with different mulch samples and prices including mulched RWB sawdust, medium fir bark, and Mahogany colored Wonder Mulch from Vision Recycling in Fremont
- 5) Install plants for all plant circles shown on the plan even if they aren't labeled. Call for clarification. For bidding purposes, if no one is available to answer questions, assume that any plant circle scaled less than 8" wide is 5 gal. size and any circle scaled larger is 15 gal. size
- 6) The plan is schematic. Don't install plants too close to edges of paving or buildings. Keep valves and quick couplers away from trees.
- 7) The plants will do much better if efforts to uncompact soil that has been compacted during building construction.
- 8) See specs. concerning soil amendments and fertilizer. For bidding purposes until the soil fertility test is done, bid 6 cubic yards of 89 Organic Super Humus Compost. 15 pounds of 12-12-12 fertilizer filled into the top 5" to 8" of soil after tamping soil to 12" deep, except on steep slopes. Some of the planting areas are so narrow that it will need to be dug in by hand.
- 9) See the Irrigation Plan, Irrigation Legend under the Rainbird XFS-1DI drip tubing for special soil prep. in the FR ground cover areas
- 10) Check with the Landscape Architect to make sure you have the most recent Landscape Plans prior to construction and finalizing the bid.
- 11) Check to see if a Soil Management Report has been done. Proof will be required that all recommendations have been done. If the Soil Management Report has not been done by the time the bid for landscape construction has been awarded the landscape contractor is responsible for the cost of it and getting the sample collected and to the lab. There is grading being done on the site so the Soil Management report would be better done after most of the grading is done but soon enough to be able to make changes to plant material or soil amendments if necessary.
- 12) Check with the Landscape Architect to make sure you have the most recent Landscape Plans prior to construction and finalizing the bid.
- 13) Boulders - Average size 2'x2x2.5' set into soil to appear stable. Bid Sonoma fieldstone but also give owners prices for rounded granite or some other type of boulder they like that might go well with rock on their house.
- 14) Raised planter - 24" high, build with 2x12 rough redwood with 4x4 posts 4 feet apart set in concrete 24" deep. Use gopher wire and fill with high quality planter mix. Install S45 2x6 redwood cap

Plant Legend

KEY	QTY	SIZE in gallons	BOTANICAL NAME	COMMON NAME	WUCOLS WATER USE RATING
TREES					
OL	3	24" box	Olea Swan Hill - no fruit Replacement Trees	Swan Hill Olive	LOW
CI	4	24" box	Citrus tree - variety selected by owner Replacement Trees		MED
SCREENING TREE OPTIONS					
LN	-	15 gal.	Laurus nobilis @ 8" O.C. Pithecolobium undulatum @ 8" O.C. Podocarpus gracilior @ 8" O.C. Pithecolobium eugenioides @ 5" O.C.	Grecian Laurel Victorian Box Fern Pine	LOW LOW MED MED
MEDIUM SHRUBS					
RC	-	5 gal.	Rhopilepis minor	India Hawthorne	LOW
MC	-	5 gal.	Myrica communis	Myrtle	LOW
RB	-	5 gal.	Rosa banksiae double white trained on fence	Lady Banks Rose	LOW
LA	-	5 gal.	Lavandula Grass	Lavender	LOW
LC	-	5 gal.	Laropetalum Ratanberry		LOW
GROUND COVERS					
LB	-	1 gal.	Lomandra breete		LOW
C	-	1 gal.	Carex divulsa	Berkley Sedge	LOW
LP	-	5 gal.	Limonium perlati	Sea Statice	LOW
IR	-	1 gal.	Its Canyon Snow	Native Iris	LOW
T	-	1 gal.	Thymus serpyllum Ratter's	Crawling Thyme	LOW
AN	-	1 gal.	Argemone has Bush Gold or Bush Ranger	Kangaroo Paws	LOW
LW	-	1 gal.	Lantana montevidensis white	Low White Lantana	LOW
V	-	1 gal.	Aloe vera	Medicinal Aloe	LOW
B	-	1 gal.	Buffline Inulensens - yellow or orange		LOW
E	-	1 gal.	Aeonium urbicum Dinner Platter		LOW
SL	-	1 gal.	Salvia leucantha	Mexican Sage	LOW
LAWN	-	sod	Turf tall fescue sod with 2x4 redwood header bd.		HIGH



RECEIVED

JUN 14 2019

TOWN OF LOS GATOS
PLANNING DIVISION

Cover Sheet and
Landscape Plan

1/8"=1'-0"



Revision

#2176

GREGORY LEWIS LANDSCAPE ARCHITECT
736 Park Way Santa Cruz, CA 95065 (831) 359-0960
lewislandscape@sbcglobal.net

LANDSCAPE ARCHITECT
STATE OF CALIFORNIA

Coulson Residence
16336 Shady View Ln., Los Gatos

Date 5/27/19
Scale As Noted
Drawn Greg
Job Sheet
Sheet L1
of 5

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Ryan Safty

From: Matthew Currie <mattcurrie@me.com>
Sent: Wednesday, July 3, 2019 12:40 PM
To: Ryan Safty
Cc: Sally Zarnowitz; Planning; Carrie Currie
Subject: 16336 Shady View Ln, Los Gatos

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Ryan,

I wanted to let you know that we recently received a letter from the owner of the above referenced property that included a copy of their proposed landscape plans.

Unfortunately, the Coulson's landscape plans do not address the concerns covered in our June 13, 2019 letter to the Town that we reviewed with you and Sally Zarnowitz in our meeting on the same day.

We reiterate all of the same concerns stated in our June 13, 2019 letter. These include the lack relief from the massing of the side of the proposed home, windows that look directly onto our home and a proposed second floor balcony that peers directly down into our backyard from two angles. The Coulson's current plan appears to create a 26 foot shear wall 8 feet from our shared property line that runs the entire length of our home and extends at least another 10 feet beyond the back wall of our home. We have attached pictures showing the extension of the proposed project beyond the back of our home as well as the privacy destroying balcony.

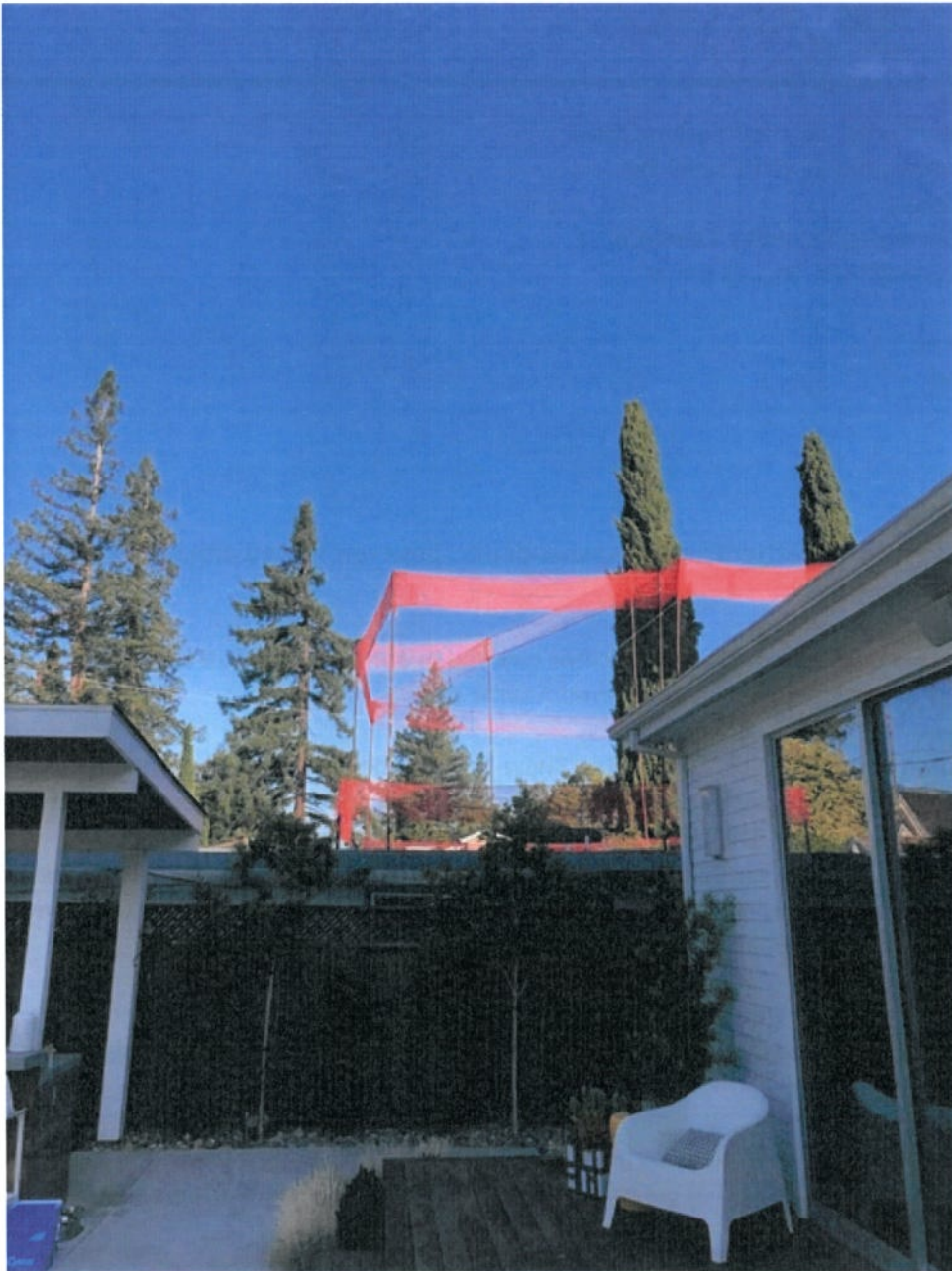
On June 27, 2019, the Coulson's erected story poles. Needless to say, we are taken back that by this development. We are shocked that the Town Architect, Town Planning Staff and developer, would not be more sensitive to the significant impact to our privacy that the current project creates.

We are truly disheartened by the way planning for this project has been handled. Simply providing a landscape plan without addressing any of the specific structural concerns that we have raised, falls woefully short. Perhaps another meeting with the Town or the developer is in order.

We will continue to oppose this project until satisfactory compromises are made.

Best regards,

Carrie & Matt Currie





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Ryan Safty
Planning Department
Town of Los Gatos
110 E Main St.
Los Gatos, CA 95031

RECEIVED

JUL 08 2019

TOWN OF LOS GATOS
PLANNING DIVISION

Project Name: Coulson Residence
Project Address: 16336 Shady View Lane.
Date: 07/03/19
Response to neighbor concerns.

To Whom It May Concern,

The purpose of this letter is to respond to and address the concerns raised by the neighbor located at 16330 Shannon Road. In a letter to the town dated May 7, 2019, the neighbors Carrie and Matt Currie wrote that they were concerned that the project was not following the various procedures and design guidelines set for the by the town with respect to privacy and the neighborhood impact.

During the design process, we have shown our intent to mitigate the impact on the surrounding neighborhood and have worked with the town to ensure that our design followed their recommendations. On the town's suggestion, our clients met Carrie and Matt to discuss their concerns and get their feedback. In short, the prevailing concerns are with views on to their property from the second floor windows and balcony.

In response to these concerns we are proposing to raise the height of the windows in the master bedroom such that the sill height is above eye level. In the master bathroom we are proposing an obscured, fixed window to reduce visual exposure on to the neighbor's property.

As for the balcony, we feel that the existing design in its size and form is an integral feature of the home. As a compromise, we have proposed adding a privacy screen made up of 24" box-trees along the shared fence line. These trees will be placed in such a way that together with existing trees on the neighbor's property will reduce the visual exposure on to the neighbor's property, which in this case is the roof of what appears to be a non-permitted accessory structure. (Please see proposed landscape plan under separate copy).

We hope that these gestures is acceptable to the town and received by the neighbors as a friendly compromise.

Please feel free to contact me with any questions.

Regards,
Jim Whitney
De Mattei Construction
1-408-350-4200

RECEIVED

JUL 09 2019

TOWN OF LOS GATOS
PLANNING DIVISION







Ryan Safty
Planning Department
Town of Los Gatos
110 E Main St.
Los Gatos, CA 95031

RECEIVED

JUL 19 2019

TOWN OF LOS GATOS
PLANNING DIVISION

Project Name: Coulson Residence
Project Address: 16336 Shady View Lane.
Date: 07/18/19
Response to neighbor concerns.

Dear Mr. Safty,

The purpose of this letter is to respond to and address concerns raised by the neighbor located at 16330 Shannon Road.

During the design process, we have shown our intent to mitigate the impact on the surrounding neighborhood and have worked with the town to ensure that our design followed their recommendations. On the town's suggestion, our clients met Carrie and Matt to discuss their concerns and get their feedback. In short, the prevailing concerns are with views on to their property from the second floor windows and balcony.

In response to these concerns we are proposing to raise the height of the windows in the master bedroom such that the sill height is above eye level. In the master bathroom we are proposing an obscured, fixed window to reduce visual exposure on to the neighbor's property. We reduced the size of the balcony 2 feet in both directions, and we are proposing to enclose one side of the balcony with a full-height wall with a window at eye level. The changes have been made to reduce the impact on the privacy but also maintain the elements that are consistent with the Spanish Style home.

As a compromise, we have proposed adding a privacy screen made up of 24" box-trees along the shared fence line. These trees will be placed in such a way that together with existing trees on the neighbor's property will limit the visual exposure onto the neighbor's property, which in this case is the roof of what appears to be a non-permitted accessory structure. (Please see proposed landscape plan under separate copy).

We hope that these gestures are acceptable to the town and received by the neighbors as a friendly compromise.

Please feel free to contact me with any questions.

Regards,
Jim Whitney
De Mattei Construction
1-408-350-4200

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July 30, 2019

RECEIVED

JUL 30 2019

TOWN OF LOS GATOS
PLANNING DIVISION

VIA E-MAIL AND US MAIL

Town of Los Gatos
Planning Division
Civic Center
110 E. Main Street
Los Gatos, CA 95030
Attn: Ryan Safty
Email: planning@LosGatosCa.gov

Re: 16336 Shady View Lane, Los Gatos, CA (the "Shady View Property")

Dear Ryan and Planning Division:

This letter is written in response to the July 18, 2019 letter from Jim Whitney of De Mattei Construction concerning the Shady View Property. While we appreciate this initial attempt to mitigate the impacts of the proposed home, the changes proposed in the July 18 letter fall short.

First, the second story rear balcony remains a significant privacy concern. Even with the relatively minor adjustments proposed in the July 18 letter, the proposed second-floor balcony still opens to views of our private living spaces from the rear of the proposed home. Since the balcony is perched at the far rear corner of the proposed home, it can be seen from nearly every area in our back yard. Please keep in mind that we designed our home to maximize year-round indoor/outdoor living, so the thought of our neighbors peering down onto our outdoor spaces is very problematic. This combined with the location of the balcony that hugs the side set back makes this element of the proposed home appear to be located in our backyard. I have included various pictures of this privacy-invading element. Again, we would like to remind the applicant, the developer and the Town of the following principals laid out in Section 3.11.2 of Town of Los Gatos' Residential Design Guidelines titled - *Minimize privacy intrusions on adjacent residences*. This section provides in part:

"Second-floor balconies and decks should be used only when they do not intrude on the privacy of adjacent neighbors"; and

"When windows are needed and desired in side building walls, they should be modest in size..."

We believe that we have been clear and consistent with the applicant and the Town on multiple occasions stating that this element intrudes on our privacy. We strongly oppose any development plan for the Shady View Property with a second-floor rear balcony.

Next, the proposed plan indicates that there will be no less than 8 windows in second-story living spaces facing our home and yard. We request a reduction in the size and quantity of the windows

on this side of the proposed home. Keep in mind that the reason this side of the proposed home is so impactful is that there has been no attempt to reduce the massing on this side of the home. In contrast, to mitigate the impact on our neighbor, the Town required us to minimize the massing of our second story and reduce the height and number of windows on this side of our home. We expect the same courtesy to be extended to us. The July 18 letter also indicates that the height of some windows have been raised above eye level, but the proposed plans do not indicate their specific height above the floor plate.

Since the massing on this side of the home is so impactful, we request that the applicant extend the 24-inch box privacy screening trees along our shared property line all the way to the edge of the redwood canopy. The applicant's enclosed plans incorrectly indicate that there will be 15-gallon screening trees. We also request that the Town require the applicant (at their cost) to install a 2-foot extension of the existing fence to bring the fence up to 10 feet. Another concern raised by the applicant's latest plan is a future swimming pool that edges precariously close to the canopy of the redwood tree. As you likely know, a redwood tree's root system is quite sensitive. We expect the Town and applicant to assume all liability for any damage to or from the redwood tree from and after pool installation.

One more point that we feel compelled to mention are references in applicant's plans to a non-conforming element on our property. Not only are these references incorrect, but they are unnecessary. The matter at hand is resolving the privacy issues presented by home proposed for the Shady View Property. If the goal is developing an acceptable solution to resolve concerns, this reference is not helpful and should be removed from all future plans.

Finally, as you know, this is the third formal letter that we have submitted to the Town on this project. We have also conveyed our concerns to the Town an in-person meeting in mid-June and via email at the beginning of July. Since our concerns are still not being satisfactorily addressed, we think an all-hands meeting with the Town, applicant, developer and us at the Town's offices would be an appropriate next step.

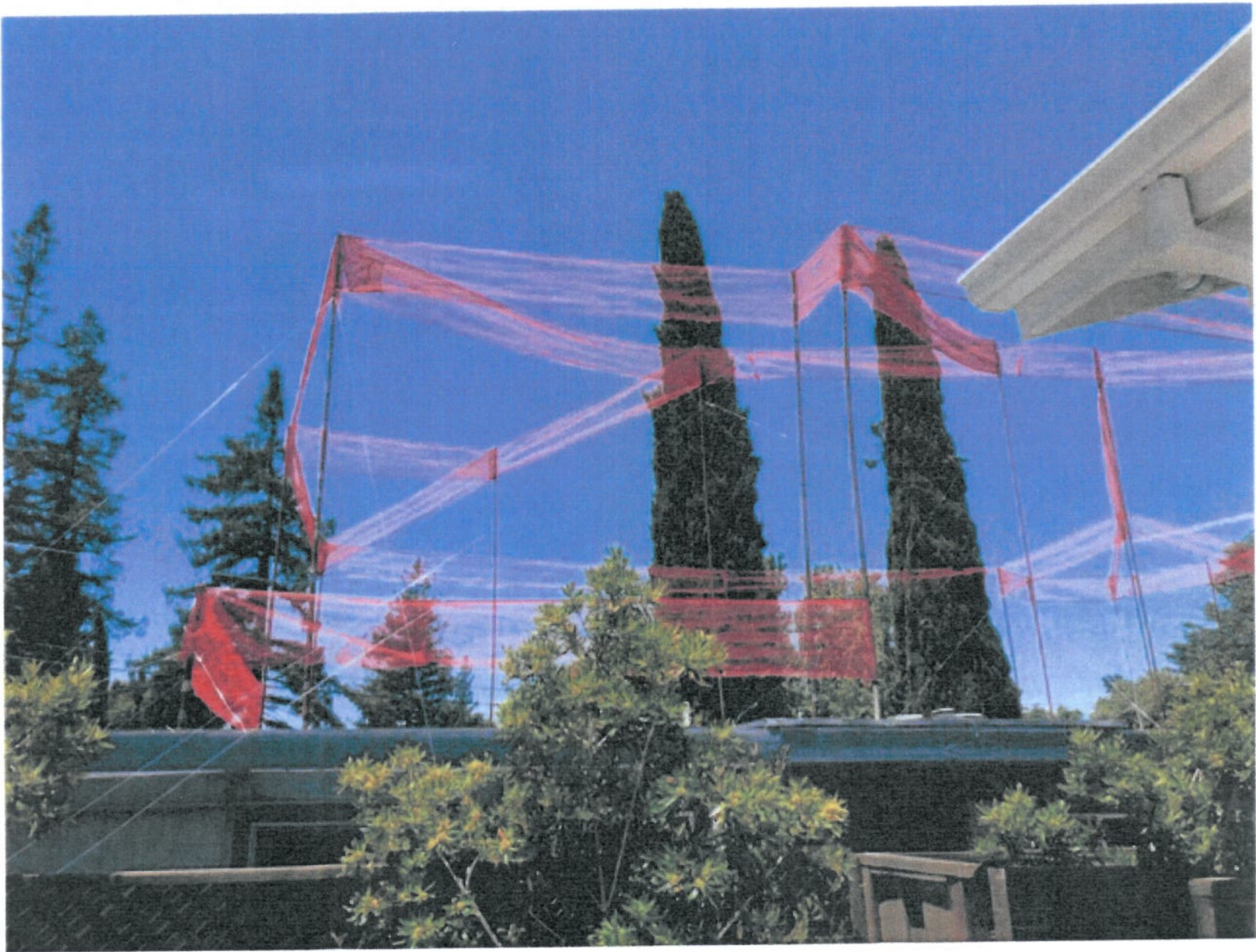
Respectfully,

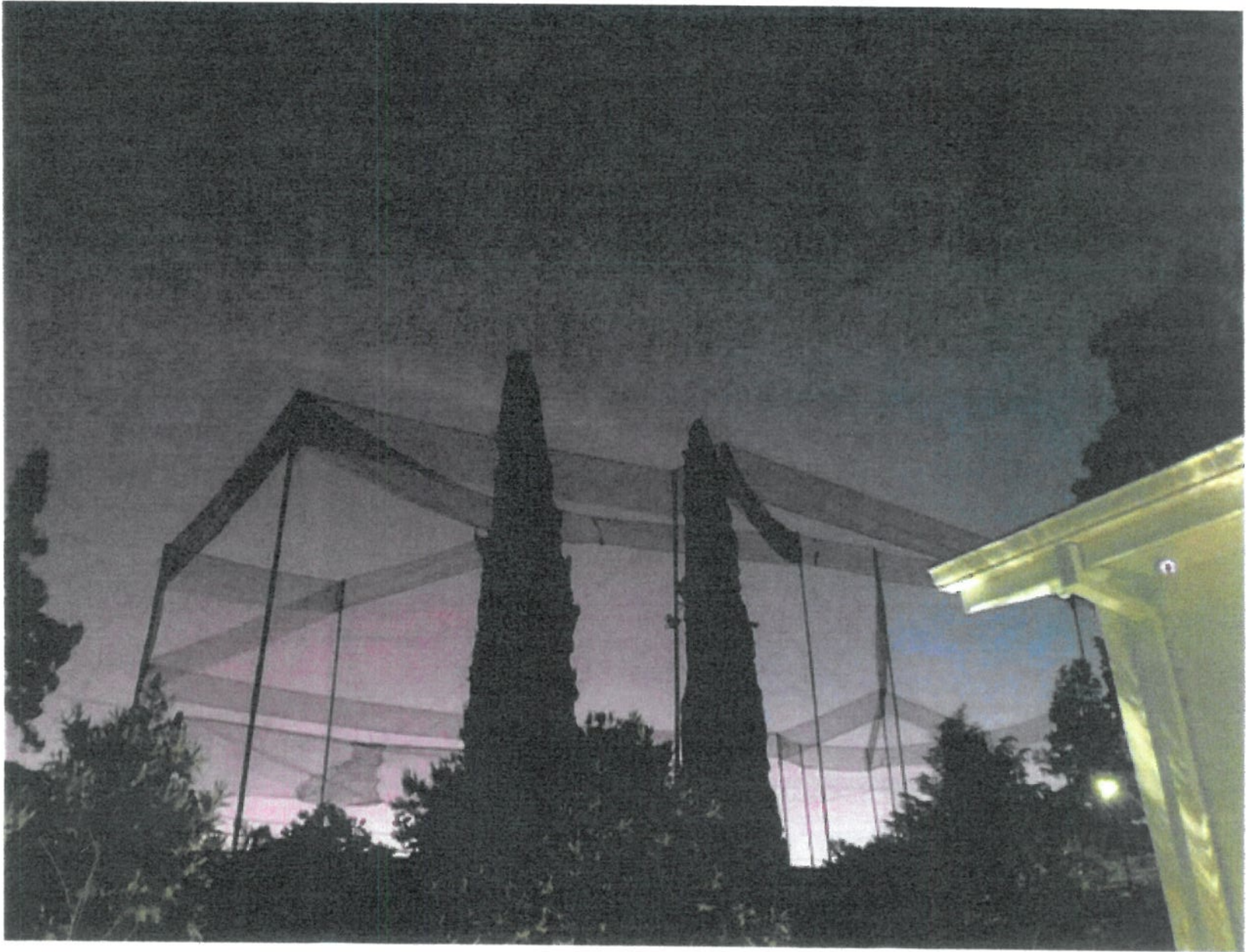


Matt & Carrie Currie
16330 Shannon Road
Los Gatos, CA 95032

Enclosures







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Ryan Safty
Planning Department
Town of Los Gatos
110 E Main St.
Los Gatos, CA 95031

Project Name: Coulson Residence
Project Address: 16336 Shady View Lane.
Date: 08/01/19
Response to neighbor concerns.

RECEIVED

AUG 02 2019

TOWN OF LOS GATOS
PLANNING DIVISION

Dear Mr. Safty,

The purpose of this letter is to respond to and address the latest concerns raised by the neighbor located at 16330 Shannon Road by letter dated July 30th 2019.

In our continued effort to accommodate the requests of the neighbor we feel that, short of removing the balcony altogether, further changes to the balcony would compromise its purpose. Therefore, we are not comfortable making any further changes to the current design.

With respect to the windows; no less than half of the windows are located in an area which is open to the first floor some 15 feet below. The remaining windows were previously reduced in size and placed above eye level. And in the case of the bathroom window, shown as obscured. Therefore, we stand by the current design as it is proposed.

Speaking to the privacy screening trees; our last effort increased the size and number of trees thus extending the distance of the screen. Adding more trees to this screen would further compromise the sun exposure for the pool as well as the proposed hardscape area. Therefore, we are not comfortable making any further changes to the current design. The reference to 15-gallon trees is an obvious type-o and will be corrected.

The references to the non-conforming structure on the neighbor's property were added at the request of the town and cannot be removed. It is our understanding that there is no record of permit with the town for this structure.

We respectfully decline the invitation to an all-hands meeting and defer any further discussion to the scheduled DRC meeting August 13th at 10:00am.

Please feel free to contact me with any questions.

Regards,
Jim Whitney
De Mattei Construction
1-408-350-4200

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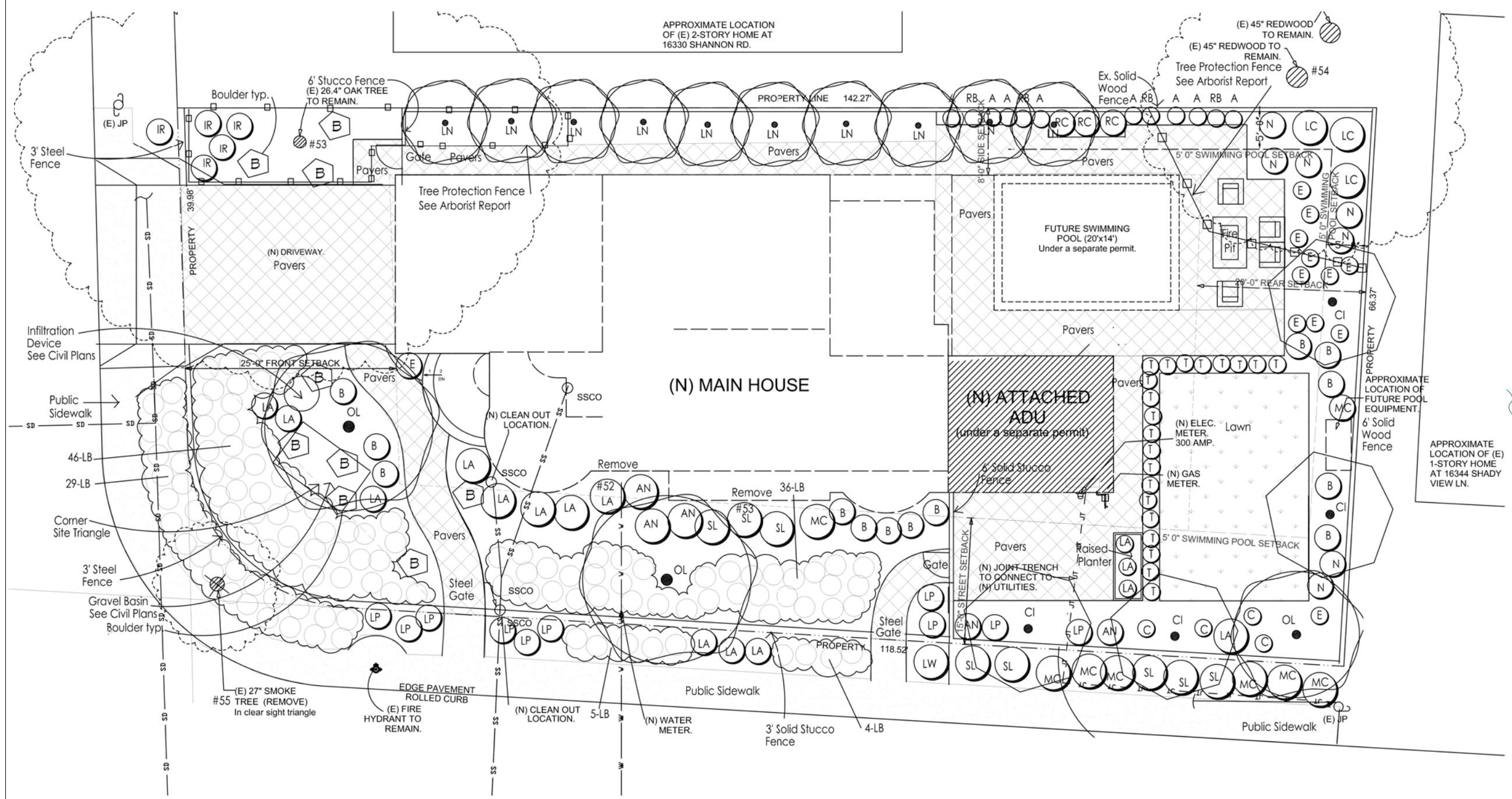
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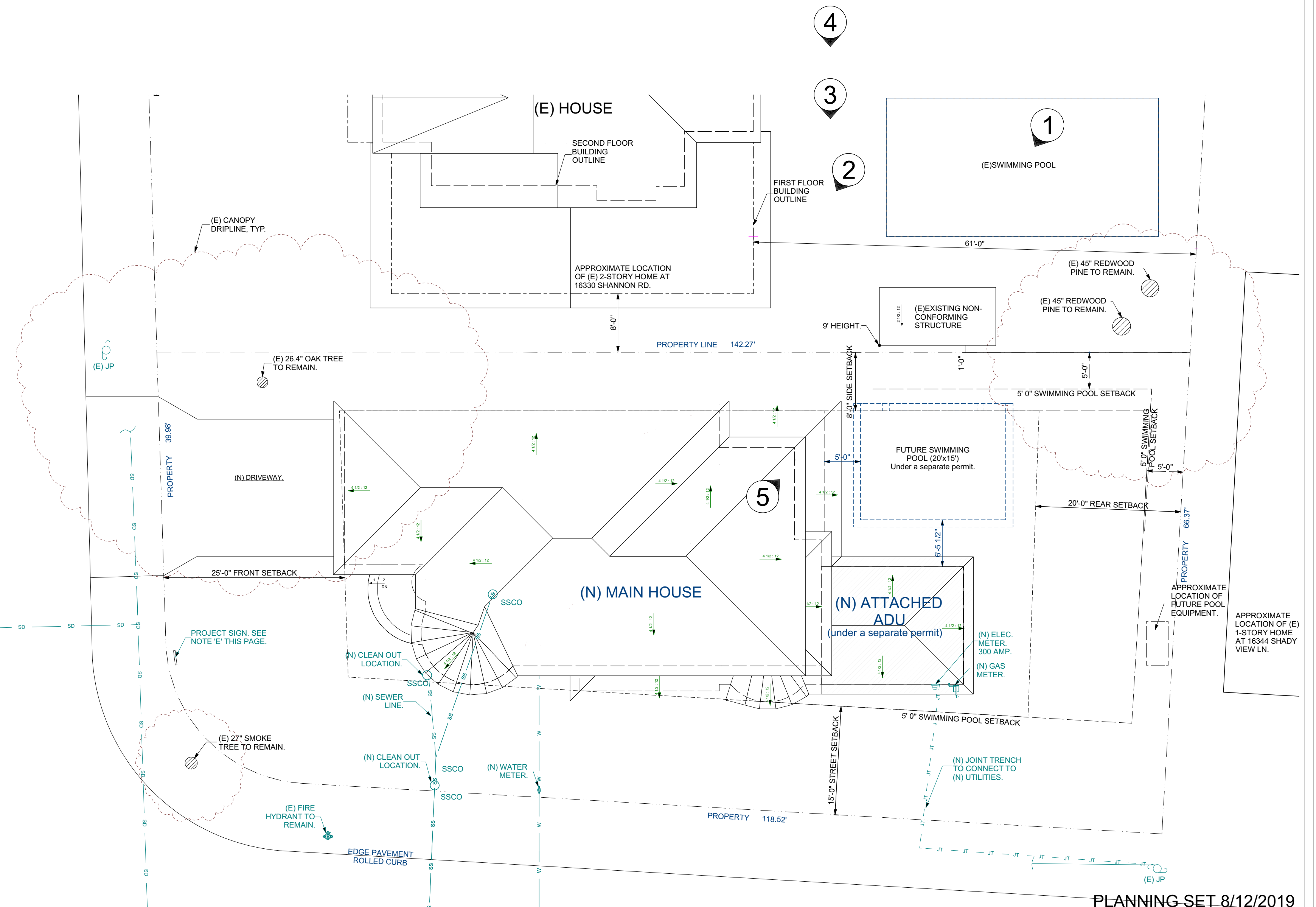
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5



SHANNON RD.
(50' R.O.W.)



PLANNING SET 8/12/2019

DISCLAIMER:
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INFORMATION THAT IS INTENDED FOR
YOUR USE ONLY. IT IS NOT TO BE
REPRODUCED OR TRANSMITTED IN
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OR BY ANY INFORMATION STORAGE
AND RETRIEVAL SYSTEM, WITHOUT
THE WRITTEN PERMISSION OF
DEMATTEI CONSTRUCTION, INC.
EVEN IF THE DRAWINGS ARE
IDENTIFIED AS SUCH.

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

DRAWINGS PROVIDED BY:
DeMattei Construction, Inc.
1794 The Alameda, San Jose CA, 95126
P: (408) 295-7516
F: (408) 286-6589
LIC # B-476455

DATE:
12/17/2018

SCALE:
As shown

DRAWN BY:
LL / JW

SHEET:

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**TOWN OF LOS GATOS
DEVELOPMENT REVIEW
COMMITTEE REPORT**

**MINUTES OF THE DEVELOPMENT REVIEW COMMITTEE MEETING
AUGUST 13, 2019**

The Development Review Committee of the Town of Los Gatos conducted a Regular Meeting on August 13, 2019 at 10:00 a.m.

ROLL CALL

Present: Sally Zarnowitz, CDD Planning; Robert Gray, CDD Building; Kevin Bagley, PPW Engineering; Mike Weisz, PPW Engineering; Katherine Baker, SCCFD

MEETING CALLED TO ORDER AT 10:00 AM

PLEDGE OF ALLEGIANCE

Committee members recited the Pledge of Allegiance. The audience was invited to participate.

VERBAL COMMUNICATIONS

- None

PUBLIC HEARINGS

1. 16336 Shady View Lane
Architecture and Site Application S-18-060

Requesting approval for demolition of an existing single-family residence and construction of a new single-family residence on property rezoned R-1:8.
APN 532-03-034.

PROPERTY OWNER: Allan and Katty Coulson

APPLICANT: Lerika Liscano, De Mattei Construction

PROJECT PLANNER: Ryan Safty

Ryan Safty, Associate Planner, presented the staff report.

Opened Public Comment.

Matt Currie

- He lives at 16330 Shannon Road adjacent to the subject site and strongly opposes the project. He objects to the second floor balcony which impacts their privacy, and the second floor massing which is unarticulated along the side elevation facing their property. Their two-story home was leveraged to allow new construction that is

inappropriate, ignoring certain provisions of the Design Guidelines. Consistency and predictability are needed.

Carrie Currie

- She also lives at 16330 Shannon Road adjacent to the subject site and opposes the project. They had to articulate the roofline on their two-story house, and she had hoped for some sensitivity. She is concerned about the safety of the new driveway on Shannon Road, the massing of the second story along the side property line with a roofline that lacks articulation, and the privacy of the second story balcony that encroaches on their privacy. They tried to work with their neighbors in the construction of their house and would like to see collaboration here.

Bob Boschert

- He lives at 16310 Shannon Road near the subject site and received notice of the hearing for the new house.

The applicant noted that the project is more complicated because it is on a corner lot. They've worked to respond to the neighbors' requests by incorporating raised window sill heights and obscured glass at the second story along the side property line, increased setbacks and a screening wall at the second floor balcony, and additional trees added to the landscape plan to address privacy along the side property line.

Closed Public Comment.

Committee members discussed the matter.

MOTION: **Motion by Robert Gray to approve. Seconded by Mike Weisz.**

VOTE: **Motion passed unanimously.**

2. 56 Central Avenue

Architecture and Site Application S-18-050

Requesting approval for demolition of an existing accessory structure, construction of a new single-family residence with reduced setbacks, and removal of large protected trees on property zoned R-1:10. APN 529-35-068.

PROPERTY OWNER: Andrew and Ashley Bothman

APPLICANT: Richard Hartman

PROJECT PLANNER: Jocelyn Shoopman

Continued from July 30, 2019

Jocelyn Shoopman, Associate Planner, presented the staff report.

Opened Public Comment.

Ashley Bothman

- She and her husband are the applicants and look forward to raising their family in Los Gatos. They have worked to address their neighbors' concerns and build relationships.

Lesley Morley

- She lives at 60 Central Avenue adjacent to the subject site and opposes the reduced side setback along her property. She has requested that a survey be conducted prior to Planning approval, and the balconies be screened and reduced in size.

Susan Branch

- She lives at 7 Central Court and is concerned about the reduced side setbacks.

Andrew Bothman

- They have correspondence about the reduced side setbacks during the negotiations with the adjacent neighbor who sold them the property. They have agreed to raise the windows, screen the balcony, and plant six 15-gallon trees along the southern property line to achieve greater privacy.

Closed Public Comment.

Committee members discussed the matter.

MOTION: **Motion by Kevin Bagley to approve. Seconded by Robert Gray.**

VOTE: **Motion passed unanimously.**

OTHER BUSINESS

- None

ADJOURNMENT

The meeting adjourned at 10:30 a.m.

Prepared by:

/s/ Sally Zarnowitz, Planning Manager

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**TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT**
110 E. Main Street
Los Gatos, CA 95030

**APPEAL OF THE DECISION OF
DEVELOPMENT REVIEW COMMITTEE**

25444
PAID
AUG 22 2019
TOWN OF LOS GATOS

PLEASE TYPE or PRINT NEATLY

I, the undersigned, do hereby appeal a decision of the DEVELOPMENT REVIEW COMMITTEE as follows:

DATE OF DECISION: August 13, 2019

PROJECT/APPLICATION: Application No. S-18-060 (16336 Shady View Lane, Los Gatos, CA.)

LOCATION: 16336 Shady View Lane, Los Gatos, CA

LIST REASONS WHY THE APPEAL SHOULD BE GRANTED:

Please see attached letter

(If more space is needed, attach additional sheets.)

IMPORTANT:

1. Appeal must be filed not more than ten (10) days after the decision is rendered by the Development Review Committee. If the tenth (10th) day is a Saturday, Sunday, or Town holiday, then the appeal may be filed on the workday immediately following the tenth (10th) day, usually a Monday.
2. The appeal shall be set for the first regular meeting of the Planning Commission which the business of the planning commission will permit, more than five (5) after the date of the filing of the appeal. The Planning Commission may hear the matter a new and render a new decision in the matter.
3. You will be notified, in writing, of the appeal date.
4. Contact the project planner to determine what material is required to be submitted for the public hearing.

RETURN APPEAL FORM TO COMMUNITY DEVELOPMENT DEPARTMENT

PRINT NAME: Matt Currie SIGNATURE: *Matt Currie*

DATE: August 21, 2019 ADDRESS: 16330 Shannon Rd., Los Gatos, CA

PHONE: (408) 476-2520 EMAIL: mattcurrie@me.com

OFFICE USE ONLY

DATE OF PLANNING COMMISSION HEARING: _____

COMMISSION ACTION: 1. _____ DATE: _____

2. _____ DATE: _____

3. _____ DATE: _____

PLAPPEAL \$ 221.00 Residential
PLAPPEAL \$ 882.00 Commercial
PLAPPEAL \$ 90.00 Tree Appeals



**MILLER STARR
REGALIA**

1331 N. California Blvd.
Fifth Floor
Walnut Creek, CA 94596

T 925 935 9400
F 925 933 4126
www.mslegal.com

Nadia L. Costa
Direct Dial: 925 941 3235
nadia.costa@mslegal.com

August 22, 2019

Planning Division
Town of Los Gatos
Civic Center
110 E. Main Street
Los Gatos, CA 95030

Re: Notice of Appeal of August 13, 2019 Development Review Committee Decision Regarding Application No. S-18-060 (16336 Shady View Lane, Los Gatos, CA.)

Dear Town of Los Gatos Planning Department:

This office represents Matthew and Carrie Currie (the "Curries") in their appeal of the Town Development Review Committee's ("DRC") August 13, 2019 approval of Architecture and Site Application S-18-060 (the "Application").¹ The Application sought approval to demolish an existing house and construct a new residence at 16336 Shady View Lane ("Shady View Project"), which lies immediately to the west of the Curries' home. As set forth below, the Shady View Project violates several of the Town's Residential Design Guidelines and the core principles of land use consistency and compatibility underlying the Town's General Plan and zoning code, and specifically its Community Development Guidelines. This will result in significant unlawful impacts to the Currie residence and surrounding neighborhood. Accordingly, the Commission should withdraw the DRC's approval of the Application and require the Application to be resubmitted in a manner that complies with the Town's Residential Design Guidelines and that is sensitive to the Curries' and other neighbors' concerns.

In submitting this appeal, the Curries wish to emphasize that they *do not* oppose re-development at 16336 Shady View Lane. The Curries only ask that such development be done in conformance Town code and guidelines, and with the same respect for surrounding residences that the Curries and other neighbors have shown when developing their own properties. With this in mind, the Curries fully intend to exhaust all of their legal rights to enforce applicable laws and guidelines enacted to protect their right to use and enjoy their property.

¹ Pursuant to Town Code section 29.20.260, this letter and the attached form constitute the Curries' Notice of Appeal of the DRC's approval of the Application. The Curries reside at 16330 Shannon Road, within 1,000 feet of Project property, meaning that the Curries are interested parties for the purposes of Municipal Code section 29.10.020.

I. The Shady View Project

As currently designed, the Shady View Project would cause significant detrimental view, aesthetic, visual and privacy impacts to the Curries' residence. As currently designed, the Shady View Project would result in the construction of an approximately 2,700 square foot structure, including a sheer, two-story building wall, 8 feet from the shared property line that runs the entire length of the Curries' home and approximately 10 feet beyond the back of their residence. Approved plans call for several second-story windows to be constructed that directly overlook the Curries' home and yard. The Shady View Project also calls for construction of a large second floor balcony that would peer directly down into and intrude upon the Curries' back yard. These design elements would unacceptably interfere with the Curries' sense of privacy and their ability to use and enjoy their home.

The Curries outline the bases for their appeal below.

II. Bases for Appeal

This appeal incorporates and re-asserts the concerns raised in the Curries' May 7, June 13, and July 30, 2019 letters to the Town, which are attached and incorporated hereto as **Exhibit A**. These concerns include:

1. The Application violates Section 1.4 (Community Expectations) of the Town's Residential Design Guidelines. Among other things, this section requires that "[h]omes will be designed with respect for the views, privacy and solar access of their neighbors."
2. The Application violates Section 2.5.2 (Design with Sensitivity to Adjacent Neighbors) of the Town's Residential Design Guidelines. Among other things, this section provides that "new homes should be planned with awareness of the impacts which they will have on the views, sky exposure, sun access and privacy of neighbors."
3. The Application violates Section 3.3.2. (Height and Bulk at Front and Side setbacks). Among other things, this section directs applicants to "[g]ive special attention to adopting to the height and massing of adjacent homes."
4. The Application violates Section 3.11.1 (Minimize shadow impacts on adjacent properties) of the Town's Residential Design Guidelines. Among other things, this section directs applicants to "[l]ocate structures to minimize blocking sun access to living spaces and actively used outdoor areas on adjacent homes."
5. The Application violates Section 3.11.2 of the Residential Design Guidelines. Among other things, this section provides that "Second-floor balconies and

decks should be used only when they do not intrude on the privacy of adjacent neighbors"; and "when windows are needed and desired in side building walls, they should be modest in size."

The Shady View Project also violates several core provisions of the Town's Community Design Guidelines within the Town's General Plan, for example:

1. The Application violates General Plan goal CD-1, which among other things, includes the following policies: (a) "[b]uilding elements to be in proportion with those traditionally in the neighborhood."; (b) "new structures, remodels, landscapes... shall be designed to harmonize and blend with the scale and rhythm of the neighborhood and natural features in the area."; and (c) "[t]own staff shall evaluate projects to assess how built characteristics, including scale, materials...and landscape, blend into the surrounding neighborhood."
2. The Application violates the General Plan's goal CD-2, which is intended to "limit the intensity of new development to a level that is consistent with surrounding development and with the Town at large."
3. The application violates General Plan Goal CD-6, which includes the following relevant policies: (a) "[r]educe the visual impact of new construction and/or remodels on the Town and its neighborhoods"; (b) "[b]alance the size and number of units to achieve appropriate intensity"; (c)"[e]ncourage basements and cellars to provide "hidden" square footage in lieu of visible mass; and (d); "[n]ew homes shall be sited to maximize privacy, livability....and adequate solar access and wind conditions."

More generally, the Town's approval of the Shady View Project would significantly impact the Town's land use consistency and compatibility policies that are bedrock principles in the Town's General Plan and Zoning Code.

As an additional basis for appeal, the Shady View Project failed to comply with the Town's Height Pole and Netting Policy for New Construction. Specifically, Section III (E) of that policy requires project identification signs to be posted that identify the square footage of new construction, as well as provide color perspective and three dimensional or photographic simulations of the new construction. The project identification sign posted for the Shady View Project did not comply with these requirements.

Finally, the Curries are concerned because it appears that the Town applied a different standard when approving the Shady View Project than was applied to the Curries' and other neighbors when they undertook prior construction and remodeling projects. For example, the Curries undertook extensive efforts when remodeling their residence to protect neighbors' privacy, including enhanced second-floor setbacks, heightened and obscured second-level windows, and minimization of size and massing of the Curries' second-floor. These design elements were

incorporated to conform with the Town's residential and community design guidelines, and to preserve neighbors' privacy while minimizing other detrimental impacts. We ask that the Town apply the same standards to the Shady View Project that were applied to the Curries' and other previous projects.

III. CONCLUSION

For the foregoing reasons, the Curries request that the Planning Commission rescind the Development Review Committee's August 13, 2019 approval of the Application. The Shady View Project applicants should be required to re-submit an application that complies with the Town's clear development standards, design guidelines and land use policies and that reasonably takes into account the concerns of the Curries and other impacted neighbors.

Very truly yours,

MILLER STARR REGALIA



Nadia L. Costa

NLC
Attachments

cc: Travis A. Brooks, Miller Starr Regalia
Matthew Currie
Carrie Currie

Exhibit A

May 7, 2019

VIA US MAIL and EMAIL

Town of Los Gatos
Planning Division
Civic Center
110 E. Main Street
Los Gatos, California 95030
Email: planning@LosGatosCa.gov

Re: 16336 Shady View Lane, Los Gatos, CA

Dear Town of Los Gatos Planning Department:

My wife Carrie and I live at 16330 Shannon Road, next door to 16336 Shady View Lane, Los Gatos, CA (the "Shady View Property"). Recently, we were surprised to learn that the Shady View Property was being offered for sale since the property had been just been sold by its long time owners in September 2018. Our surprise quickly grew into concern as we took a closer look at the MLS listing for the Shady View Property and learned that it is being marketed as having "[p]ermits will be ready in June for 2700+ sq ft home with option to add a 1300 sq ft basement. Potential for over 4000 sq ft home!" Earlier this year the current owner of the Shady View Property introduced himself and indicated that he was looking to tear down the existing home on the property and would soon be providing us with draft plans to review. Needless to say, we have never been consulted with on proposed development plans for the Shady View Property. We are extremely concerned that a new home may be constructed next door to our family home that has not considered the impacts that their project will have on immediate neighbors. This includes protecting the privacy on neighboring properties, shade/shadow impacts, adverse impacts to protected trees, street safety, neighborhood fit or the same rigorous town planning process that my wife and I, along with countless other neighbors worked through in order to obtain the permits necessary to construct our current homes.

As you know, Section 1 (Introduction) of the Town's Residential Design Guidelines includes the following general planning advice - "[m]eetings with your neighbors to discuss their concerns and your designs are strongly encouraged."

Section 1.4 (Community Expectations) of the Town's Residential Design Guidelines requires that "[h]omes will be designed with respect for the views, privacy and solar access of their neighbors."

Section 2.5.2 (Design with Sensitivity to Adjacent Neighbors) of the Town's Residential Design Guidelines provides that "new homes should be planned with awareness of the impacts which they will have on the views, sky exposure, sun access and privacy of neighbors."

Section 3.11.1 (Minimize shadow impacts on adjacent properties) of the Town's Residential Design Guidelines instructs to "[l]ocate structures to minimize blocking sun access to living spaces and actively used outdoor areas on adjacent homes."

Our expectation is that any planning process for the Shady View Property will follow the Town's Residential Design Guidelines as well as the Town's height and structure coverage limitations, setbacks and all applicable codes.

Beyond this, it is critically important to us that the owner of the Shady View Property meet with my wife and I to discuss their design ideas and to listen to our concerns and priorities. This is the same courtesy that my wife and I extended to our neighbors before we embarked on our own planning process. In fact, before settling on a design approach for our home, my wife and I obtained letters of support from each of our immediate neighbors confirming that we considered their privacy and that our home would comfortably fit with and enhance our neighborhood.

We would like to remind the Town that our entire second level has been designed to protect the privacy of our neighbors. Our home has a 20' setback on the left side. This, along with designing high windows on the left side elevation gives the neighbor to the east the same privacy he has historically enjoyed. For the right side elevation adjacent to the Shady View Property, we designed a one-story element at the 8' side setback. The balance of the second level was setback an additional 15' to 21' creating a setback of over 20' from the property line. The two small windows that face west have obscured glass to maintain privacy and create articulation in the design. In fact, our entire second level was designed towards the middle of the width of our lot allowing most of the second level to maintain a minimum of a 20' setback from the property lines. The proportions of our second level were minimized where possible. As mentioned above, our neighbors fully supported our home plan and indicated so in writing.

We urge the Town to require the owner of the Shady View Property to engage in a design, entitlement and development process that considers our concerns and priorities, minimizes impacts to neighbors, protects privacy wherever possible and requires adherence to Town codes, regulations and guidelines.

Respectfully,



Matt Currie

June 13, 2019

VIA E-MAIL AND HAND DELIVERY

Town of Los Gatos
Planning Division
Civic Center
110 E. Main Street
Los Gatos, California 95030
Email: planning@LosGatosCa.gov

Re: 16336 Shady View Lane, Los Gatos, CA (the "Shady View Property")

Dear Town of Los Gatos Planning Department:

Following our May 7, 2019 letter to the Town about the Shady View Property, we met with the Allan and Katty Coulson (the owners of the Shady View Property) on May 31, 2019. During this meeting were only given a cursory look at the Coulson's plans, but learned that they plan to load the tallest portions of their proposed home 8 feet from our property line. The left side of the home proposed for the Shady View Property rises at least 26 feet from the minimum permitted side setback with very little to no articulation to relieve us from the massing towering over our side yard. Beyond this, the Coulson's have designed a second story balcony that opens to views of our yard and home from the left hand side and rear of the home. It was incredibly frustrating to learn that neither the Coulson's nor the town seem to be following the principals laid out in the Town of Los Gatos' Residential Design Guidelines.

These include:

- 1) Section 2.5.2 Design with sensitivity to adjacent neighbors [which provides in part]: "new homes should be planned with an awareness of the impacts which they will have on the views, sky exposure, sun access and privacy of neighbors."
- 2) Section 3.3.2 Height and bulk at front and side setbacks [which provides in part]: "Give special attention to adopting to the height and massing of adjacent homes."
- 3) Section 3.11.2 Minimize privacy intrusions on adjacent residences [which provides in part]: "second floor balconies and decks should be used only when they do not intrude on the privacy of adjacent neighbors."

To comply with these principals, at the right side elevation of our home adjacent to the Shady View Property, we designed a one-story element that tops out at 21 feet at the top of a gabled roof. The balance of our second level on the right side of our home is setback an additional 15 to 21 feet creating a setback of over 20 feet from the property line for the tallest elements of this side of our home. We also set back our home 20 feet from the

property line on the left side. This, along with designing high windows on the left side elevation gives our neighbor to the east the same privacy that he has historically enjoyed. The same awareness to minimizing the impact of their home and protecting neighbor privacy has not been contemplated in the current design plans for the Shady View Property.

Making this situation even more frustrating is that as of the date of this letter, the Shady View Property is up for sale. It is easy to understand that someone who does not appear to be vested in establishing roots in our neighborhood would not understand the care and attention that long term residents have taken to minimize the impact of their homes on their neighbors, and to properly fit into the neighborhood. As you likely know, in the current market, a teardown with ready to build plans is significantly more valuable than one without entitlements. We are exceedingly concerned that Shady View Property will ultimately be sold to a developer who will care even less about the impacts that this project will have on neighboring properties. We strongly object to the current design of the home proposed for the Shady View Property.

At this point, our primary concerns are:

- 1) Reducing the height and massing of side of the proposed home adjacent to our shared property line;
- 2) Stepping down the rear of the proposed home (that extends beyond the rear of our home) to a one story element similar to the way we have stepped down our home;
- 3) Removing the second floor balcony;
- 4) Removing windows that look directly onto our home and backyard; and
- 5) Considering other modifications that will minimize the impact of the home proposed for the Shady View Property on us.

We would also like the City to explain the planning status of the Shady View Property and the timing for a public hearing on this project.

Again, we urge the Town to require the owner of the Shady View Property to engage in a design, entitlement and development process that considers our concerns, minimizes impact of this house on us, protects our privacy wherever possible, and requires adherence to the Town's residential design guidelines in addition to all applicable codes and regulations.

Respectfully,

A handwritten signature in black ink, appearing to read "Matt & Carrie Currie". The signature is written in a cursive, flowing style.

Matt & Carrie Currie

July 30, 2019

VIA E-MAIL AND US MAIL

Town of Los Gatos
Planning Division
Civic Center
110 E. Main Street
Los Gatos, CA 95030
Attn: Ryan Safty
Email: planning@LosGatosCa.gov

Re: 16336 Shady View Lane, Los Gatos, CA (the "Shady View Property")

Dear Ryan and Planning Division:

This letter is written in response to the July 18, 2019 letter from Jim Whitney of De Mattei Construction concerning the Shady View Property. While we appreciate this initial attempt to mitigate the impacts of the proposed home, the changes proposed in the July 18 letter fall short.

First, the second story rear balcony remains a significant privacy concern. Even with the relatively minor adjustments proposed in the July 18 letter, the proposed second-floor balcony still opens to views of our private living spaces from the rear of the proposed home. Since the balcony is perched at the far rear corner of the proposed home, it can be seen from nearly every area in our back yard. Please keep in mind that we designed our home to maximize year-round indoor/outdoor living, so the thought of our neighbors peering down onto our outdoor spaces is very problematic. This combined with the location of the balcony that hugs the side set back makes this element of the proposed home appear to be located in our backyard. I have included various pictures of this privacy-invading element. Again, we would like to remind the applicant, the developer and the Town of the following principals laid out in Section 3.11.2 of Town of Los Gatos' Residential Design Guidelines titled - *Minimize privacy intrusions on adjacent residences*. This section provides in part:

"Second-floor balconies and decks should be used only when they do not intrude on the privacy of adjacent neighbors"; and

"When windows are needed and desired in side building walls, they should be modest in size..."

We believe that we have been clear and consistent with the applicant and the Town on multiple occasions stating that this element intrudes on our privacy. We strongly oppose any development plan for the Shady View Property with a second-floor rear balcony.

Next, the proposed plan indicates that there will be no less than 8 windows in second-story living spaces facing our home and yard. We request a reduction in the size and quantity of the windows

on this side of the proposed home. Keep in mind that the reason this side of the proposed home is so impactful is that there has been no attempt to reduce the massing on this side of the home. In contrast, to mitigate the impact on our neighbor, the Town required us to minimize the massing of our second story and reduce the height and number of windows on this side of our home. We expect the same courtesy to be extended to us. The July 18 letter also indicates that the height of some windows have been raised above eye level, but the proposed plans do not indicate their specific height above the floor plate.

Since the massing on this side of the home is so impactful, we request that the applicant extend the 24-inch box privacy screening trees along our shared property line all the way to the edge of the redwood canopy. The applicant's enclosed plans incorrectly indicate that there will be 15-gallon screening trees. We also request that the Town require the applicant (at their cost) to install a 2-foot extension of the existing fence to bring the fence up to 10 feet. Another concern raised by the applicant's latest plan is a future swimming pool that edges precariously close to the canopy of the redwood tree. As you likely know, a redwood tree's root system is quite sensitive. We expect the Town and applicant to assume all liability for any damage to or from the redwood tree from and after pool installation.

One more point that we feel compelled to mention are references in applicant's plans to a non-conforming element on our property. Not only are these references incorrect, but they are unnecessary. The matter at hand is resolving the privacy issues presented by home proposed for the Shady View Property. If the goal is developing an acceptable solution to resolve concerns, this reference is not helpful and should be removed from all future plans.

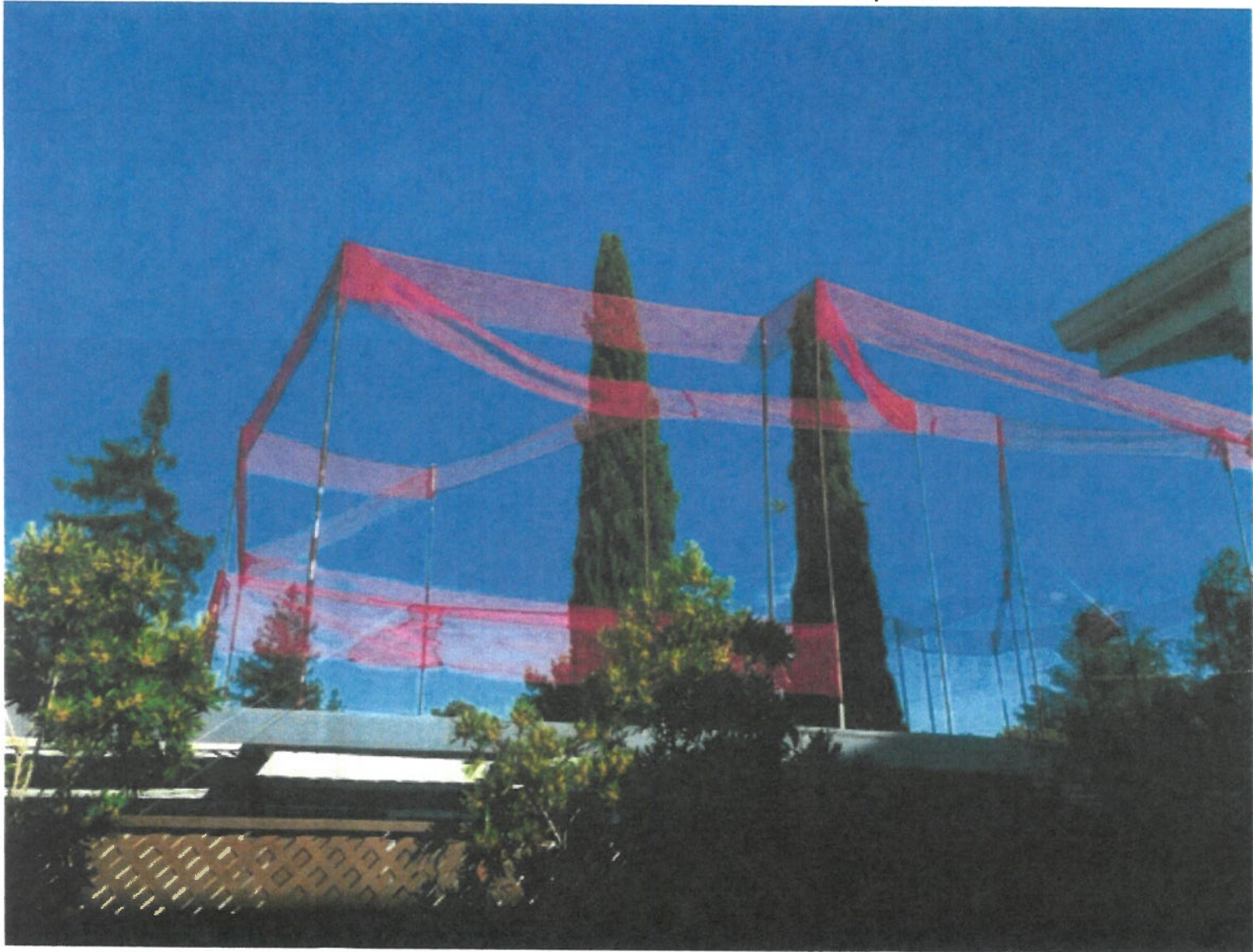
Finally, as you know, this is the third formal letter that we have submitted to the Town on this project. We have also conveyed our concerns to the Town an in-person meeting in mid-June and via email at the beginning of July. Since our concerns are still not being satisfactorily addressed, we think an all-hands meeting with the Town, applicant, developer and us at the Town's offices would be an appropriate next step.

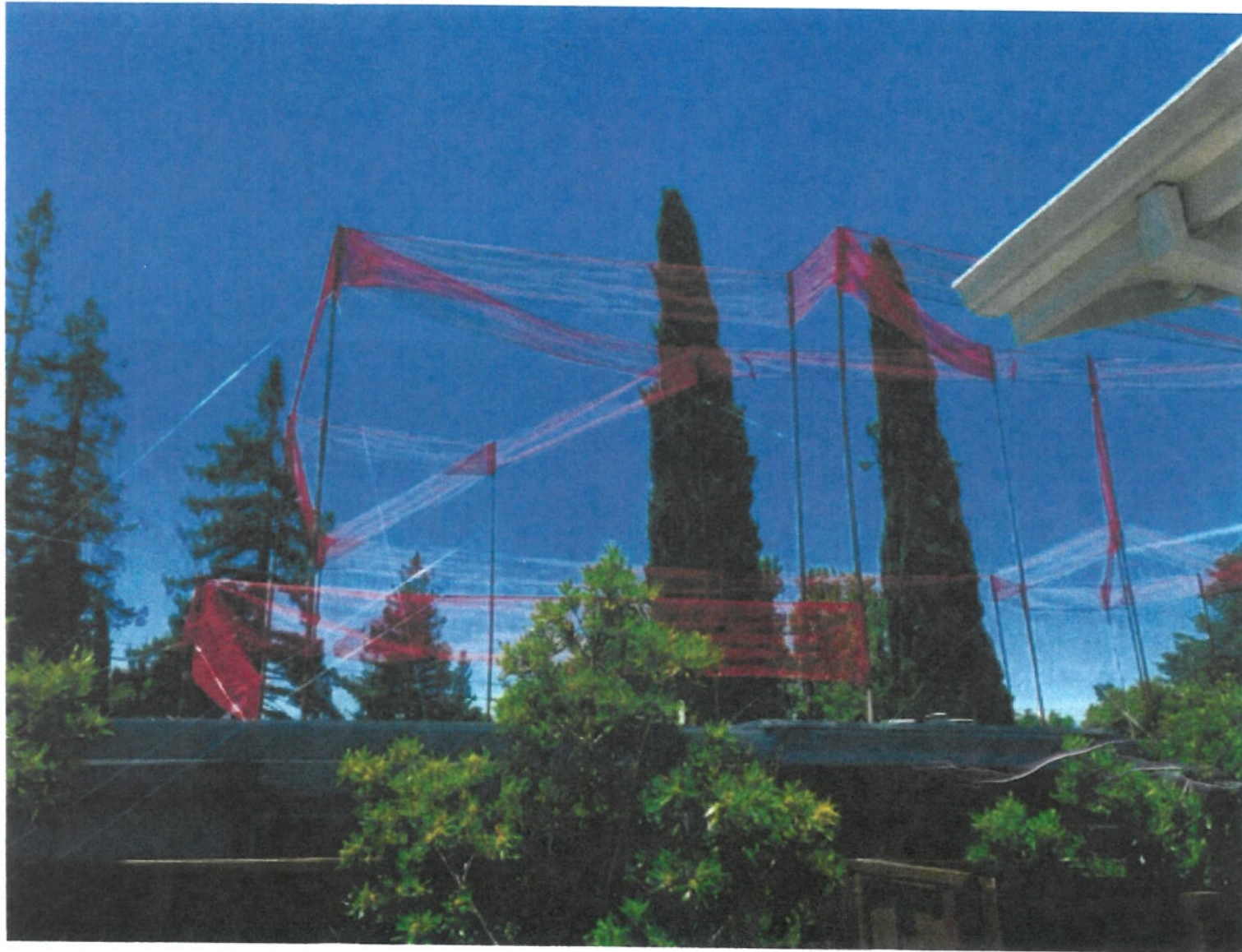
Respectfully,



Matt & Carrie Currie
16330 Shannon Road
Los Gatos, CA 95032

Enclosures







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Ryan Safty
Planning Department
Town of Los Gatos
110 E Main St.
Los Gatos, CA 95031

Project Name: Coulson Residence
Project Address: 16336 Shady View Lane.
Date: 09/10/2019
Planning Appeal Response Memorandum.

Dear Mr. Safty,

The purpose of this memorandum is to respond to the letter of appeal dated August 22nd 2019.

During the course of the DRC approval process, many incremental changes were made in response to the Currie's predominately privacy based concerns. Some of these concessions included but were not limited to: raising and resizing Easterly facing windows, reducing the size and adding a wall at the east side of the South facing balcony, and providing privacy screening trees along the shared property line. In our most recent effort to show our willingness to work with the Currie's, we informed them of our petition the town to reduce the street-side setback at Shady View Lane. This would effectively increase the distance between the homes by an additional 4.5 feet.

We have worked with the town and its' consultants to ensure that the design is consistent with the zoning and town design guidelines. Further, we have followed the procedures and regulations set forth and regulated by the town and their policies. We feel that through this process we have reached a design that is not only functional to our clients' needs but is also compatible with the neighborhood. This sentiment is also echoed by the surrounding neighbors with their letters of support for the project.

Please feel free to contact me with any questions.

Regards,
Jim Whitney
De Mattei Construction
1-408-350-4200

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Ryan Safty

From: Jim Whitney <jimw@demattei.com>
Sent: Friday, September 6, 2019 1:55 PM
To: mattcurrie@me.com; carriecurrie15@gmail.com
Cc: Linda Baron; Lerika Liscano; Shawn Clevenger; Ryan Safty; Sally Zarnowitz
Subject: 16336 Shady View Lane Development
Attachments: Coulson - Setback Reduction Exhibit - 2019-09-06.pdf

Follow Up Flag: Follow up
Flag Status: Completed

RECEIVED

SEP 06 2019

TOWN OF LOS GATOS
PLANNING DIVISION

Hello Carrie & Matt,

I hope this email finds you well.

We have been busy looking for creative methods to mitigate our current impasse and feel that we have come up with a solution. In your letters you have voiced your concern regarding the close proximity of the two-story portion of the home. As you know, our options to locate the home are quite limited due to the size and shape of the lot, and thus placed it on the minimum 8'-0" side setback line.

That said, in following with the concept of "Neighborhood Context" and using the reduced street side setback of the home directly across Shady View as precedent, we are proposing to move the home towards Shady View. This will increase the distance between the homes by approximately 4 ½ feet. This change is something that the Town is willing to take under consideration and our hopes are that you will as well.

As you will see in the attached exhibit, views of the home from your yard as well as views on to your property have been improved. We hope that this change in addition to those prior will be acceptable to you in our effort to satisfy your concerns.

We look forward to hearing your feedback and please let us know if you have any questions or wish to discuss further.

Thank You,
Jim Whitney
Architectural Project Manager,
IT Oversight

De Mattei
Construction Inc.

GENERAL CONTRACTOR

Building Relationships

1794 The Alameda
San Jose, CA 95126
408.350.4200 p
408.674.0440 c
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**MILLER STARR
REGALIA**

1331 N. California Blvd.
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Walnut Creek, CA 94596

T 925 935 9400
F 925 933 4126
www.mslegal.com

Nadia L. Costa
Direct Dial: 925 941 3235
nadia.costa@msrlegal.com

September 19, 2019

RECEIVED

SEP 19 2019

**TOWN OF LOS GATOS
PLANNING DIVISION**

VIA E-MAIL AND U.S. MAIL

Jim Whitney
Architectural Project Manager
IT Oversight
1794 The Alameda
San Jose, CA 95126
E-Mail: jimw@demattei.com

Re: 16336 Shady View Lane Development

Dear Mr. Whitney:

As you may know, this office represents Matthew and Carrie Currie in their appeal of the Town of Los Gatos Development Review Committee's (DRC) approval of your clients' Architecture and Site Application S-18-060 to construct a new residence (the "Project"). The Curries received your September 6, 2019 email and appreciate your efforts to mitigate some of the impacts that the Project would have on their residence by moving the Project towards Shady View an additional 4 ½ feet. However, the Curries still have concerns regarding the updated Project and the impacts it will have - in violation of the Town's Residential Design Guidelines - on the Curries' privacy.

We note that the revised Project still is out of proportion to the surrounding neighborhood and has impacts on views, privacy, and sunlight that violate various Residential Design Guidelines. The Curries remain especially concerned with your clients' proposed rear balcony. As the Curries noted in their August 22, 2019 appeal, Section 3.11.2 of the Residential Design Guidelines provides that "[s]econd floor balconies and decks should be used only when they do not intrude on the privacy of adjacent neighbors..." The Curries simply will not allow the Project to move forward with a balcony that so clearly violates this guideline and the Curries' privacy.¹ Accordingly, the Curries respectfully request that you remove or relocate the balcony in a manner that conforms with the clear language of the Town guidelines.

¹ The Curries also strongly disagree with the characterization, on Project plans, of the Curries' rear pergola as an existing "non-conforming structure". To the contrary, the pergola is *expressly* permitted at its present location under Town Municipal Code section 29.40.015(B)(2).

Jim Whitney
September 19, 2019
Page 2

The Curries are open to resolving this matter without resort to further legal process. However, they will continue enforce their rights under Town guidelines to the fullest extent necessary to ensure the future use, privacy, and enjoyment of their home. Please contact me as soon as possible to explore possible solutions to this impasse.

Very truly yours,

MILLER STARR REGALIA



Nadia L. Costa

CC:
Laurel Prevetti, Town Manager
Robert Schultz, City Attorney
Azhar Khan, City Planner
Matthew Currie

NLC/TZB

Ryan Safty

From: Jim Whitney <jimw@demattei.com>
Sent: Thursday, September 26, 2019 11:10 AM
To: April Kee
Cc: Town Manager; Attorney; mattcurrie@me.com; Nadia Costa; Shari Santos; CRMC_56221_Currie_Matthew and Carrie_16336 Shady View Lane Los Gatos_Correspondence; Ryan Safty; Lerika Liscano
Subject: RE: 16336 Shady View Lane Development [IWOV-iManage.FID1007514]
Attachments: Coulson - Privacy Exhibit - 2019-08-25.pdf; Coulson_16336 Shady View - Letter to Curries - 2019-09-27.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

RECEIVED

SEP 26 2019

TOWN OF LOS GATOS
PLANNING DIVISION

April,

Attached please find our letter of response as well as some additional documentation. Let it be known, that to show our continued effort to compromise, we have elected to remove the balcony from the design. The accompanying documentation as well as a link to a 3D model will further demonstrate our intentions and hopefully answer any outstanding questions or concerns.

Link to 3D model (Please note that once the model has loaded, click Rendering Techniques and select Standard to see more detail as well as the trees.):

<https://3d-viewer.chiefarchitect.com/go?share=222751530517376>

Also, please note that Azhar Kahn (akhan@losgatosca.gov) is no longer with the Town of Los Gatos. Ryan Safty (rsafty@losgatosca.gov) is the new planner assigned to this project and has been copied on this email.

Thank You,

Jim Whitney
Architectural Project Manager,
IT Oversight

De Mattei
Construction Inc.



Building Relationships

1794 The Alameda
San Jose, CA 95126
408.350.4200 p
408.674.0440 c
[website](#) | [facebook](#) | [Houzz](#)

From: April Kee [mailto:AZK@msrlegal.com]
Sent: Thursday, September 19, 2019 2:31 PM
To: jimw@demattei.com
Cc: manager@losgatosca.gov; attorney@losgatosca.gov; akhan@losgatosca.gov; mattcurrie@me.com; Nadia Costa <nadia.costa@msrlegal.com>; Shari Santos <shari.santos@msrlegal.com>; CRMC_56221_Currie_Matthew and Carrie_16336 Shady View Lane Los Gatos_Correspondence <{F1007514}.iManage@iManage.MSRLEGAL.com>
Subject: RE: 16336 Shady View Lane Development [IWOV-iManage.FID1007514]

Nadia L. Costa
Miller Starr Regalia
1331 N. California Blvd.
Walnut Creek, CA 94596



RECEIVED

SEP 26 2019

TOWN OF LOS GATOS
PLANNING DIVISION

Re: 16336 Shady View Lane Development
Date: 09/26/2019
Site Application S-18-060

Dear Ms. Costa,

Thank you for the letter dated September 19th, 2019. We appreciate the feedback and are encouraged to see that we are perhaps making progress in resolving this impasse.

In further effort to show our willingness to compromise, we have elected to remove the open balcony from the scope of the project. That space is now fully enclosed with very limited views onto our clients own property.

Included under separate copy is a PDF which illustrates revisions to the floor plans and views to and from the Currie's property. Also included in this PDF are diagrams illustrating the massing of the proposed home in relation to the neighborhood as well as a shadow study as required by the town. We've also included a link to a scale 3D model. This model can be moved and rotated to achieve points of view from any angle and we feel it does a better job at conveying the massing of the home than that of the story poles.

Link to 3D model (Please note that once the model has loaded, click Rendering Techniques and select Standard to see more detail as well as the trees.):

<https://3d-viewer.chiefarchitect.com/go?share=222751530517376>

When you pass this information on to your clients, please let them know that we are also open to resolving this matter and look forward to finding common ground.

Regards,
Jim Whitney
De Mattei Construction
1-408-350-4200

TYPICAL NOTES:

BATHROOM ELECTRICAL:

- A. PROVIDE 20AMP DEDICATED BRANCH CIRCUIT TO SUPPLY THE BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FAN, ETC. (EXCEPTION-WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM OUTLET FOR OTHER USES WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED).
- B. ALL BRANCH CIRCUITS TO BE PROTECTED BY GROUND FAULT CIRCUIT INTERRUPTER (GFCI).

KITCHEN ELECTRICAL:

- A. ALL BRANCH CIRCUITS TO BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER (AFCI).
- B. PROVIDE AFCI AND GFCI PROTECTION AT ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS.
- C. AT EACH KITCHEN AND DINING AREA COUNTER SPACE WIDER THAN 12" LOCATE A RECEPTACLE SO THAT NO POINT ALONG THE COUNTER WALL IS OVER 24" FROM A RECEPTACLE. COUNTERTOP RECEPTACLES REQUIRED WITHIN 24" EACH SIDE OF A BREAK IN THE CONTINUOUS COUNTERTOP SURFACE (SINKS/COSTERS).
- D. RECEPTACLES MOUNTED ON THE SIDES OF CABINETS SHALL BE A MAXIMUM OF 12" BELOW THE COUNTERTOP SURFACE WITH A MAXIMUM OF 4" COUNTERTOP OVERHANG.
- E. PROVIDE AT LEAST TWO (2) 20 AMP CIRCUITS FOR COUNTER RECEPTACLES.

LAUNDRY ELECTRICAL:

- A. ALL BRANCH CIRCUITS TO BE PROTECTED BY ARC-FAULT (AFCI) CIRCUIT INTERRUPTER AND GROUND FAULT (GFCI) CIRCUIT INTERRUPTER.
- B. PROVIDE 20AMP DEDICATED BRANCH CIRCUIT TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET.
- C. MINIMUM 30 AMP DEDICATED CIRCUIT FOR DRYER PER NEC 220.54.

LAUNDRY/BATHROOM VENTILATION:

- FOR LAUNDRY ROOMS AND BATHROOMS WITHOUT AN OPERABLE WINDOW:
 - A. PROVIDE MECHANICAL VENTILATION SYSTEM CAPABLE OF 3 APM CHANGE/HR TO EXTEND OUT.
 - B. USE SMOOTH METAL DUCT FOR DRYER EXHAUST WITH A MAX. LENGTH OF 1'4". TO OUTSIDE WITH BACKDRAFT DAMPER AND TWO 90° ELBOWS AND A MIN. OF 4" DIA. C. TERMINATION OF ALL EXHAUSTING AIR OUTLET SHALL BE A MINIMUM OF 3 FEET FROM PROPERTY LINES OR ANY OPENINGS INTO THE BUILDING (E.G., DIVERTS, BATH AND UTILITY FANS, MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SCREENS OR AIRC VENTS).
 - D. EXHAUST FANS SHALL HAVE A MIN. OF 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION AND BE EQUIPPED WITH A HUMIDITY AND TEMPERATURE CONTROL AND BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS.

HIGH EFFICACY LIGHTING:

- A. ALL LIGHTING SHALL BE HIGH EFFICACY AS DEFINED BY IESNA TABLE 100-0A.
- B. ALL PERMANENTLY INSTALLED (SCREW-BASED) LIGHT FIXTURES SHALL CONTAIN SCREW-BASED JAR (JOINT APPENDIX B) COMPLIANT LAMPS AND BE MARKED AS JAR/UL LISTED (E.G. IESNA E-15, E-16, E-17).
- C. ALL JAR COMPLIANT LIGHT FIXTURES INSTALLED IN CEILING RECESSED DOWNLIGHTS, LED LUMINAIR, WITH INTEGRAL SOURCES, PIN-BEADED LED LAMPS, AND (ALSO) BASED LED LIGHT SOURCES SHALL BE CONTROLLED BY VACUANCY SENSORS OR DIMMERS.
- D. AT LEAST ONE FIXTURE IN EACH BATHROOM, GARAGE, LAUNDRY ROOM AND UTILITY ROOM SHALL BE CONTROLLED BY A VACUANCY SENSOR.
- E. ALL LIGHTING SHALL BE SWITCHED SEPARATELY FROM EXHAUST FANS (EXCEPT FOR KITCHEN ISLAND HOODS).
- F. ALL LINER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
- G. GARAGE, LAUNDRY AND UTILITY ROOMS: LIGHTING INSTALLED IN GARAGES, LAUNDRY, AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND CONTROLLED BY VACUANCY SENSORS.
- H. HIGH EFFICACY LIGHTING IS NOT REQUIRED IN CLOSETS OF LESS THAN 10 SF.
- I. OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING SHALL BE HIGH EFFICACY AND CONTROLLED WITH A MANUAL ON/OFF SWITCH AND BY PHOTO CONTROL AND A MOTION SENSOR, PER ENERGY TITLS.
- J. ALL OTHER ROOMS LIGHTING INSTALLED IN ALL OTHER ROOMS SHALL BE HIGH EFFICACY OR SHALL BE CONTROLLED BY OTHER DIMMERS AND VACUANCY SENSORS.

CARBON MONOXIDE ALARMS:

- CARBON MONOXIDE ALARMS REQUIRED BY SECTION 420.6.2 SHALL BE INSTALLED AND MAINTAINED IN THE FOLLOWING LOCATIONS:
 - A. OUTSIDE OF EACH SEPARATE SLEEPING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM (S).
 - B. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
 - C. IN GROUP OR PL OCCUPANCIES: ON THE CEILING OF EVERY SLEEPING UNIT OR OTHER LOCATIONS WITHIN THE SLEEPING UNIT IN COMPLIANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - D. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - E. SOURCE AND SHALL BE EQUIPPED WITH BATTERY BACKUP. ALARMS WIRING SHALL BE CONNECTED TO THE PERMANENT BUILDING WIRING WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
 - F. WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN THE DWELLING UNIT OR WITHIN A SLEEPING UNIT, THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
 - G. CARBON MONOXIDE ALARMS SHALL BE LISTED AND COMPLY WITH UL 2034 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND MANUFACTURER'S INSTRUCTIONS.

SMOKE DETECTORS:

- A. SMOKE DETECTOR OR SYSTEM SHALL BE HARD WIRED, INTERCONNECTED TO SOUND SIREN TANGIBLY AND EQUIPPED WITH BATTERY BACKUP.
- B. INSTALL DETECTORS IN EACH BEDROOM, AT EACH CORRIDOR AREA NEXT TO THE BEDROOM, AT THE TOP OF STAIRS AND EACH STAIR AND BASEMENT.
- C. MULTIPLE SMOKE DETECTORS ARE REQUIRED WITHIN CEILING LEVELS (ELEVATIONS CHANGE OR ARE INTERRUPTED BY ARCHITECTURAL ELEMENTS (GATED OPENINGS, ARCHWAYS, BOWTIE WELLS, ETC.).
- D. SMOKE DETECTORS SHALL BE LISTED AND COMPLY WITH UL 217 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND MANUFACTURER'S INSTRUCTIONS.

PLUMBING:

- A. ALL NEW TOILETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME NOT TO EXCEED 1.28 GALLONS PER FLUSH.
- B. ALL NEW LAUNDRY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.2 GALLONS PER MINUTE AT 60 PSI.
- C. ALL NEW SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 80 PSI.
- D. ALL NEW WOODEN FRONTS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 80 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

BATHROOM:

- A. WATER CLOSETS SHALL BE LOCATED IN SPACES NOT LESS THAN 30" IN WIDTH AND 24" IN FRONT.
- B. WATER RESISTANT GYPSUM BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, ONE (1) 1/2".
- C. BACKERS FOR SHOWER AND TUB SHOWER WALLS TO BE FIBER CEMENT, FIBER REINFORCED CONCRETE OR GIBBER BOARD, GLASS MAT GYPSUM BACKERS OR FIBER REINFORCED GYPSUM BACKERS TO A MIN HEIGHT OF 72" ABOVE THE FLOOR.
- D. USE 204 WOODEN BACKING IN ALL BATHROOM WALLS AT WATER CLOSET SHOWER AND BATH TUB, LOCATED AT 3" FROM FLOOR TO CENTER OF THE BACKING STABLE FOR THE ADOPTION OF GYPSUM BOARD.
- E. DOOR AND PANELS OF TUB AND SHOWER ENCLOSURES SHALL BE FULLY TEMPERED LAMINATED SAFETY GLASS OR APPROVED PLASTIC.
- F. SHOWER COMPARTMENTS SHALL HAVE AN INTERIOR FLOOR AREA OF 1024 SQ IN AND BE A MINIMUM OF 30" SQUARE.
- G. SHOWER AND TUB SHOWER COMBINATION IN ALL BUILDING SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.

ATTIC/UNDERFLOOR INSTALLED FAU:

- A. UNIT SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY NOT LESS THAN THE LARGEST COMPONENT OF THE UNIT AND NOT LESS THAN 22"00".
- B. THE DISTANCE FROM THE PASSAGEWAY ACCESS TO THE UNIT SHALL NOT EXCEED 30'.
- C. THE WIDTH OF THE PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE SOLID FLOORING NOT LESS THAN 3/4" OF FROM THE ENTRANCE OPENING TO THE UNIT.
- D. LEVEL WORKING PLATFORM NOT LESS THAN 30" BY 30" SHALL BE PROVIDED IN FRONT OF THE SERVICE SIDE OF THE UNIT.
- E. A PERMANENT LOW RECEPTACLE OUTLET AND LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE UNIT. THE SWITCH CONTROLLING THE LIGHTING FIXTURE SHALL BE LOCATED BY THE ENTRANCE TO THE PASSAGEWAY.

KITCHEN VENTILATION:

- WHERE COMBUSTION APPLIANCES OR SOLID FUEL BURNING APPLIANCES ARE LOCATED INSIDE THE PRESSURE BOUNDARY, THE MAXIMUM ALLOWABLE NET EXHAUST FLOW OF THE TWO LARGEST EXHAUST FANS SHALL NOT EXCEED 18 CFM PER 100 SQ. FT. OF OCCUPABLE SPACE, WHEN OPERATING AT FULL CAPACITY. IF THE DESIGNER TOTAL NET FLOW EXCEEDS THIS LIMIT, THE NET EXHAUST FLOW MUST BE REDUCED BY REDUCING THE EXHAUST FLOW OR PROVIDING COMPENSATING OUTDOOR AIR FLOW (NOTE: IF MAKEUP AIR FAN IS INSTALLED IT MUST BE ELECTRICALLY INTERLOCKED WITH THE LARGEST EXHAUST FAN).

ELECTRIC VEHICLE (EV) CHARGING:

- ELECTRIC VEHICLE SUPPLY EQUIPMENT SHALL BE INSTALLED TO FACILITATE THE FUTURE INSTALLATION OF AN EV CHARGING DEVICE AND MUST COMPLY WITH THE FOLLOWING:
 - A. A LISTED TRADE SIDE 1 RACEWAY SHALL BE INSTALLED TO ACCOMMODATE A DEDICATED SEPARATELY BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE FROM THE MAIN SERVICE PANEL OR SUB PANELS AND TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE FUTURE CHARGING DEVICE.
 - B. THE SERVICE PANEL AND/OR SUB PANEL SHALL PROVIDE CAPACITY TO INSTALL A 20 AMP BRANCH CIRCUIT AND SPACE RESERVED TO ACCOMMODATE A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
 - C. THE ELECTRICAL PANEL, SCHEDULE SHALL RESERVE THE OVERCURRENT PROTECTIVE DEVICE SPACE RESERVED FOR FUTURE EV CHARGING AS "EV CABLES".
 - D. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CABLES".

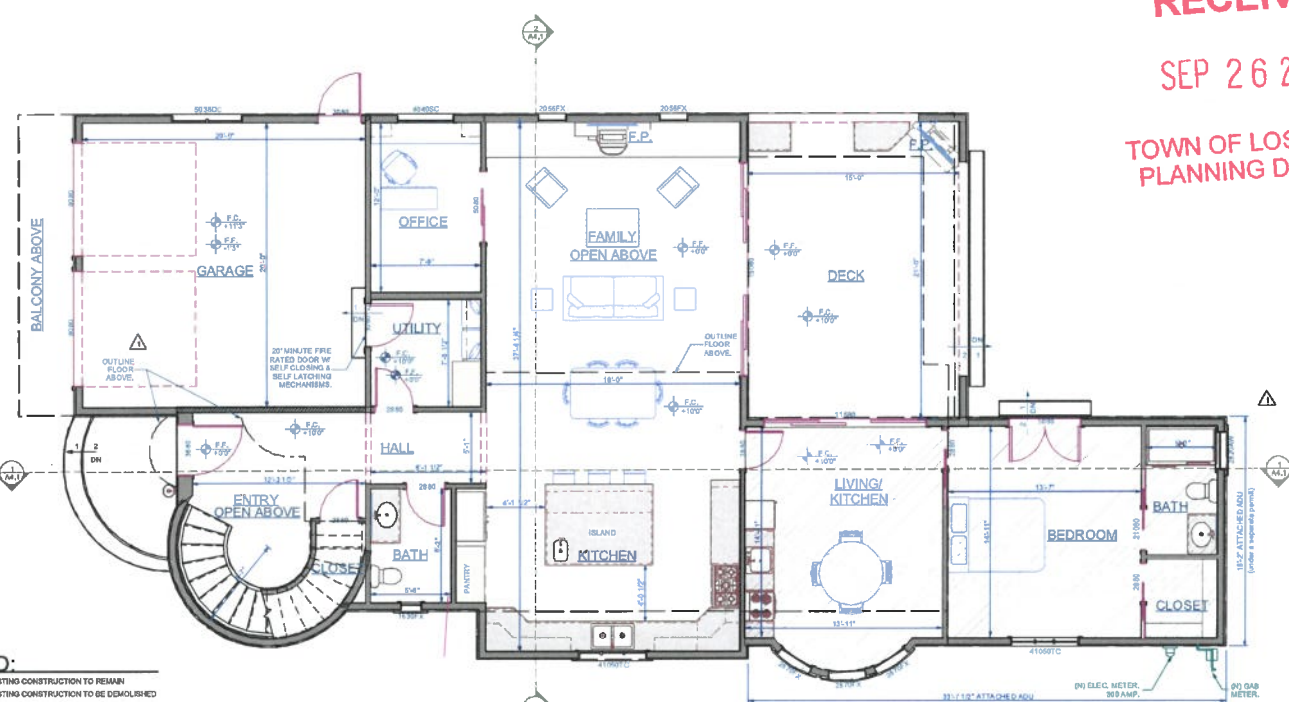
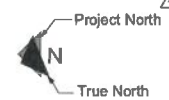
TOWN STANDARDS:

- RESIDENTIAL ACCESSIBILITY
 - A. ALL PASSAGE DOOR SHALL BE AT LEAST 32 INCH DOORS ON THE ACCESSIBLE FLOOR LEVEL.
 - B. THE PRIMARY ENTRANCE DOOR SHALL BE A 36 INCH WIDE DOOR INCLUDING A 5/8" LEVEL LANDING, MORE THAN 1 INCH OUT OF PLANE WITH THE IMMEDIATE REFINISHED FLOOR LEVELS AND WITH AN 18 INCH CLEARANCE AT W/FLOOR LEVEL EDGE.
 - C. A DOOR BELLZEE, BELL OR CHIME SHALL BE HARD WIRED AT PRIMARY ENTRANCE.
- FINERFACE
 - A. NEW WOOD BURNING FIREPLACES SHALL BE AN EPA PHASE 1 APPROVED APPLIANCE OR GAS APPLIANCE PER TOWN ORDINANCE 1901. THESE LIMBS SHALL BE CUT WITHIN 10 FEET OF CHIMNEY.

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TOWN OF LOS GATOS PLANNING DIVISION



LEGEND:

(Solid line)	EXISTING CONSTRUCTION TO REMAIN
(Dashed line)	EXISTING CONSTRUCTION TO BE DEMOLISHED
(Thin solid line)	NEW INTERIOR CONSTRUCTION: 2x4 WD, STUD, 1/2" GYP. BD. EACH SIDE
(Thick solid line)	NEW EXTERIOR CONSTRUCTION:
(Thin solid line with dots)	NEW 1-4R FIRE RATED WALL, 2x4 WD, STUD, 5/8" TYPE "X" GYP. BD. EACH SIDE. SEE PLAN FOR LOCATIONS.

1 PROPOSED FIRST FLOOR PLAN
Scale: 1/4"=1'-0"

PLANNING SET 9/25/2019

PROJECT DESCRIPTION: Coulson Residence 16336 Shady View Ln Los Gatos, CA 95032	NO.	DESCRIPTION	BY	DATE
	1	PROPOSED FIRST FLOOR PLAN	JW	9/25/2019
DRAWINGS PROVIDED BY: Delmatt Construction, Inc. 1758 Twp Ave., Suite 201 Los Gatos, CA 95032 P: (408) 284-5858 F: (408) 284-5858 LIC # B-47845	DATE: 12/17/2018			
SCALE: As shown				DRAWN BY: LL / JW
SHEET: A2.1				

TYPICAL NOTES:

BATHROOM ELECTRICAL:

- A. PROVIDE DEDICATED BRANCH CIRCUIT TO SUPPLY THE BATHROOM OUTLET. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FAN, ETC. (EXCEPT WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM OUTLET FOR ONE EQUIPMENT WITH THE SAME BATHROOM SHALL BE PERMITTED TO BE SHARED).
- B. ALL BRANCH CIRCUITS TO BE PROTECTED BY GROUND FAULT CIRCUIT INTERRUPTER (GFCI).

KITCHEN ELECTRICAL:

- A. ALL BRANCH CIRCUITS TO BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER (AFCI).
- B. PROVIDE AN INCH OF GFCI PROTECTION AT ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS.
- C. AT EACH KITCHEN AND DINING AREA COUNTERTOP SPACE WIDER THAN 12". LOCATE A RECEPTACLE SO THAT NO POINT ALONG THE COUNTERTOP IS MORE THAN 4 FEET FROM A RECEPTACLE. COUNTERTOP RECEPTACLES REQUIRED WITHIN 24" EACH SIDE OF A BREAK IN THE CONTINUOUS COUNTERTOP SURFACE (ISLANDS).
- D. RECEPTACLES MOUNTED ON THE SIDES OF CABINETS SHALL BE A MAXIMUM OF 12" BELOW THE COUNTERTOP SURFACE WITH A MAXIMUM OF 4" COUNTERTOP OVERHANG.
- E. PROVIDE AT LEAST TWO (2) 20 AMP CIRCUITS FOR COUNTER RECEPTACLES.

LAUNDRY ELECTRICAL:

- A. ALL BRANCH CIRCUITS TO BE PROTECTED BY ARC-FAULT (AFCI) CIRCUIT INTERRUPTER AND GROUND FAULT (GFI) CIRCUIT INTERRUPTER.
- B. PROVIDE DEDICATED BRANCH CIRCUIT TO SUPPLY THE LAUNDRY RECEPTACLES OUTLET.
- C. MINIMUM 20 AMP DEDICATED CIRCUIT FOR DRYER PER CEC 220.54.

LAUNDRY/BATHROOM VENTILATION:

- FOR LAUNDRY ROOMS AND BATHROOMS WITHOUT AN OPERABLE WINDOW:
 - A. PROVIDE MECHANICAL VENTILATION SYSTEM CAPABLE OF 1.5 AIR CHANGES PER HOUR TO EXTERIOR.
 - B. USE SMOOTH METAL DUCT FOR DRYER EXHAUST WITH A MAX. LENGTH OF 14' TO OUTSIDE WITH BACKDRAFT DAMPER AND TWO 90° ELBOWS AND A MIN. OF 4" DIA.
 - C. TERMINATION OF ALL EXHAUSTS SHALL BE A MINIMUM OF 3 FEET FROM PROPERTY LINES OR ANY OPENINGS INTO THE BUILDING (LA. DRIVERS, BATH AND UTILITY FANS, ETC., MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING BAYLIGHTS OR ETC. VENTS).
 - D. EXHAUST FANS SHALL HAVE A MIN. OF 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS FLOW AND BE ENERGY EFFICIENT AND BE EQUIPPED WITH A HUMIDISTAT AND HUMIDITY CONTROL, AND BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM.

HIGH EFFICACY LIGHTING:

- A. ALL LIGHTING SHALL BE HIGH EFFICACY AS DEFINED BY DEC TABLE 19.0A.
- B. ALL PERMANENTLY MOUNTED RECESSED LIGHT FIXTURES SHALL CONTAIN SCREW-IN LED. (SEE JOINT APPENDIX E) COMPLIANT LAMPS AND BE MARKED AS 20 W OR MAXI-E. CEC 19.00.00.
- C. ALL JAM COMPLIANT LIGHT FIXTURES INSTALLED IN CEILING RECESSED DOWNLIGHT LED LUMINAIRES WITH INTEGRAL SOURCES, RECESSED LED LAMPS, AND DIMMABLE LED LIGHT SOURCES SHALL BE CONTROLLED BY VACUUM BREAKER DIMMERS.
- D. AT LEAST ONE FIXTURE IN EACH BATHROOM, GARAGE, LAUNDRY ROOM, AND UTILITY ROOM SHALL BE CONTROLLED BY A VACUUM SWITCH.
- E. ALL LIGHTING SHALL BE SWITCHED SEPARATELY FROM EXHAUST FANS (EXCEPT FOR KITCHEN EXHAUST HOODS).
- F. ALL UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
- G. GARAGE, LAUNDRY AND UTILITY ROOMS: LIGHTING INSTALLED IN GARAGES, LAUNDRY, AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND CONTROLLED BY VACUUM SWITCHES.
- H. HIGH EFFICACY LIGHTING IS NOT REQUIRED IN CLOSETS OF LESS THAN 70 SF.
- I. OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING SHALL BE HIGH EFFICACY AND CONTROLLED WITH A MANUAL ON/OFF SWITCH AND A PHOTO CONTROL AND A MOTION SENSOR. PER ENERGY 116.3.
- J. ALL OTHER ROOMS: LIGHTING INSTALLED IN ALL OTHER ROOMS SHALL BE HIGH EFFICACY OR SHALL BE CONTROLLED BY EITHER DIMMERS OR VACUUM SWITCHES.

CARBON MONOXIDE ALARMS:

- CARBON MONOXIDE ALARMS REQUIRED BY SECTION 420.4.2 SHALL BE INSTALLED AND MAINTAINED IN THE FOLLOWING LOCATIONS:
 - A. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE RESIDENCE (S).
 - B. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
 - C. IN GROUP FL. OCCUPANCIES: ON THE CEILING OR EVERY SLEEPING UNIT OR OTHER LOCATIONS WITHIN THE SLEEPING UNIT IN CONFORMANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - D. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE MAIN SERVICE PANEL OR FROM A BATTERY BACKUP ALARM WIRING SHALL BE DIRECTLY CONNECTED TO THE PERMANENT BUILDING WIRING WITH A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
 - E. WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN THE DWELLING UNIT OR WITHIN A SLEEPING UNIT, THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
 - F. CARBON MONOXIDE ALARMS SHALL BE LISTED AND COMPLY WITH UL 2034 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND MANUFACTURER'S INSTRUCTIONS.

SMOKE DETECTORS:

- A. SMOKE DETECTOR SYSTEM SHALL BE HARD WIRED, INTERCONNECTED TO SOUND SIMULTANEOUSLY AND EQUIPPED WITH BATTERY BACKUP.
- B. INSTALL DETECTORS IN EACH BEDROOM AT EACH CORNER OR NEAREST TO THE BEDROOM AT THE END OF THE FINISH AND CEILING AND MAINTAIN.
- C. MULTIPLE SMOKE DETECTORS ARE REQUIRED WHEN CEILING LEVELS, ELEVATIONS CHANGE OR ARE INTERRUPTED BY ARCHITECTURAL ELEMENTS (GATED OPENINGS, ARCHWAYS, SPLIT-ROOF VENTS, ETC.).
- D. SMOKE DETECTORS SHALL BE LISTED AND COMPLY WITH UL 218 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND MANUFACTURER'S INSTRUCTIONS.

PLUMBING:

- A. ALL NEW TOILETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME NOT TO EXCEED 1.28 GALLONS PER FLUSH.
- B. ALL NEW LAVATORY/FACETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.2 GALLONS PER MINUTE AT 60 PSI.
- C. ALL NEW SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 80 PSI.
- D. ALL NEW KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 80 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.5 GALLONS PER MINUTE AT 60 PSI AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 80 PSI.

BATHROOM:

- A. WATER CLOSETS SHALL BE LOCATED IN SPACES NOT LESS THAN 36" IN WIDTH AND 24" IN FRONT.
- B. WATER RESISTANT GYPSUM BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER. CEC 702.3.1.
- C. BACKERS FOR SHOWERS AND TUB SHOWERS SHALL BE FIBER-CEMENT, FIBER REINFORCED CEMENTITIOUS BACKER UNITS, GLASS MAT GYPSUM BACKERS OR FIBER-REINFORCED GYPSUM BACKERS TO A MIN HEIGHT OF 12" ABOVE THE FLOOR.
- D. USE 200 WOODEN BACKING IN ALL BATHROOM WALLS AT WATER CLOSET SHOWER AND BATH TUB, LOCATED AT 3" FROM FLOOR TO CENTER OF THE BACKING SUITABLE FOR THE ADDITION OF DRAIN BARS.
- E. DOORS AND PANELS OF TUB AND SHOWER ENCLOSURES SHALL BE FULLY TEMPERED LAMINATED SAFETY GLASS OR APPROVED PLASTIC.
- F. SHOWER COMPARTMENTS SHALL HAVE MIN INTERIOR FLOOR AREA OF 1024 SQ IN AND BE ABLE TO COMBINE A 30" DIA. CIRCLE.
- G. SHOWER AND TUB SHOWER ENCLOSURE IN ALL BUILDING SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE-BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.

ATTIC/UNDERFLOOR INSTALLED FAN:

- A. UNIT SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY NOT LESS THAN THE LARGEST COMPONENT OF THE UNIT AND NOT LESS THAN 22.50'.
- B. THE DISTANCE FROM THE PASSAGEWAY ACCESS TO THE UNIT SHALL NOT EXCEED 30'.
- C. THE WIDTH OF THE PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE SOLID FLOORING NOT LESS THAN 2" WIDE FROM THE ENTRANCE OPENING TO THE UNIT.
- D. A LEVEL WORKING PLATFORM NOT LESS THAN 30" BY 30" SHALL BE PROVIDED IN FRONT OF THE SERVICE SIDE OF THE UNIT.
- E. A PERMANENT 1/2" RECEPTACLE OUTLET AND LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE UNIT. THE SWITCH CONTROLLING THE LIGHTING FIXTURE SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGEWAY.

KITCHEN VENTILATION:

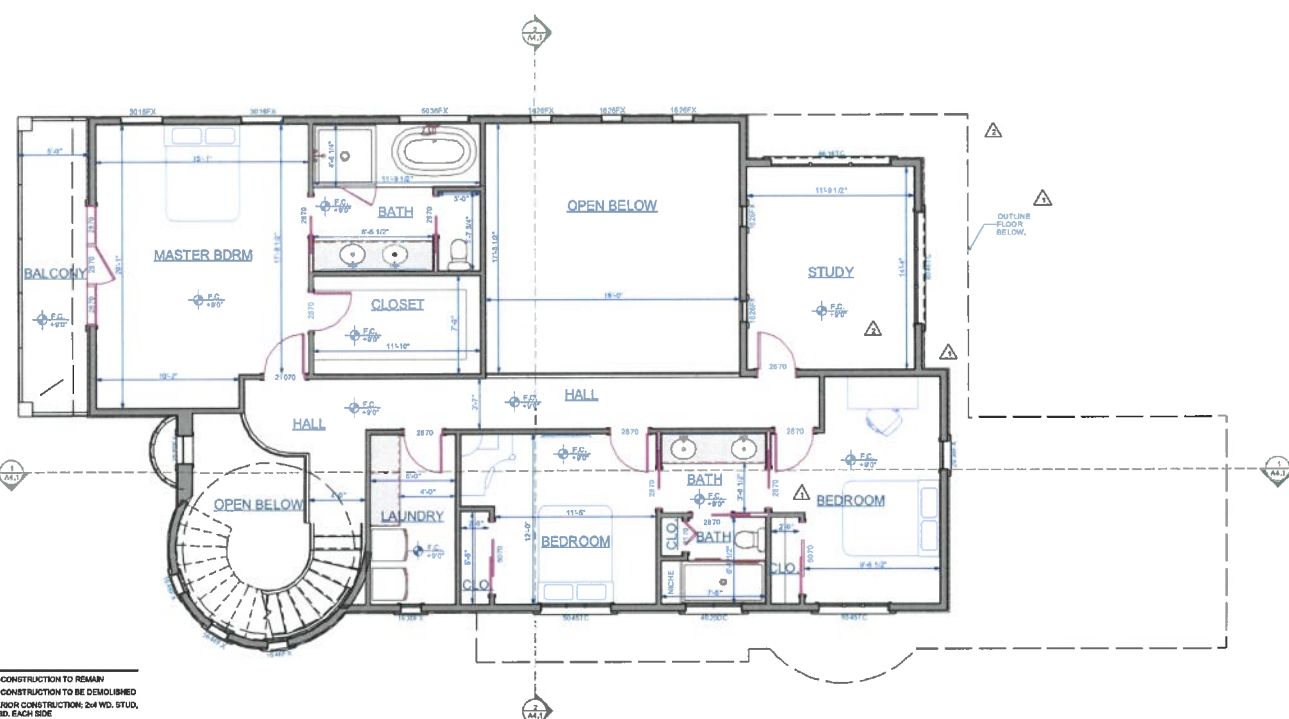
- WHERE COMBUSTION APPLIANCES OR SOLID-FUEL BURNING APPLIANCES ARE LOCATED INSIDE THE PRESSURE BOUNDARY, THE MAXIMUM ALLOWABLE NET EXHAUST FLOW OF THE TWO LARGEST EXHAUST FANS SHALL NOT EXCEED 15 CFM PER 100 SQ. FT. OF OCCUPABLE SPACE, WHEN OPERATING AT FULL CAPACITY. IF THE DESIGNER TOTAL NET FLOW EXCEEDS THIS LIMIT, THE NET EXHAUST FLOW MUST BE REDUCED BY REDUCING THE EXHAUST FLOW OR PROVIDING COMPENSATING OUTDOOR AIR FLOW (NOTE: IF MAKE-UP FAN IS INSTALLED IT MUST BE ELECTRICALLY INTERLOCKED WITH THE LARGEST EXHAUST FAN).

ELECTRIC VEHICLE (EV) CHARGING:

- ELECTRIC VEHICLE SUPPLY EQUIPMENT SHALL BE INSTALLED TO FACILITATE THE FUTURE INSTALLATION OF AN EV CHARGING DEVICE AND MUST COMPLY WITH THE FOLLOWING:
 - A. ALTERED TRADE SIDE 1 RACEWAY SHALL BE INSTALLED TO ACCOMMODATE A DEDICATED DEDICATED BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE FROM THE MAIN SERVICE PANEL OR SUB-PANEL AND TERMINATES INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE FUTURE CHARGING DEVICE.
 - B. THE SERVICE PANEL AND/OR SUB PANEL SHALL PROVIDE CAPACITY TO INSTALL A 20 AMP MAIN BRANCH CIRCUIT AND SPACE RESERVED TO ACCOMMODATE A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
 - C. THE ELECTRICAL PANELS/SCHEDULE SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE RESERVED FOR FUTURE EV CHARGING AS EV GAP(S).
 - D. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV GAP(S)".

TOWN STANDARDS:

- RESIDENTIAL ACCESSIBILITY:
 - A. ALL PASSAGE DOOR SHALL BE AT LEAST 32 INCH DOORS ON THE ACCESSIBLE FLOOR LEVEL.
 - B. THE PRIMARY ENTRANCE DOOR SHALL BE 34 INCH WIDE DOOR INCLUDING A 5/32" LEVEL LANDING, MORE THAN 1 INCH OUT OF PLANE WITH THE IMMEDIATE INTERIOR FLOOR LEVEL, AND WITH AN 18 INCH CLEARANCE AT INTERIOR ENTRANCE EDGE.
 - C. A DOOR BUZZER, BELL OR CHIME SHALL BE HARD WIRED AT PRIMARY ENTRANCE.
- FIRE PLACES:
 - A. NEW WOOD BURNING FIREPLACES SHALL BE AN EPA PHASE 2 APPROVED APPLIANCE OR GAS APPLIANCE PER TOWN ORDINANCE 1905. TREE LIMBS SHALL BE CUT WITHIN 10 FEET OF CHIMNEY.



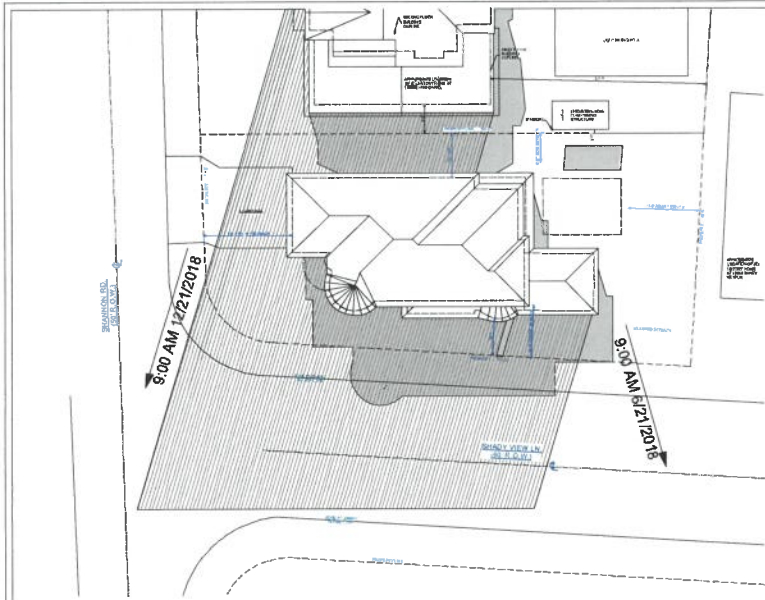
LEGEND:

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	NEW INTERIOR CONSTRUCTION: 2x4 WD. STUD, 1/2" GYP. BD. EACH SIDE
	NEW EXTERIOR CONSTRUCTION:
	NEW 4x8 FIBER REINFORCED WALL: 2x4 WD. STUD, 5/8" TYPE "X" GYP. BD. EACH SIDE. SEE PLAN FOR LOCATIONS.

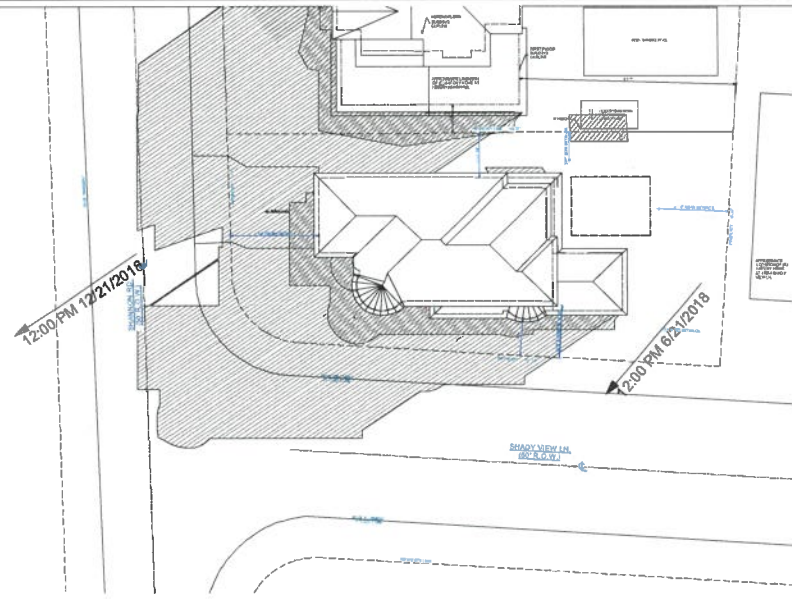
1 PROPOSED SECOND FLOOR PLAN
Scale: 1/4"=1'-0"

PLANNING SET 9/25/2019

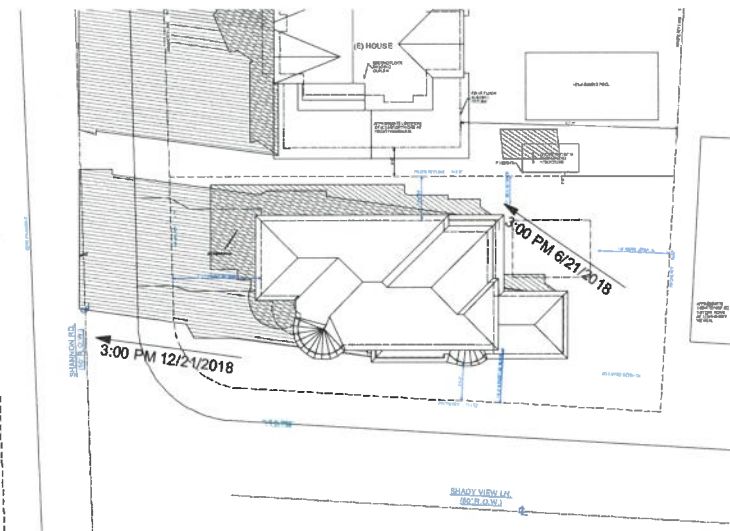
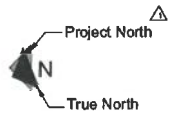
DRAWN BY: Delmetel Construction, Inc. 1738 THE MEADOWS DRIVE, SUITE 100, CA 95026 P: (408) 268-2616 F: (408) 268-4688 LIC # B-476455	NO. DESCRIPTION	BY DATE
	1 PROPOSED SECOND FLOOR PLAN	L 12/17/2019
PROJECT DESCRIPTION: Coulson Residence 16336 Shady View Ln Los Gatos, CA 95032	DATE: 12/17/2019	SCALE: As shown
DRAWN BY: LL / JW	DRAWN BY: LL / JW	SHEET: A2.2



1 PROPOSED FIRST FLOOR PLAN
 Scale: 1/16"=1'-0"
 June 21st 9:00am
 December 21st 9:00am



2 PROPOSED FIRST FLOOR PLAN
 Scale: 1/16"=1'-0"
 June 21st 12:00pm
 December 21st 12:00pm



3 PROPOSED FIRST FLOOR PLAN
 Scale: 1/16"=1'-0"
 June 21st 3:00pm
 December 21st 3:00pm

LEGEND:
 JUNE SHADOW
 DECEMBER SHADOW

DRAWINGS PROVIDED BY: Delmatt Construction, Inc. 1734 THE JAWAHL DRIVE, GATOS, CA 95026 P: (408) 266-7318 F: (408) 266-6889 LIC# B-476465	
NO. DESCRIPTION	BY DATE
RESPONSES TO PLM CHECK COMMENTS	LL 12/17/2018
RESPONSES TO PLM CHECK COMMENTS	LL 12/17/2018
PROJECT DESCRIPTION: SHADOW STUDY Coulson Residence 16336 Shady View Ln Los Gatos, CA 95032	
DATE:	12/17/2018
SCALE:	As shown
DRAWN BY:	LL / JW
SHEET:	A6.2

PLANNING SET 9/25/2019



16347 SHADY VIEW LN.



16336 SHADY VIEW LN.



16356 SHADY VIEW LN.



16344 SHADY VIEW LN.



16337 SHADY VIEW LN.



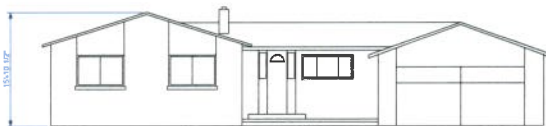
16311 SHANNON RD.



16330 SHANNON RD.



100 DEL CARLO CT.



104 HILOW CT.



100 HILOW CT.

FOR INFORMATION ONLY:
 THIS DRAWING IS A SCHEMATIC
 REPRESENTATION OF THE PROPOSED
 PROJECT AND IS NOT TO BE USED FOR
 CONSTRUCTION. THE ARCHITECT
 ASSUMES NO LIABILITY FOR THE
 ACCURACY OF THE INFORMATION
 PROVIDED HEREIN. THE USER OF
 THIS DRAWING SHALL BE RESPONSIBLE
 FOR OBTAINING ALL NECESSARY
 PERMITS AND APPROVALS.

NO.	DESCRIPTION	BY	DATE
1	ISSUED FOR PERMITS	LL	12/17/2018

SHEET TITLE:
**SCHEMATIC
 NEIGHBORHOOD
 ELEVATIONS**

PROJECT DESCRIPTION:
**Coulson Residence
 16336 Shady View Ln
 Los Gatos, CA 95032**

DRAWINGS PREPARED BY:
DeMatter Construction, Inc.
 1734 The Alameda, San Jose, CA 95125
 P: (408) 292-7516
 F: (408) 292-6688
 Lic# B-167625

DATE:	12/17/2018
SCALE:	As shown
DRAWN BY:	LL / JW
SHEET:	

A6.3

PLANNING SET 9/25/2019

Ryan Safty

From: Jim Whitney <jimw@demattei.com>
Sent: Friday, September 27, 2019 11:35 AM
To: Nadia Costa; Town Manager; Attorney; Ryan Safty
Cc: Travis Brooks; mattcurrie@me.com; Shari Santos; Lerika Liscano
Subject: RE: 16336 Shady View Lane Development [IWOV-iManage.FID1007514]

RECEIVED

Follow Up Flag: Follow up
Flag Status: Flagged

SEP 27 2019

TOWN OF LOS GATOS
PLANNING DIVISION

Hello Nadia,

Thank you for your note. In the essence of time and in the face of certain scheduling difficulties, we would like to propose discussing the Currie's outstanding concerns via email or by phone. We hope that the outstanding concerns are few and feel that this would be the most efficient method to resolving the impasse. Please let us know if this is agreeable to you. Also, if you could please clarify who specifically you wish to be part of the meeting.

Thank You,
Jim Whitney
Architectural Project Manager,
IT Oversight

De Mattei
Construction Inc.

GENERAL CONTRACTOR
Building Relationships

1794 The Alameda
San Jose, CA 95126
408.350.4200 p
408.674.0440 c
[website](#) | [facebook](#) | [Houzz](#)

From: Nadia Costa [mailto:nadia.costa@msrlegal.com]
Sent: Friday, September 27, 2019 8:34 AM
To: manager@losgatosca.gov; attorney@losgatosca.gov; Ryan Safty <RSafty@losgatosca.gov>
Cc: Travis Brooks <travis.brooks@msrlegal.com>; mattcurrie@me.com; Shari Santos <shari.santos@msrlegal.com>; Lerika Liscano <lerika@demattei.com>; 'Jim Whitney' <jimw@demattei.com>
Subject: FW: 16336 Shady View Lane Development [IWOV-iManage.FID1007514]

Good morning Ryan et al:

On behalf of the appellant, please see below for our recent correspondence with the applicant and proposed next steps. As indicated below, the Curries are very interested in pursuing an expeditious resolution to this matter and look forward to meeting with the applicant team in the very near term to discuss opportunities in this regard.

Given the currently scheduled hearing on October 9th, we look forward to providing the Town with additional updates as soon as feasible regarding the possibility of resolving the matter in a way that is mutually acceptable to the Curries, the applicant as well as the Town.

In the interim, please do not hesitate to call me with any questions regarding the foregoing.

Best, Nadia

Nadia Costa | Miller Starr Regalia

1331 North California Boulevard, Fifth Floor, Walnut Creek, CA 94596
t: 925.935.9400 | c: 925.788.7311

4695 MacArthur Court, 11th Floor, Newport Beach, CA 92660
t: 949.719.2960 | c: 925.788.7311

nadia.costa@msrlegal.com | www.msrlegal.com

For all matters that involve scheduling, please copy my assistant Shari Santos at shari.santos@msrlegal.com so that she can confirm my availability.

From: Nadia Costa
Sent: Friday, September 27, 2019 8:25 AM
To: 'Jim Whitney'; Travis Brooks
Cc: Matthew Currie; Shari Santos
Subject: RE: 16336 Shady View Lane Development [IWOV-iManage.FID1007514]

Good morning Jim:

Thank you very much for your recent correspondence – we very much appreciate the applicant’s willingness to find “common ground” and believe there may be an opportunity to resolve this matter. To that end, may I suggest an in-person meeting next week with you/the applicant as well as my client and me to discuss in more detail the revised plans and our questions regarding same? Assuming there is concurrence in this regard, we would also like to discuss the best way to expeditiously memorialize the parties’ understanding.

Please let me know if the foregoing works for the applicant and if so, some potential dates/times for a meeting. Given everyone’s hectic schedules, it would be great to get this meeting on the calendar today, if possible. My assistant, Shari, is on this email and she can help coordinate a convenient time.

Best, Nadia

Nadia Costa | Miller Starr Regalia

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t: 925.935.9400 | c: 925.788.7311

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t: 949.719.2960 | c: 925.788.7311

nadia.costa@msrlegal.com | www.msrlegal.com

For all matters that involve scheduling, please copy my assistant Shari Santos at shari.santos@msrlegal.com so that she can confirm my availability.

Ryan Safty

From: Nadia Costa <nadia.costa@msrlegal.com>
Sent: Wednesday, October 2, 2019 3:07 PM
To: 'Jim Whitney'
Cc: Town Manager; Attorney; Ryan Safty; Travis Brooks; 'mattcurrie@me.com'; Shari Santos; 'Lerika Liscano'; 'Linda Baron'; Art Coon
Subject: RE: 16336 Shady View Lane Development [IWOV-iManage.FID1007514]

Follow Up Flag: Follow up
Flag Status: Flagged

RECEIVED

OCT 02 2019

TOWN OF LOS GATOS
PLANNING DIVISION

Good afternoon Jim:

I thought it would be helpful, without broaching any confidentiality provisions that relate to settlement negotiations (e.g., Evid. Code section 1152 *et seq.*), to briefly outline or the Town's benefit the outcome of our call today and potential next steps. (And please feel free to augment/modify accordingly if your team believes there is any misunderstanding regarding the below summary.)

As a preliminary matter, I would again like to thank you and the others from the applicant team for your time today during the call. Overall, we found it very productive in terms of moving the parties to an expeditious resolution of the matter. To that end, the group discussed the following next steps:

1. The applicant team will submit updated plans, including a revised tree planting proposal, to Town staff for review/comment. The applicant agreed to provide these plans to the appellant for concurrent review, for the purposes of (a) confirming it reflects the agreed-upon design changes; and (b) to outline the applicant's proposal regarding tree screening. On this latter point, the appellant emphasized the importance of ensuring there are sufficient trees planted and maintained to address remaining privacy as well as massing concerns.
2. MSR will prepare a draft settlement agreement for the applicant's review. As I explained during the call, this agreement can be very simple and short, and merely serves to memorialize the parties' mutual understanding. Doing so is in everyone's best interest and is necessary for the successful resolution of the matter. Again, we can ensure it is concise, straightforward (without unnecessary "legalese"), and will provide a draft to the applicant team by tomorrow COB. As a showing of good faith and in recognition of the applicant's willingness to make the agreed-upon design changes, my client is willing to pay for MSR to prepare the initial draft for the applicant's consideration.

The group also discussed the practical suggestion of requesting a two-week continuance to provide a sufficient opportunity to finalize this arrangement and appropriately memorialize it. We agree with the applicant team that moving forward as expeditiously as possible is in everyone's interest. However, in MSR's experience, this type of short continuance is time very well spent for the following reasons:

1. This additional amount of time enables the applicant to update the plans; Town staff sufficient time to review and comment on these updated plans; as well as gives the appellant the opportunity to confirm these plans and the related conditions of approval accurately reflect the settlement. If sufficient time is not taken for these steps, inadvertent errors and other issues can arise, which then must be handled at the hearing or otherwise – this is far from ideal, can introduce additional unnecessary delay, and can generally complicate the matter for all involved.
2. This provides sufficient time for the parties to review and document the agreement. This step is critical in any type of pre-litigation resolution. Without memorializing the arrangement, both parties are at risk. (As an example, from an applicant's perspective, it would typically want assurance that no litigation would be brought if that applicant seeks and obtains approval for a modified project. And from an appellant's perspective, an agreement would be necessary to ensure the agreed-upon changes are made and approved and to avoid any potential waiver issues.)
3. This creates fewer administrative/process issues for the Town. Given the upcoming appeal hearing is currently scheduled for next Wednesday, we are assuming that Town staff is working to finalize the PC packet, etc now. With a brief continuance, this provides additional time for the parties to formally resolve the matter and thus provides Town staff an opportunity to present a staff report and related packet that reflects this resolution, as opposed to having to update the Commissioners and the public at the hearing (assuming settlement has been reached).

We certainly understand the applicant's reticence to continue the matter if it would result in unnecessary and unproductive delay. However, as explained above, this is not the case. To the contrary, the appellant is suggesting this brief continuance in order to facilitate a prompt and mutually acceptable arrangement, which would then avoid further controversy, further appeals and/or potential litigation. This would appear to be in all parties' best interest and we are hopeful that both the applicant and the Town will concur in this regard.

Again, we wish to reiterate the Curries' appreciation for the applicant's willingness to make the proposed changes and believe that a mutually acceptable resolution is close at hand; and

the Curries continue to be willing to take, with good faith and diligent, all reasonable steps to timely achieve this outcome.

Best, Nadia

Nadia Costa | Miller Starr Regalia

1331 North California Boulevard, Fifth Floor, Walnut Creek, CA 94596
t: 925.935.9400 | c: 925.788.7311

4695 MacArthur Court, 11th Floor, Newport Beach, CA 92660
t: 949.719.2960 | c: 925.788.7311

nadia.costa@msrlegal.com | www.msrlegal.com

For all matters that involve scheduling, please copy my assistant Shari Santos at shari.santos@msrlegal.com so that she can confirm my availability.

From: Nadia Costa
Sent: Tuesday, October 01, 2019 3:57 PM
To: 'Jim Whitney'
Cc: manager@losgatosca.gov; attorney@losgatosca.gov; Ryan Safty; Travis Brooks; mattcurrie@me.com; Shari Santos; Lerika Liscano; Linda Baron
Subject: RE: 16336 Shady View Lane Development [IWOV-iManage.FID1007514]

Good afternoon Jim:

Please see below for a list of questions/comments that we would like to discuss tomorrow as part of our broader conversation on potential opportunities to resolve the matter.

- 1) Please confirm that the applicant continues to be willing to entirely omit the second floor balcony from the project.
- 2) How far is the applicant's new second floor enclosed space/room from the Curries' shared property line?
- 3) How far off of the shared property line is the portion of the applicant's home that is closest to the Curries' residence?
- 4) Please confirm that the applicant is still proposing to move the entire home 4 1/2 feet from the location indicated on plans submitted to the Town for Design Review Committee, as well as confirm that the entire home will be a total of 12 1/2 feet from the Curries' shared property line.
- 5) What is the total square footage of the proposed home?
- 6) Does this square footage conform to their FAR limitation? If so, please provide methodology/calculations.
- 7) Is the applicant proposing any other changes to the home from the plans submitted to the Town for the Design Review Committee? It is difficult to identify changes on the 3D model they sent.

- 8) Please confirm that the applicant will be obligated to fund, install and maintain a row of 24" box trees the entire length of the shared property line to the edge of the redwood canopy.
- 9) Please omit any references to purported unpermitted structures on the Curries' property, since this is not accurate. (As has been previously stated, under the applicable Town Code provisions, their pergola does not need to be permitted. Therefore, any references to improvements on the Curries' property on the applicant's plans should be unnecessary.)

In addition to the above technical issues, assuming that agreement can be reached between the parties, let's discuss and confirm how best to expeditiously memorialize this agreement.

Best, Nadia

Nadia Costa | Miller Starr Regalia

1331 North California Boulevard, Fifth Floor, Walnut Creek, CA 94596
t: 925.935.9400 | c: 925.788.7311

4695 MacArthur Court, 11th Floor, Newport Beach, CA 92660
t: 949.719.2960 | c: 925.788.7311

nadia.costa@msrlegal.com | www.msrlegal.com

For all matters that involve scheduling, please copy my assistant Shari Santos at shari.santos@msrlegal.com so that she can confirm my availability.

From: Jim Whitney [<mailto:jimw@demattei.com>]
Sent: Tuesday, October 01, 2019 1:07 PM
To: Nadia Costa
Cc: manager@losgatosca.gov; attorney@losgatosca.gov; Ryan Safty; Travis Brooks; mattcurrie@me.com; Shari Santos; Lerika Liscano; Linda Baron
Subject: RE: 16336 Shady View Lane Development [IWOV-iManage.FID1007514]

Hello Nadia,

Can we expect to receive the comments today?

Thank You,
Jim Whitney
Architectural Project Manager,
IT Oversight

De Mattei
Construction Inc.

GENERAL CONTRACTOR
Building Relationships

1794 The Alameda
San Jose, CA 95126
408.350.4200 p
408.674.0440 c

[website](#) | [facebook](#) | [Houzz](#)

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Ryan Safty

From: Jim Whitney <jimw@demattei.com>
Sent: Thursday, October 3, 2019 4:24 PM
To: Nadia Costa
Cc: Town Manager; Attorney; Ryan Safty; Travis Brooks; mattcurrie@me.com; Shari Santos; Lerika Liscano; Linda Baron; Art Coon
Subject: RE: 16336 Shady View Lane Development [IWOV-iManage.FID1007514]
Attachments: Coulson - Privacy Exhibit - 2019-08-25r.pdf; Coulson - Privacy Tree Screen Reduction Set - 2019-10-03r.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

RECEIVED

OCT 03 2019

TOWN OF LOS GATOS
PLANNING DIVISION

Hello Nadia,

Attached please find a comprehensive PDF copy of the Planning set for 16336 Shady View. This set of drawings reflects all of the changes to date as well as the new privacy tree screen proposal. As you will see, we have reduced the number of trees to something that we feel is a bit more reasonable for both irrigation and maintenance but still provides ample screening. Also attached is a PDF copy of the revised Privacy Exhibit which we have been providing to both your client and the town as a tool to convey our efforts to mitigate the privacy concerns.

Please feel free to contact me with any questions.

Thank You,
Jim Whitney
Architectural Project Manager,
IT Oversight

De Mattei
Construction Inc.


GENERAL CONTRACTOR
Building Relationships

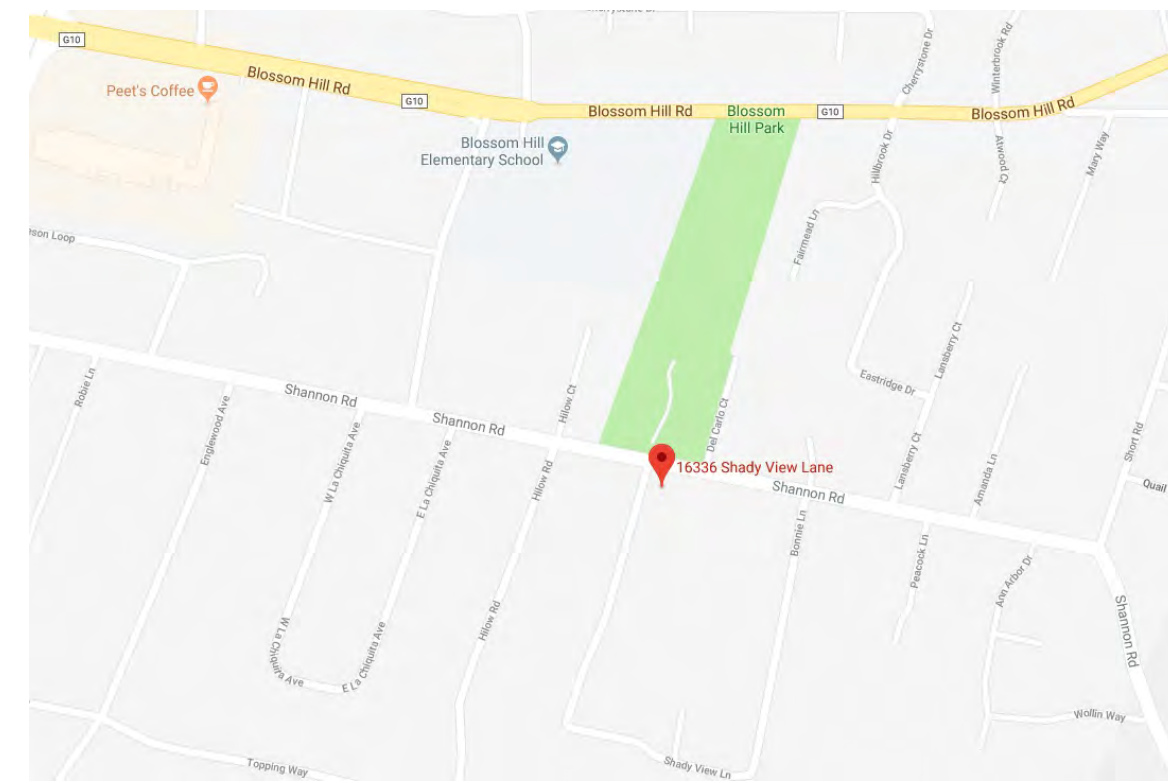
1794 The Alameda
San Jose, CA 95126
408.350.4200 p
408.674.0440 c
[website](#) | [facebook](#) | [Houzz](#)

From: Nadia Costa [mailto:nadia.costa@msrlegal.com]
Sent: Wednesday, October 2, 2019 3:07 PM
To: 'Jim Whitney' <jimw@demattei.com>
Cc: 'manager@losgatosca.gov' <manager@losgatosca.gov>; 'attorney@losgatosca.gov' <attorney@losgatosca.gov>; 'Ryan Safty' <RSafty@losgatosca.gov>; Travis Brooks <travis.brooks@msrlegal.com>; 'mattcurrie@me.com' <mattcurrie@me.com>; Shari Santos <shari.santos@msrlegal.com>; 'Lerika Liscano' <lerika@demattei.com>; 'Linda Baron' <lbaron@demattei.com>; Art Coon <arthur.coon@msrlegal.com>
Subject: RE: 16336 Shady View Lane Development [IWOV-iManage.FID1007514]

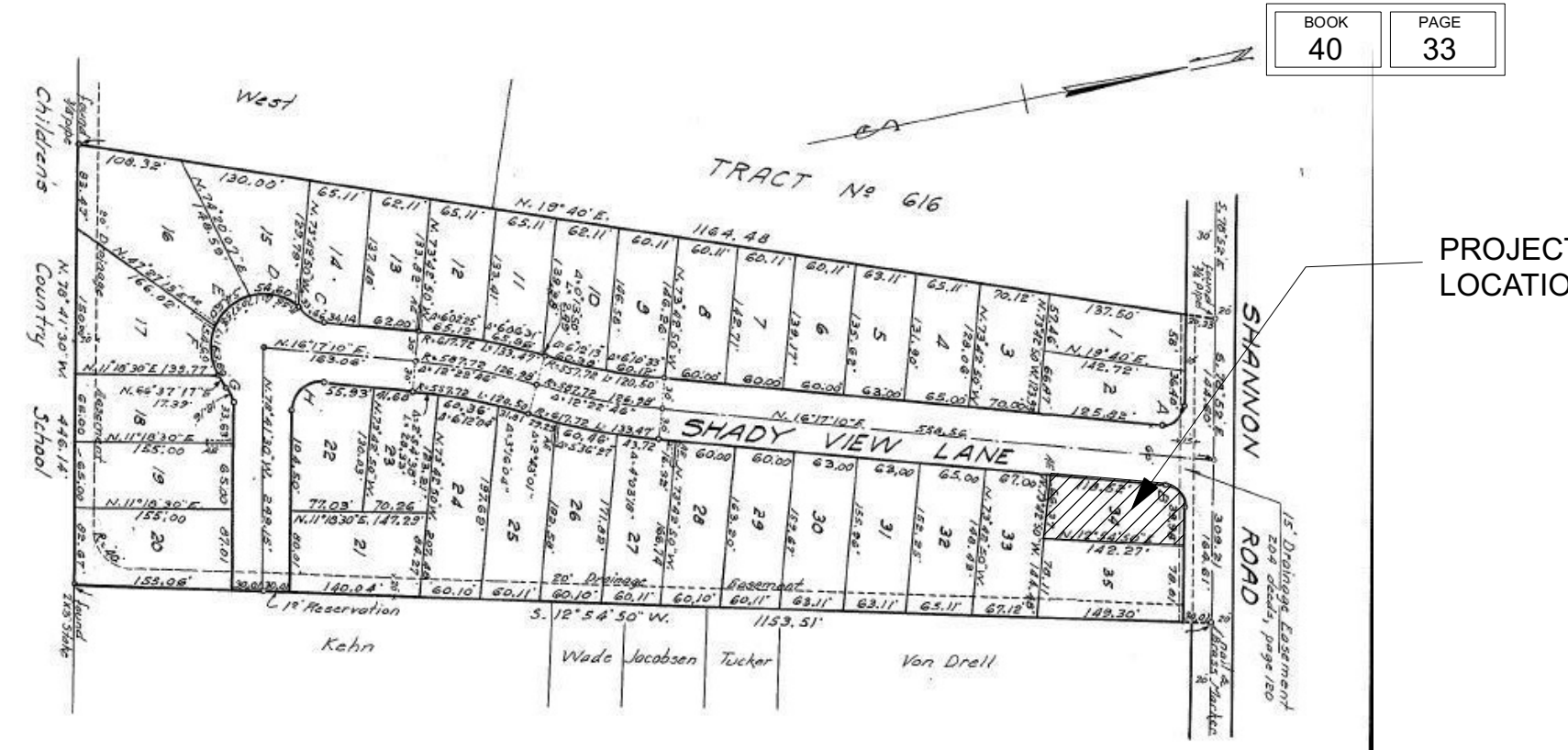
Good afternoon Jim:

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LOCATION MAP



PARCEL MAP



Coulson Residence

SCOPE OF WORK:

- 2 DEMOLISH (E) 1,056 SF 1-STORY RESIDENCE. BUILD (N) 2,698.75 SF 2-STORY HOME.

PROJECT DATA

ZONING	R1-8-PREZONE
OCCUPANCY TYPE	R3/U
BUILDING TYPE	VB
APN	532-03-034
LOT AREA	8,610 SF
(E) RESIDENCE TO BE REMOVED	1,056 SF
FLOOR AREA:	
(N) 1st FLOOR	1,181.08 SF
(N) 2ND FLOOR	1,459.67 SF
TOTAL	2,640.75 SF
(N) FAR	31 % > MAX. 32 %
(N) ATTACHED GARAGE:	
FAR	422.81 SF
	5 % < MAX. 9 %
BUILDING COVERAGE:	
(N) RESIDENCE	2,307.96 SF
TOTAL	2,307.96 SF
	26.8 % < MAX. 40 %
PARKING	2 COVERED SPACES

PROJECT DIRECTORY

PROPERTY OWNER:
Allan Coulson
16336 Shady View Ln
Los Gatos, CA 95032

DESIGNER/CONTRACTOR:
DE MATTEI CONSTRUCTION, INC.
1794 THE ALAMEDA
SAN JOSE, CA 95126
(408) 295-7516

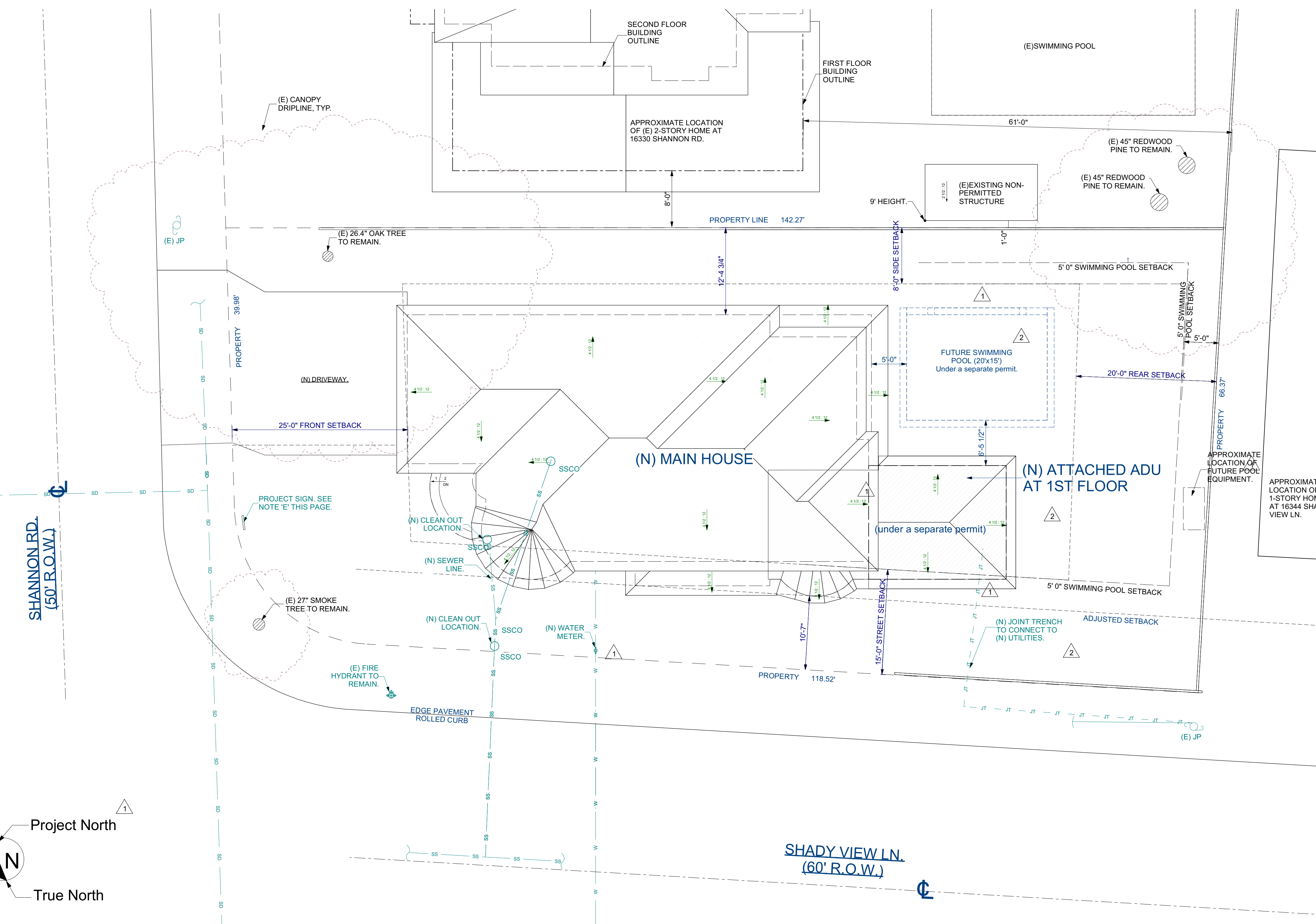
CONSTRUCTION SHALL CONFORM TO:

- 2016 California Building Code
- 2016 California Residential Code
- 2016 California Plumbing Code
- 2016 California Mechanical Code
- 2016 California Electrical Code
- 2016 Energy Code
- 2016 Green Building Code
- 2016 California Fire Code
- 2016 California Reference Standards Code

SHEET INDEX

CS	COVER SHEET
1	BLUEPRINT FOR A CLEAN BAY TOPOGRAPHIC SURVEY
C-1	COVER SHEET
C-2	GRADING AND DRAINAGE PLAN
C-3	DRAINAGE AND MISC. DETAILS
C-4	EROSION CONTROL PLAN
L1	LANDSCAPE PLAN
A0.0	GENERAL NOTES
A0.1	SITE DEMO AND TREE PROTECTION.
A0.2	GREENPOINT RATED CHECKLIST
A1.0	FLOOR AREA DIAGRAMS
A2.1	PROPOSED FIRST FLOOR PLAN
A2.2	PROPOSED SECOND FLOOR PLAN
A3.1	PROPOSED EXTERIOR ELEVATIONS
A3.2	PROPOSED EXTERIOR ELEVATIONS
A4.1	PROPOSED SECTIONS
A6.1	NEIGHBORHOOD PHOTOGRAPHS
A6.2	SHADOW STUDY
A6.3	SCHEMATIC NEIGHBORHOOD ELEVATIONS
A7.0	SITE PLAN
PE	PRIVACY EXHIBIT

- NOTES:
- A. ROOF RAINWATER LEADERS ARE TO BE DISCHARGED ONTO SPLASH BLOCKS AND DIRECTED INTO LANDSCAPED AREAS.
 - B. A SANITARY SEWER LATERAL CLEAN-OUT SHALL BE INSTALLED AT THE PROPERTY LINE. IF ONE DOES NOT ALREADY EXIST WITHIN TWO FEET OF THE PROPERTY LINE.
 - C. ALL EXTERIOR LIGHTING WILL BE DOWNWARD DIRECTED.
 - D. FIRE SPRINKLER SYSTEM WILL BE PROVIDED AND INSTALLED PER NFPA 13D 2016 ADDITION.
 - E. PROJECT SIGN SHALL BE ORIENTED TOWARDS THE STREET WITHIN 1' OF PROPERTY LINE OR 2' OF THE BACK OF SIDEWALK. THE TOP OF THE SIGN SHALL BE 5' FROM (E) GRADE.



1 PROPOSED SITE/ROOF PLAN
Scale: 1/8"=1'-0"

PLANNING SET 10/3/2019

DISCLAIMER: THIS DOCUMENT CONTAINS TRADE INFORMATION THAT IS INTENDED FOR THE USE OF THE PROFESSIONAL ENGINEER OR ARCHITECT. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE PROFESSIONAL ENGINEER OR ARCHITECT.

NO.	DESCRIPTION	DATE	BY
1	RESPONSES TO PLAN CHECK COMMENTS	03/26/2019	LL
2	RESPONSES TO PLAN CHECK COMMENTS	05/10/2019	LL

SHEET TITLE:
COVER SHEET

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

DRAWINGS PROVIDED BY:
DeMattei Construction, Inc.
1794 The Alameda, San Jose, CA 95126
P: (408) 295-7516
F: (408) 286-6589
LIC.# B-476455

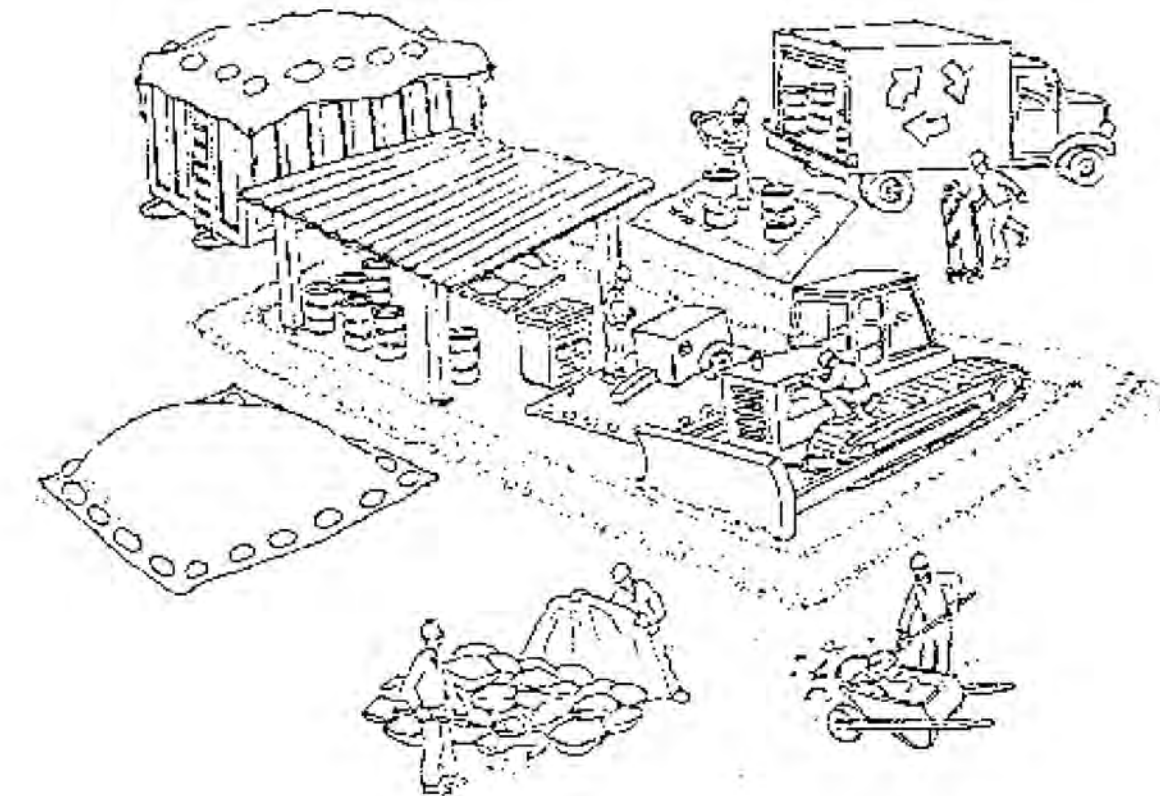
DATE:
12/17/2018

SCALE:
As shown

DRAWN BY:
LL / JW

SHEET:
CS

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.



- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.

- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

Paving/asphalt work



- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and man-holes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.

Painting



- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

NO.	DESCRIPTION	BY	DATE

SHEET TITLE: BLUEPRINT FOR A CLEAN BAY

PROJECT DESCRIPTION: Coulson Residence 16336 Shady View Ln Los Gatos, CA 95032

DRAWINGS PROVIDED BY: DeMatti Construction, Inc. 1794 The Alameda, San Jose CA, 95126 P: (408) 295-7516 F: (408) 286-6589 LIC.# B-476455

DATE: 12/17/2018

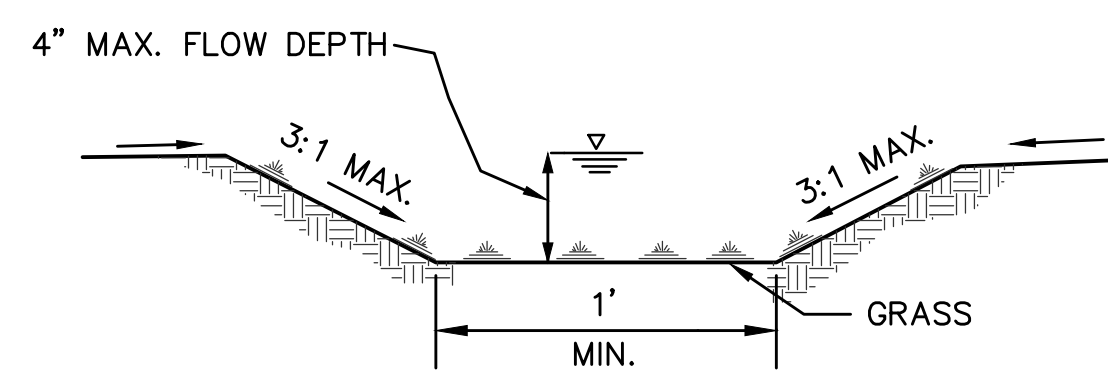
SCALE: As shown

DRAWN BY: LL / JW

SHEET:

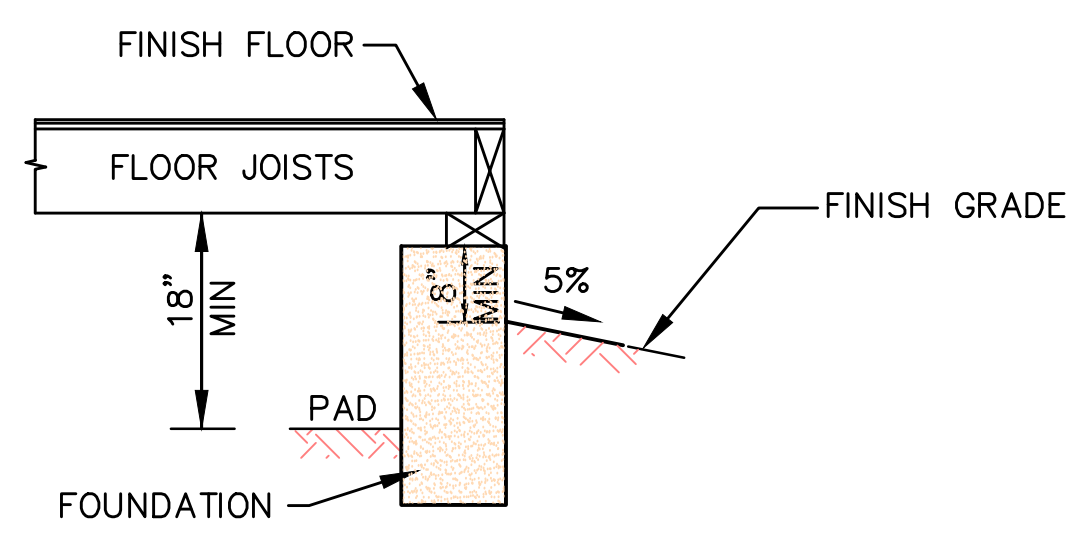
GRADING AND DRAINAGE CONSTRUCTION NOTES:

- 1 DIRECT ROOF DOWNSPOUT LEADERS TO APPROVED SPLASH BLOCKS (2' LENGTH MIN.), DIRECT AWAY FROM BUILDING FOR POSITIVE FLOW, & TOWARDS PERVIOUS AREA OF THE SITE -TYP. (SEE DETAIL)
- 2 DIRECT SURFACE FLOW DRAINAGE AWAY FROM BUILDING AT 2% SLOPE FOR PAVED AREAS AND SLOPE 5% FOR AT LEAST 4 FEET WHERE POSSIBLE, FOR NON-PAVED (DIRT & LANDSCAPE) AREAS.
- 3 4" SDR-26 SS. LAT. @ 2% MIN.
- 4 (N) WATER METER LINE (DESIGN BY OTHERS). CONNECT TO EXISTING WATER METER PER TOWN AND WATER DISTRICT REQUIREMENTS.
- 5 APPROXIMATE LOCATION OF JOINT TRENCH TRENCH INCLUDES: ALL GAS/ELECTRIC LINES, COMMUNICATIONS LINES AND APPURTENANCES, INCLUDING ALL PUBLIC UTILITY, CATV AND TELEGRAPH SYSTEMS, SHALL BE LOCATED AND INSTALLED UNDERGROUND.
- 6 GRASSY SWALE @ S=2%.
- 7 6" PVC (SDR-35) @ S=0.5% MIN.
- 8 REMOVE EXISTING SEWER CLEANOUT.
- 10 10'X6'X4.5' GRAVEL BASIN, SEE DETAIL.
- 11 (N) WATER METER.
- 12 APPROXIMATE LOCATION OF ROOF DOWNSPOUT, SEE ARCHITECTURAL PLANS FOR EXACT LOCATION.
- 13 (N) INFILTRATION DEVICE (CHRISTY V-24) WITHOUT BOTTOM.
- 14 4" PVC (SDR-35) @ S=1% MIN FOR CRAWL SPACE DRAINAGE.
- 15 1 1/2" PRESSURE DISCHARGE LINE.
- 16 APPROX. LOCATION OF 4" PERFORATED PIPE @ S=1% MIN. FOOTING DRAIN- TYP. (SEE DETAIL)
- 17 PROVIDE DEDICATED SUB DRAINAGE SUMP WITH PUMP. PUMP TO DISCHARGE AT BUBBLER PROVIDE BACKFLOW PREVENTION DEVICE ON DISCHARGE LINE. BACKUP POWER IS RECOMMENDED.
- 18 FOOTING DRAIN CLEAN-OUT- TYP. (SEE DETAIL).
- 19 REMOVE EXISTING STRUCTURE



GRASSY SWALE DETAIL

N.T.S.



NOTE
* PAD ELEVATION IS FOR INFORMATION ONLY.

EXTERIOR GRADING DETAIL (TYP.)

N.T.S.

LEGEND:

⊖ AREA DRAIN (CHRISTY BOX V-1) OR EQUAL

▣ CATCH BASIN (CHRISTY BOX V-24) OR EQUAL

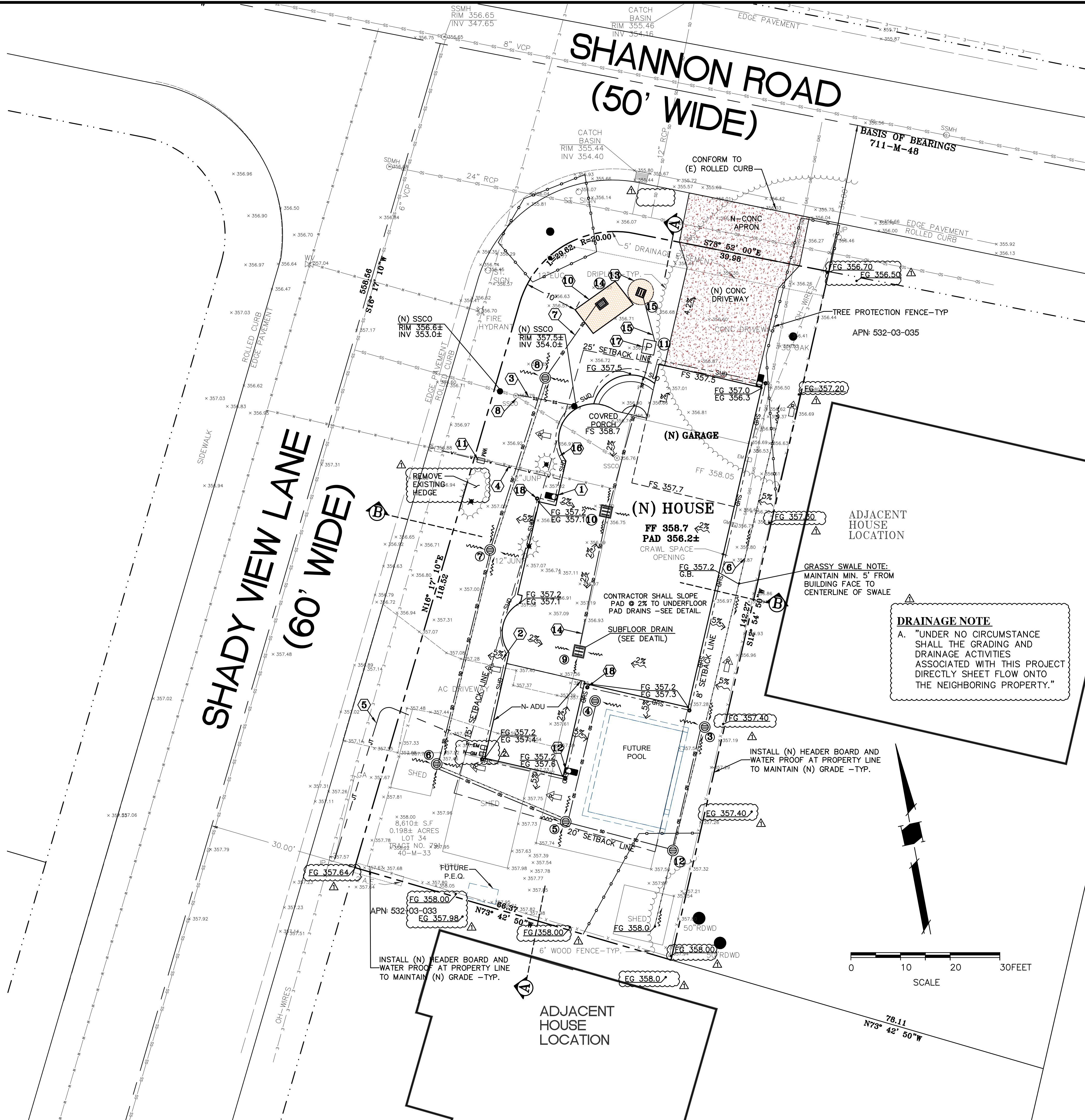
BENCHMARK

TOWN OF LOS GATOS
BM NO. LC43

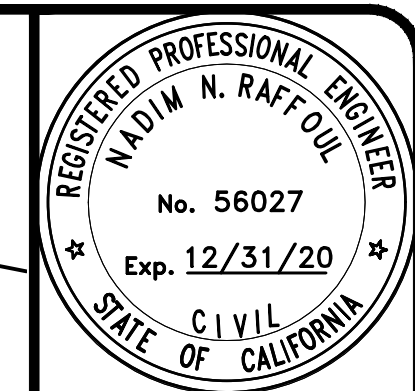
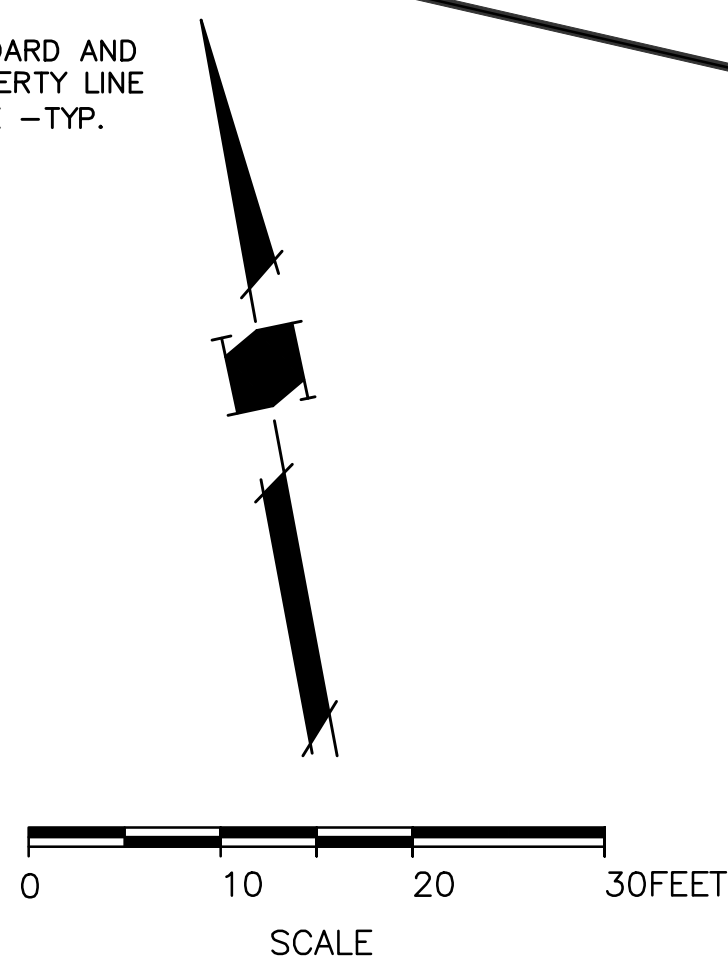
LOCATED AT THE INTERSECTION OF VISTA DEL MONTE AND VISTA DEL CAMPO. ELEVATION = 384.42' (NGVD29) ELEVATIONS SHOWN ON THIS MAP HAVE BEEN RAISED BY 2.72 FEET TO BE ON NAVD 1988.

DRAINAGE NOTE

- | | | | | | | | |
|----------------------------------|-----------------------------------|---|-----------------------------------|----------------------------------|----------------------------------|-----------------------------------|-----------------------------------|
| 3 AD
RIM 356.9±
INV 355.0± | 4 CB
RIM 357.7±
INV 354.8± | 5 AD
RIM 357.7±
INV 354.3± | 6 AD
RIM 357.5±
INV 354.0± | 7 AD
RIM 357.5±
INV 353.5± | 8 AD
RIM 357.5±
INV 353.0± | 14 CB
RIM 356.5±
INV 352.0± | 15 CB
RIM 356.5±
INV 353.0± |
| 9 CB
RIM 356.0±
INV 354.7± | 10 AD
RIM 355.8±
INV 354.2± | 11 SUMP W/PUMP
RIM 357.5±
INV 353.0±
PUMP @ 353.7± | 12 AD
RIM 357.7±
INV 354.6± | | | | |



DRAINAGE NOTE
A. "UNDER NO CIRCUMSTANCE SHALL THE GRADING AND DRAINAGE ACTIVITIES ASSOCIATED WITH THIS PROJECT DIRECTLY SHEET FLOW ONTO THE NEIGHBORING PROPERTY."



N.R. ENGINEERING
CIVIL ENGINEERS
585 WEDGECREEK DRIVE
SAN JOSE, CALIFORNIA 95123
(408) 348-7893

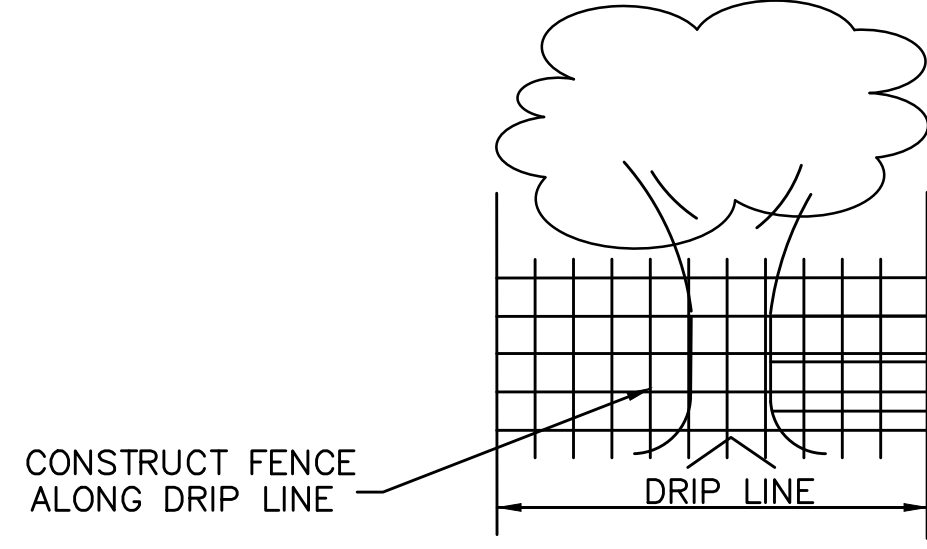
16336 SHADY VIEW LANE
LOS GATOS, CA.
SAN CLARA COUNTY APN 532-03-034 CALIFORNIA

GRADING AND DRAINAGE PLAN

COMMENTS RESPONSE	2/7/19
	5/15/19
REVISIONS	DATE
JOB NO:	
DATE:	12-2-2018
SCALE:	1" = 10'
DRAWN BY:	NR
SHEET NO:	

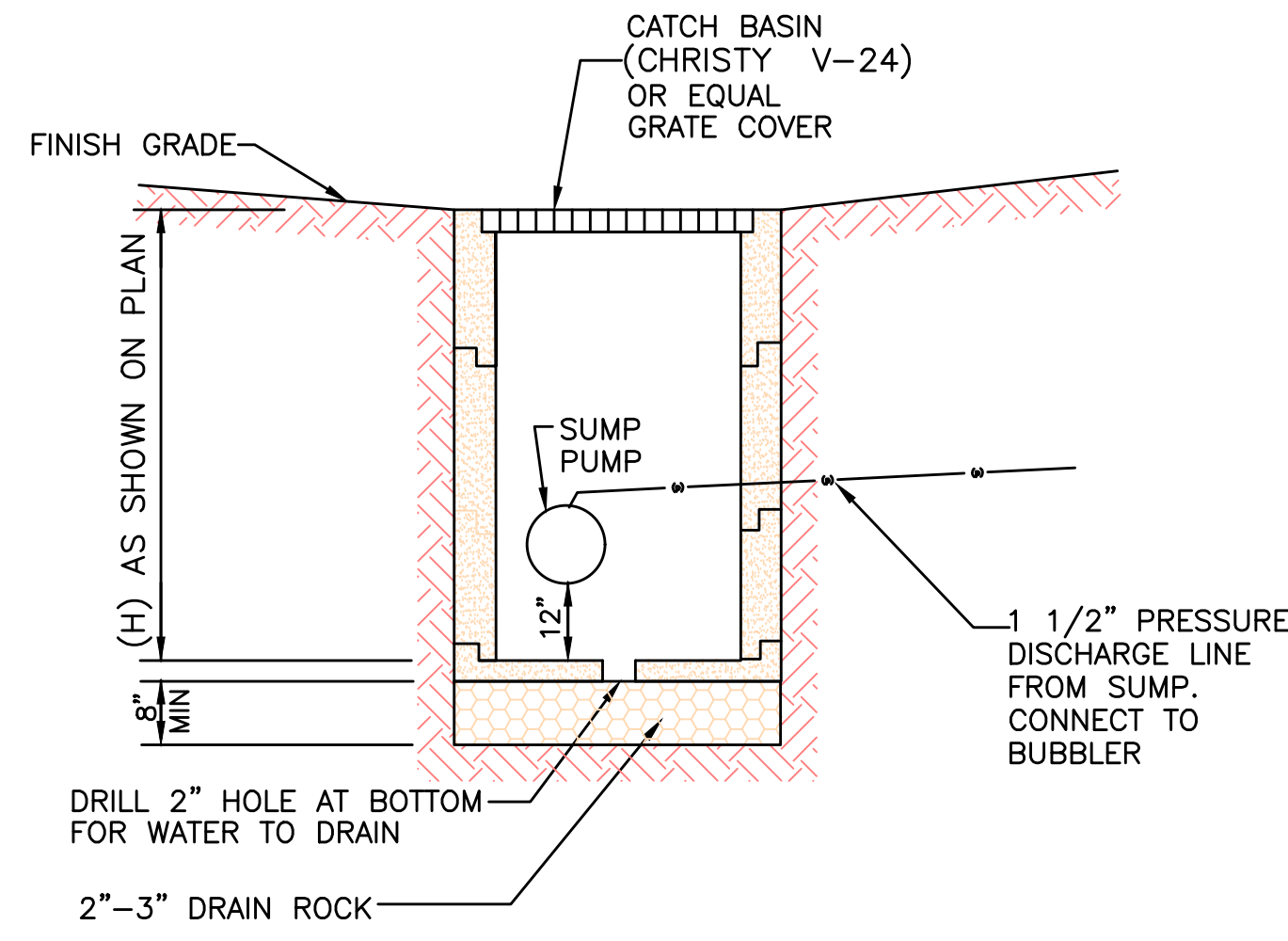
NOTES:

1. THE DEVELOPER SHALL INSTALL "THE PROTECTION DEVICE" PRIOR TO THE START OF GRADING OR CLEARING WORK.
2. THE CITY RESERVED THE RIGHT TO ISSUE A "STOP WORK" NOTICE IF THE "PROTECTIVE DEVICE" IS NOT INSTALLED.
3. ROLLED CHAIN LINK FENCE ON DRIVEN POST.
4. PLACE WOOD CHIP AROUND TREE AND ALONG DRIP LINE



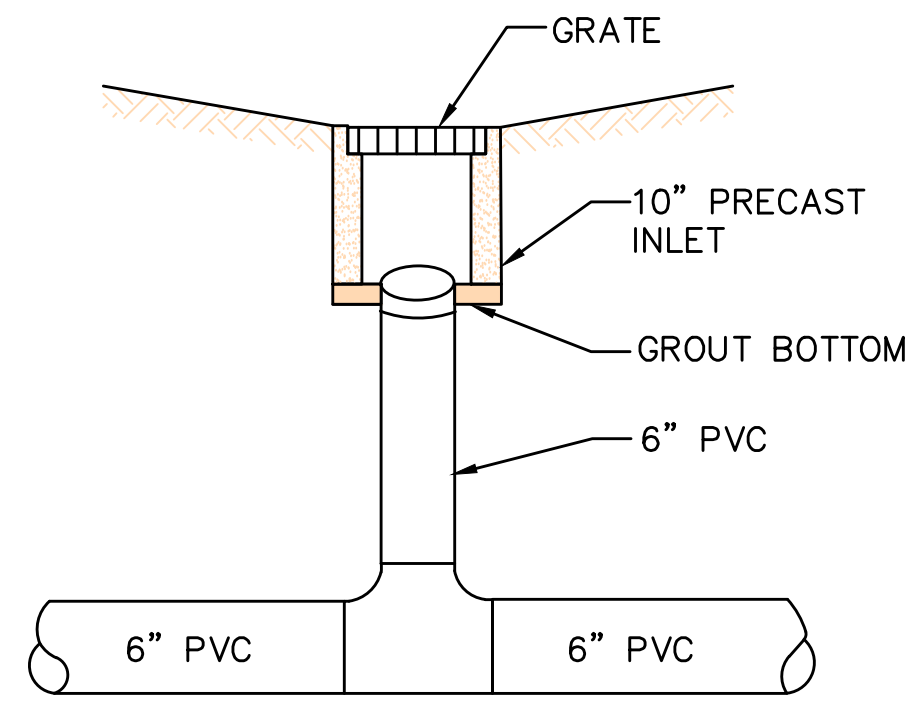
TREE PROTECTION DETAIL

N.T.S.



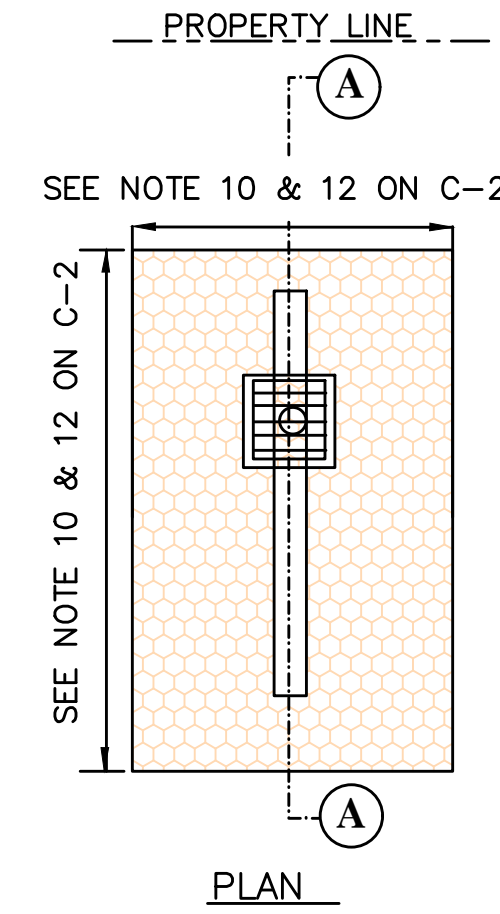
CATCH BASIN DETAIL

N.T.S.



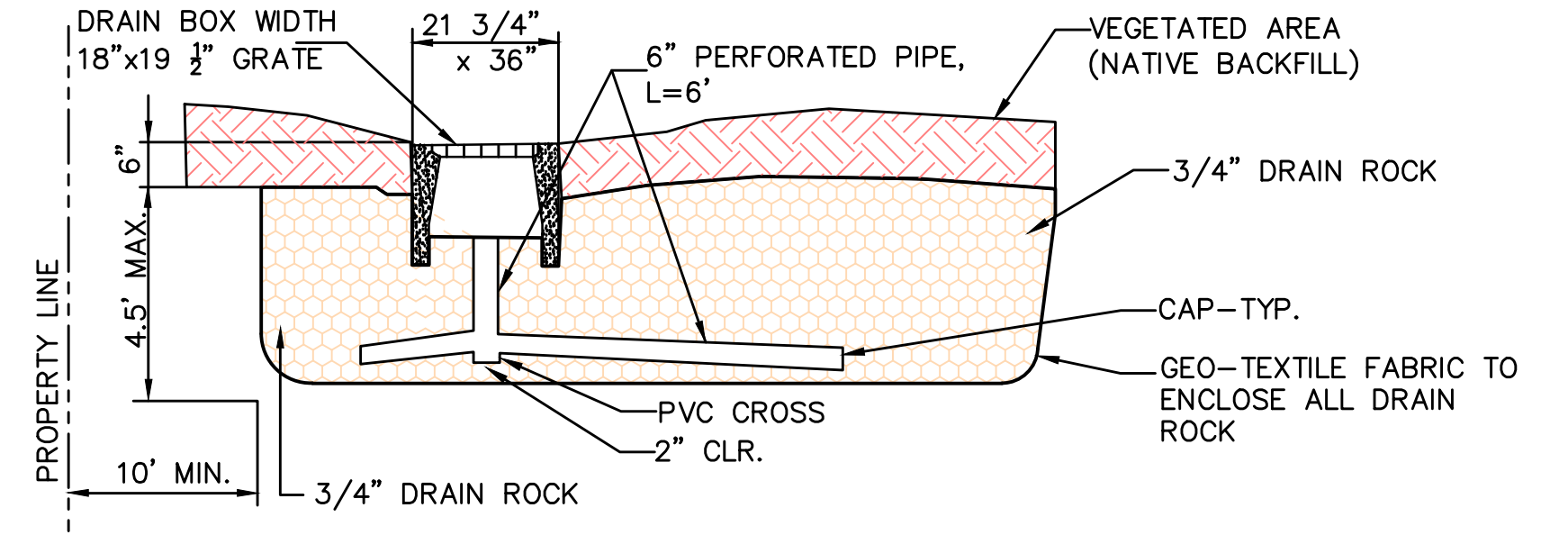
AREA DRAIN DETAIL

N.T.S.

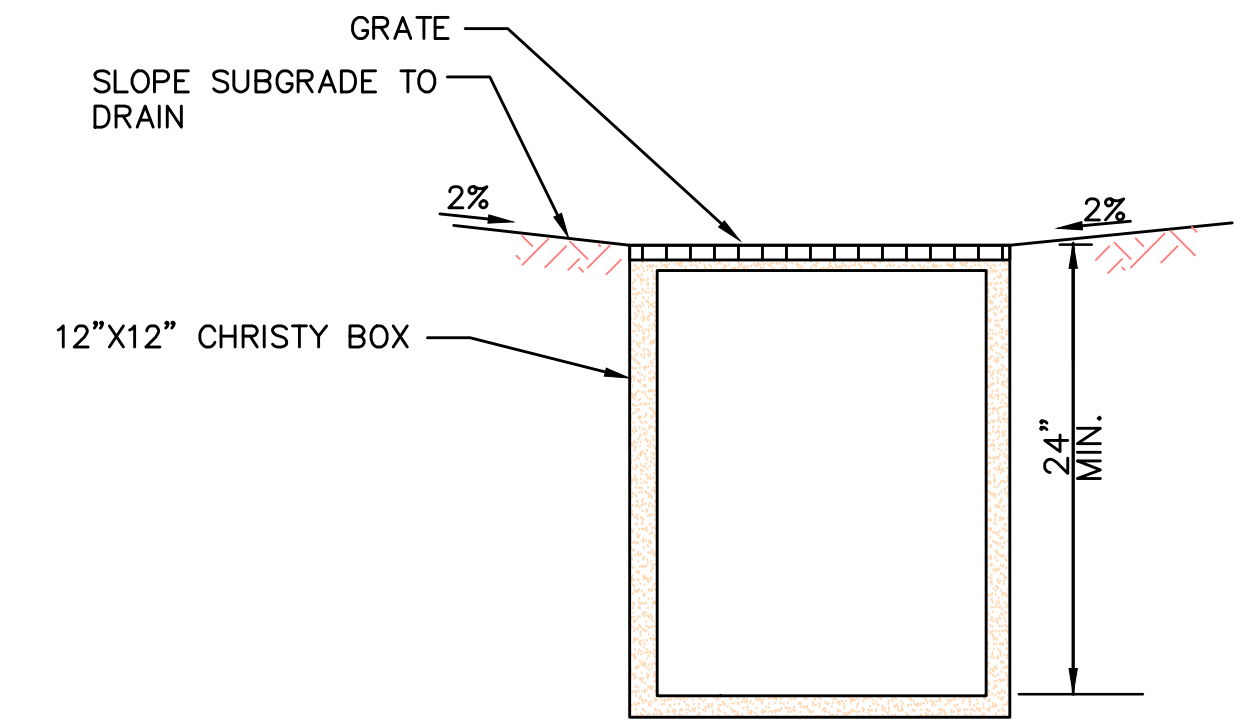


GRAVEL BASIN DETAIL

N.T.S.

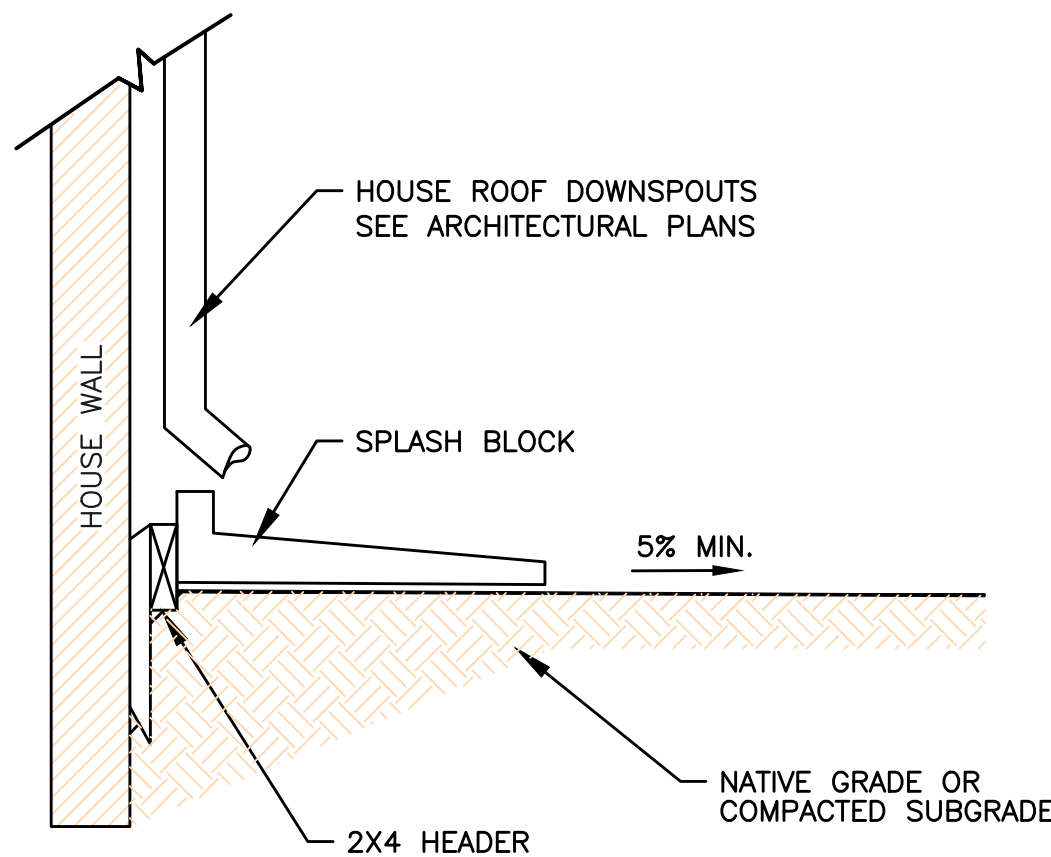


SECTION A-A



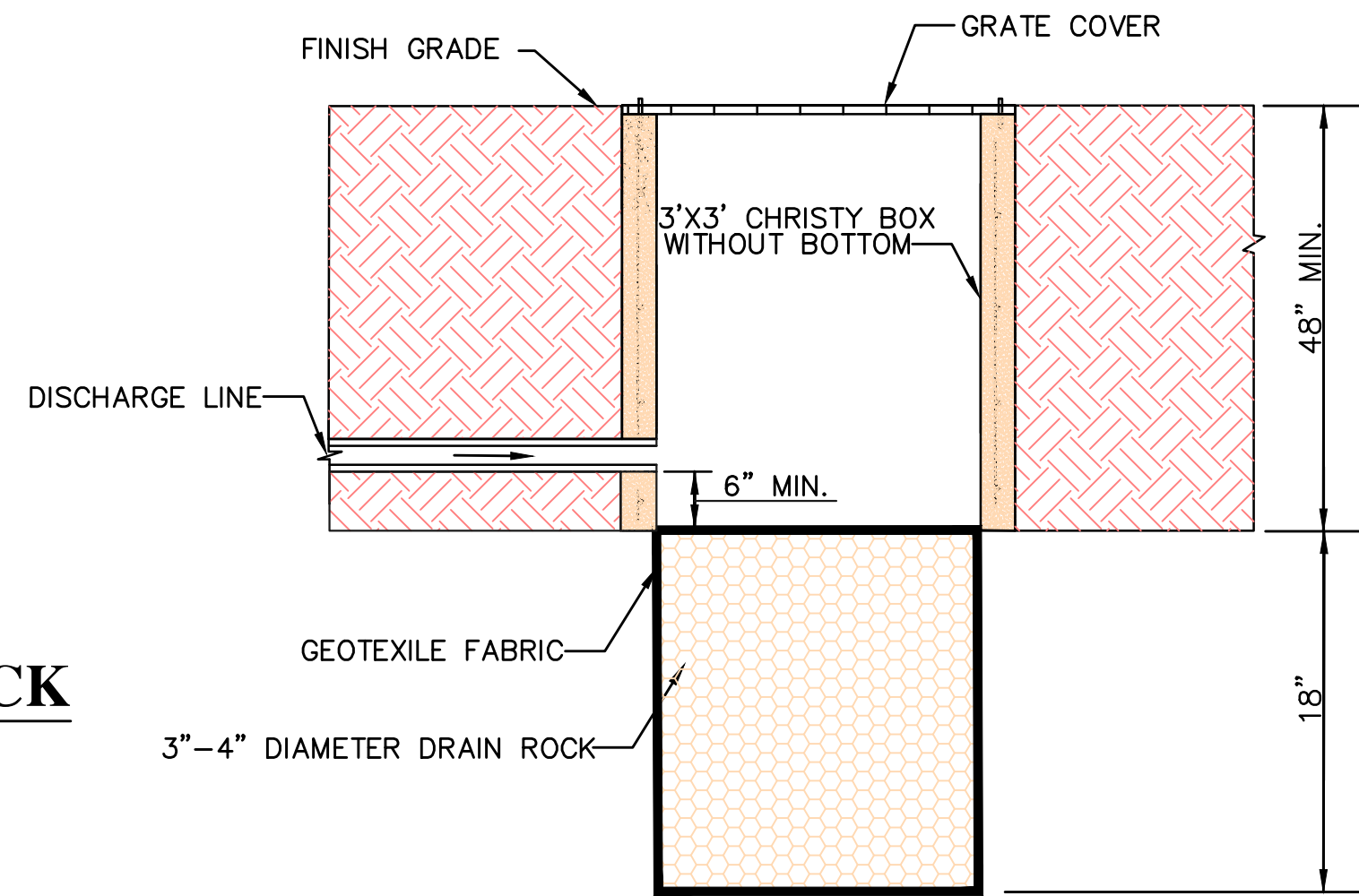
SUBFLOOR DRAIN DETAIL

N.T.S.



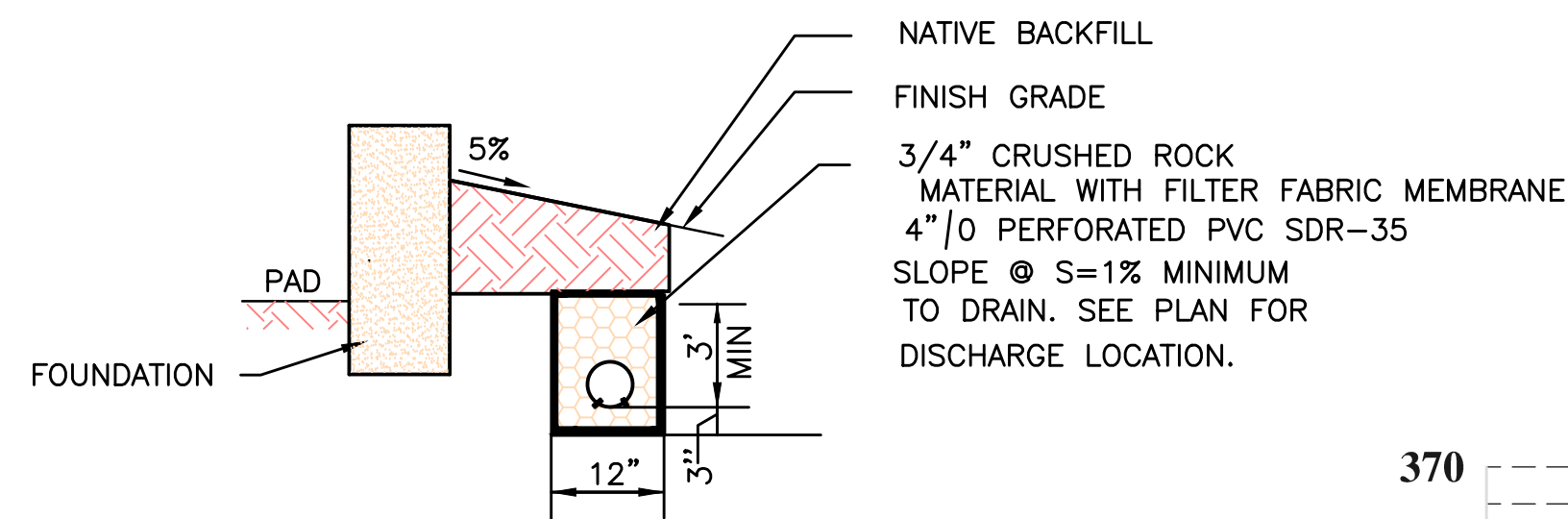
ROOF DOWNSPOUT/SPLASH BLOCK

N.T.S.



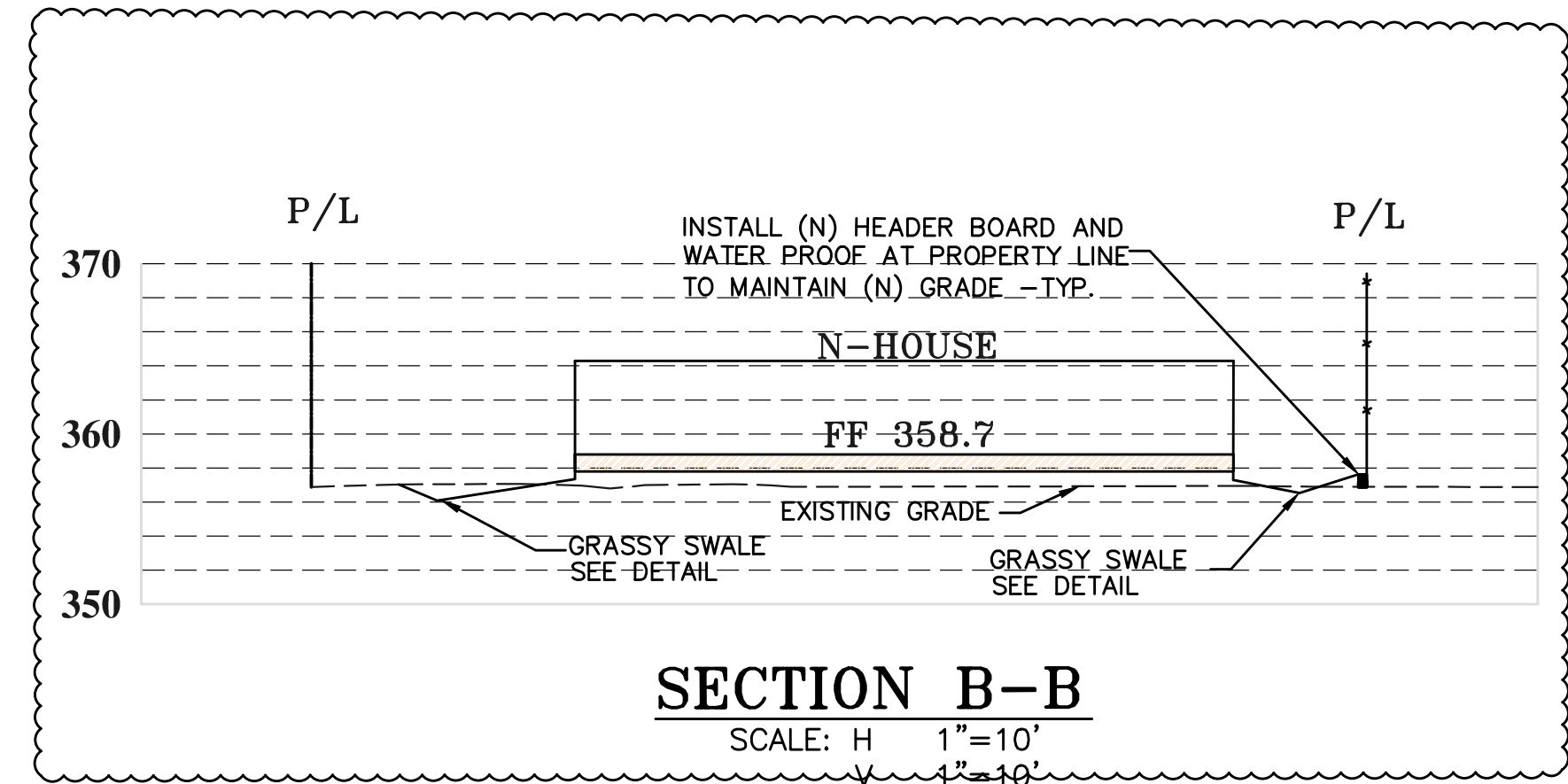
INFILTRATION DEVICE DETAIL

N.T.S.



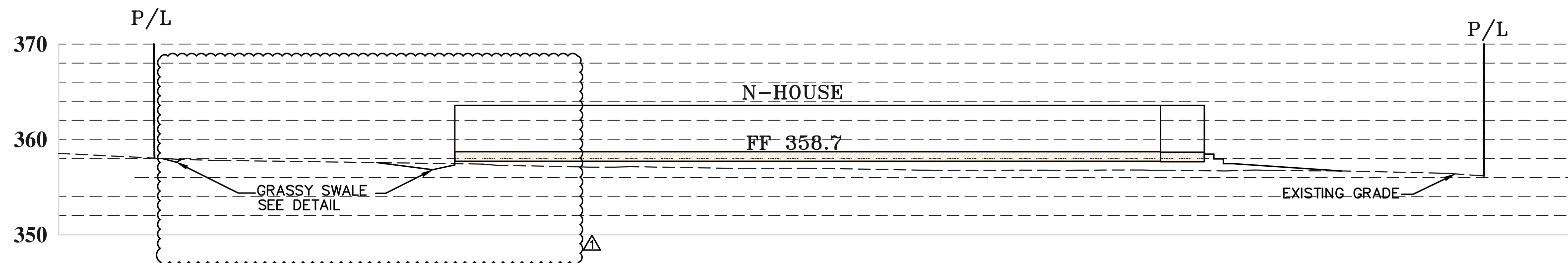
FOOTING DRAINS SYSTEM

N.T.S.



SECTION B-B

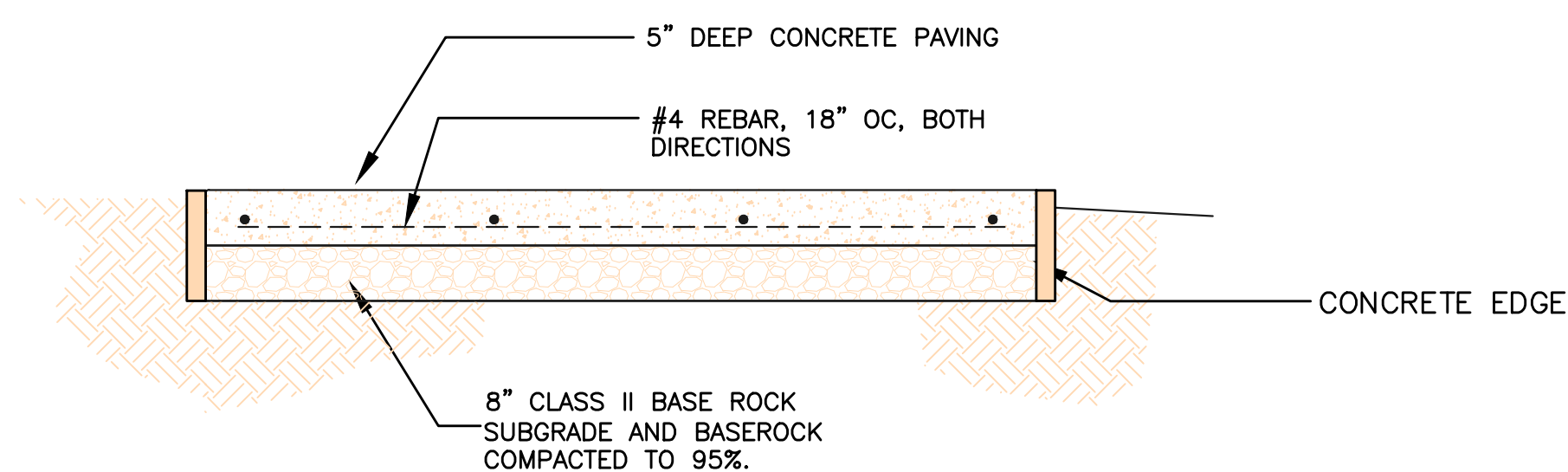
SCALE: H 1"=10'



SECTION A-A

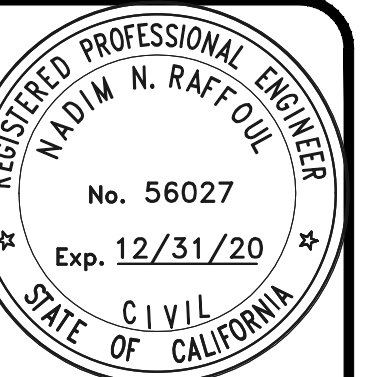
SCALE: H 1"=10'

V 1"=10'



CONCRETE DRIVEWAY-TYPICAL SECTION

N.T.S.



NMR ENGINEERING
 CIVIL ENGINEER
 535 WEDGECREE DRIVE
 SAN JOSE, CALIFORNIA 95128
 (408) 348-7893

16336 SHADY VIEW LANE
 LOS GATOS, CA.
 SAN CLARA COUNTY APN 532-09-034
 CALIFORNIA

DRAINAGE AND MISC. DETAILS

RESPONSE TO TOWN COMMENTS 2/7/19

REVISIONS DATE

JOB NO:

DATE: 12-2-2018

SCALE: AS SHOWN

DRAWN BY: NR

SHEET NO:

C-3

OF 4 SHEETS

LANDSCAPE DOCUMENTATION PACKAGE CHECKLIST

1 - PROJECT INFORMATION

- a Date - 5-27-19
- b Applicant - Greg Lewis - Landscape Architect
- c Project Address - 16336 Shady View Lane, Los Gatos
- d Total Irrigated Landscape Area - 4030 sf (not counting pool)
- e Type of project - single family residential
- f Potable Water
- g Checklist of all documents in package - see this page
- h Contacts of Applicant - Greg Lewis - Landscape Architect
lewlandscape@sbcglobal.net
phone (831) 359-0960
Owner - Katty Coulson koulson@cisco.com
- i "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package"

2 - WATER EFFICIENT LANDSCAPE WORKSHEETS - SEE SHEET L2

3 - SOIL MANAGEMENT REPORT See sheet L3

4 - LANDSCAPE DESIGN PLAN See sheets L1

5 - IRRIGATION DESIGN PLAN See sheets L2

6 - GRADING DESIGN PLAN See the Grading and Drainage Plans done by the civil engineer - NNR Engineering nnrengineering@yahoo.com

The following items are required when the landscape construction is complete

CERTIFICATION OF COMPLETION

Project information sheet - see current MWELo information on line for current forms

Certification that the landscape project has been installed per the approved Landscape Documentation Package
See current MWELo information on line for the current forms

Irrigation Scheduling

Landscape and Irrigation Maintenance Schedule

Irrigation Audit Report

Documentation verifying implementation of soil report recommendations

Replacement Trees

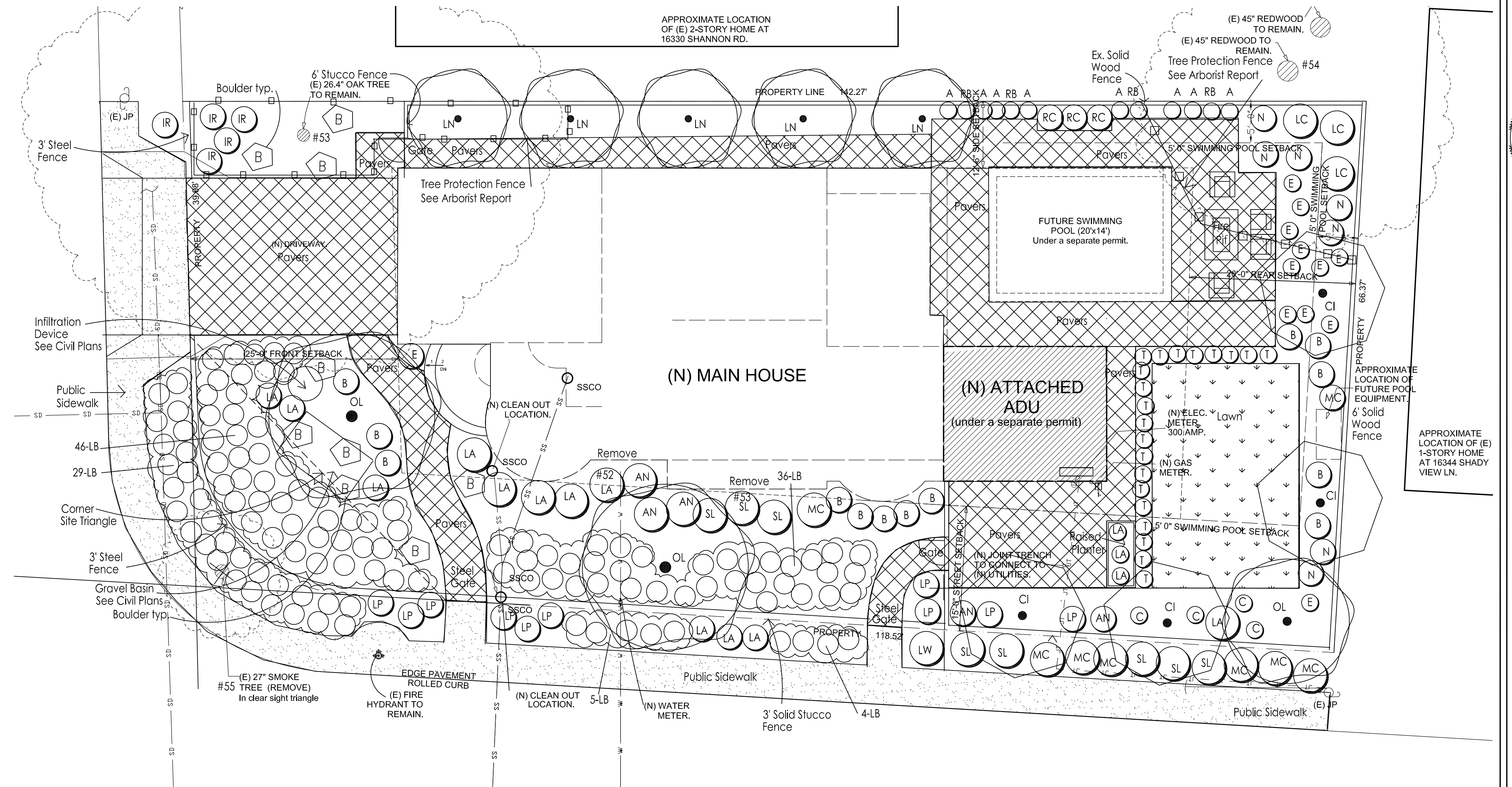
- 1) Per city arborist report dated 1/31/19 by Walter Levison, replacement trees for Cypress trees # 51 and #52 is four 24" box trees
- 2) The existing Smoke Tree in the city ROW is in the clear sight triangle and we would like to remove it. The canopy is between 10' and 25' dia. which would require three 24" box trees according to the table on page 22 of the arborist's report
- 3) Total replacement trees are seven 24" box trees
four 24" box Citrus
three 24" box Swan Hill Olive

Landscape Notes

- 1) See sheets L3 and L4 for details and specifications.
- No irrigation trenching is allowed under the canopy of existing trees to be saved unless approved by the city arborist. Irrigation drip lines are to be 1 inch deep on the surface of the soil, covered with mulch. Pressure lines and valves are not to be located under canopies of trees to be saved.
- 2) Exact location of plants on site to be adjusted so as to best coordinate with irrigation component locations, lights, drainage features, and swales
- 3) Use 3 inch deep mulch in all planting areas. Provide owner with different mulch samples and prices including nitrified RWD sawdust, medium fir bark, and Mahogany colored Wonder Mulch from Vision Recycling in Fremont
- 4) Install plants for all plant circles shown on the plan even if they aren't labeled. Call for clarification. For bidding purposes, if no one is available to answer questions, assume that any plant circle scaled less than 8' wide is 5 gal. size and any circle scaled larger is 15 gal. size
- 5) The plan is schematic. Don't install plants too close to edges of paving or buildings. Keep valves and quick couplers away from trees.
- 6) The plants will do much better if efforts to uncompact soil that has been compacted during building construction.
- 7) See specs. concerning soil amendments and fertilizer. For bidding purposes until the soil fertility test is done, bid 6 cubic yards of 89 Organics Super Humus Compost. 16 pounds of 12-12-12 fertilizer filled into the top 6" to 8" of soil after ripping soil to 12" deep, except on steep slopes. Some of the planting areas are so narrow that it will need to be dug in by hand.
- 8) See the Irrigation Plan, Irrigation Legend under the Rainbird XFS-XDI drip tubing for special soil prep. in the FR ground cover areas
- 9) See the project Arborist's report concerning required distances of utility lines from trunks of trees that are to be saved. Read the city arborist's tree report and tree protection plan concerning the protection of all existing trees to be saved during construction.
- 10) Check with the Landscape Architect to make sure you have the most recent Landscape Plans prior to construction and finalizing the bid.
- 11) Boulders - Average size 2x2x2.5' set into soil to appear stable. Bid Sonoma Fieldstone but also give owners prices for rounded granite or some other type of boulder they like that might go well with rock on their house.
- 12) Raised planter - 24" high, build with 2x12 rough redwood with 4x4 posts 4 feet apart set in concrete 24" deep. Use gopher wire and fill with high quality planter mix. Install S45 2x6 redwood cap

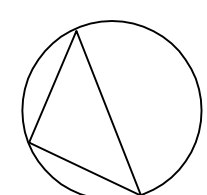
Plant Legend

KEY	QTY	SIZE in gallons	BOTANICAL NAME	COMMON NAME	WUCOLS WATER USE RATING
TREES					
OL	3	24" box	Olea Swan Hill - no fruit Replacement Trees	Swan Hill Olive	LOW
CI	4	24" box	Citrus tree - variety selected by owner Replacement Trees		MED
SCREENING TREE OPTIONS					
LN	10	24" box	Laurus nobilis @ 8' O.C. Pittosporum undulatum @ 8' O.C. Podocarpus gracillior @ 8' O.C. Pittosporum eugenioides @ 5' O.C.	Greecian Laurel Victorian Box Fern Pine	LOW LOW MED MED
MEDIUM SHRUBS					
RC	-	5 gal.	Rhaphirolepis minor	India Hawthorne	LOW
MC	-	5 gal.	Myrtus communis	Myrtle	LOW
RB	-	5 gal.	Rosa banksiae double white trained on fence	Lady Banks Rose	LOW
LA	-	5 gal.	Lavandula Grosso	Lavander	LOW
LC	-	5 gal.	Loropetalum Razleberry		LOW
GROUND COVERS					
LB	-	1 gal.	Lomandra Breeze		LOW
C	-	1 gal.	Carex divulsa	Berkeley Sedge	LOW
LP	-	5 gal.	Limonium perezii	Sea Statice	LOW
IR	-	1 gal.	Iris Canyon Snow	Native Iris	LOW
T	-	1 gal.	Thymus serpyllum Reiter's	Creeping Thyme	LOW
AN	-	1 gal.	Anigazanthus Bush Gold or Bush Ranger	Kangaroo Paws	LOW
LW	-	1 gal.	Lantana montevidensis white	Low White Lantana	LOW
V	-	1 gal.	Aloe vera	Medicinal Aloe	LOW
B	-	1 gal.	Bulbine frutescens - yellow or orange		LOW
E	-	1 gal.	Aeonium urbicum Dinner Platter		LOW
SL	-	1 gal.	Salvia leucantha	Mexican Sage	LOW
LAWN	-	sod	Turf tall fescue sod with 2x4 redwood header bd.		HIGH



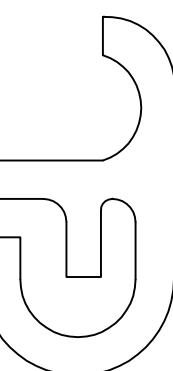
Cover Sheet and
Landscape Plan

1/8"=1'-0"
0' 8' 16'



Revision

GREGORY LEWIS LANDSCAPE ARCHITECT #2176
736 Park Way Santa Cruz, CA 95065 (831) 359-0960
lewlandscape@sbcglobal.net



Coulson Residence
16336 Shady View Ln., Los Gatos

Date 10/3/19
Scale As Noted
Drawn Greg

Job Sheet
L1
of 5

GENERAL NOTES

ARCHITECTURAL

WALL AND FLOOR FLASHING: ALL FLASHING AT WALLS, FLOORS, AND JOINT UNCTURES TO VERTICAL SURFACES SHALL BE 26 GA. G.I. UNLESS NOTED OTHERWISE ON PLANS. FORM FABRICATE AND INSTALL FLASHING AS SHOWN ON DETAILS. SET ALL FLASHING IN PLASTIC CEMENT AND SET JOINTS IN BUTYL MASTIC. FLASHING SECTIONS SHALL HAVE AN END LAP OF 4" MIN.

DOORS: ALL EXTERIOR DOORS ARE TO BE FULLY WEATHER-STRIPPED, CERTIFIED AND LABELED FOR COMPLIANCE TO ENERGY CONSERVATION REGULATIONS. ALL FRENCH DOORS SHALL BE PAINT GRADE WOOD WITH TEMPERED, DOUBLE GLASS PANELS ARRANGED AS SHOWN ON PLANS AND DOOR SCHEDULE.

WINDOWS: ALL WINDOWS SHALL BE FULLY WEATHER-STRIPPED, CERTIFIED AND LABELED FOR COMPLIANCE TO ENERGY CONSERVATION REGULATIONS. ALL WINDOWS ARE TO BE WOOD OR VINYL FRAMED. DOUBLE GLAZED WITH PANES AS SHOWN ON PLANS AND WINDOW SCHEDULE AND A MAXIMUM U-VALUE AS SET FORTH IN THE T-24 ENERGY CALCULATIONS.

BATH COUNTER TOPS: ALL BATH COUNTERTOPS AND SPLASHES SHALL BE CERAMIC TILE AS SELECTED BY OWNER UNLESS NOTED OTHERWISE ON PLANS. GISE GRANITE OR MARBLE TILES OR SLAB WHERE NOTED ON PLANS AND INTERIOR ELEVATIONS.

WEATHER BARRIER: ALL WEATHER EXPOSED WALL SURFACES SHALL BE PROTECTED WITH AN UNDERLAYMENT OF (2) LAYERS GRADE "D" BUILDING PAPER OVER PLYWOOD WALL SHEATHING. UNDERLAYMENT SHALL BE APPLIED SINGLE FASHION WITH MIN. 2" LAP AT HORIZONTAL JOINTS AND MIN. 6" LAP AT VERTICAL JOINTS. UNDERLAYMENT SHALL BE FREE OF HOLES AND BREAKS OTHER THAN THOSE FROM NAILING TO PLYWOOD SHEATHING OR WALL STUDS.

INSULATION: FIBERGLASS BATT INSULATION SHALL BE INSTALLED ACCORDING TO THE T-24 REPORT. SEE T-24 REPORT FOR INSULATION VALUES.

CAULKING: ALL JOINTS AND PENETRATIONS AT EXTERIOR WALLS, CEILINGS AND FLOOR ASSEMBLIES SHALL BE FULLY CAULKED AND SEALED.

TUBS & SHOWERS: SHOWERS SHALL BE A MIN. SIZE OF 1024 SQ. IN. AND ACCOMMODATE AT 30" CIRCLE. BACKER FOR SHOWER AND TUB SHOWER WALLS TO BE FIBER-CEMENT, FIBER REINFORCED CEMENTITIOUS BACKER OR GYPSUM BACKERS OR FIBER-REINFORCED GYPSUM BACKERS TO A MIN. HEIGHT OF 72" ABOVE THE FLOOR. SHOWER WALLS SHALL BE FINISHED WITH CERAMIC TILE OF OTHER SMOOTH, HARD NON-ABSORBENT COVERING. ALL TUB AND SHOWER GLAZING SHALL BE MADE OF SHATTER RESISTANT GLAZING. SWING DOORS SHALL OPEN OUTWARD WITH A MIN. OPENING CLEARANCE OF 22".

PRE-FABRICATED FIREPLACES: PRE-FABRICATED METAL FIREPLACES SHALL BE INSTALLED WITH INSULATED CHIMNEY FLUE, SPARK ARRESTOR AND ACCESSORIES ACCORDING TO MANUFACTURER'S SPECIFICATIONS. FIREPLACE OPENING SHALL BE EQUIPPED WITH A TIGHT FITTING, CLOSABLE METAL OR GLASS DOOR. FIREPLACE SHALL HAVE A FLUE DAMPER AND AN OUTSIDE AIR INTAKE WITH DAMPER. ONLY GAS APPLIANCE FIREPLACES ARE TO BE USED.

GLAZING: ALL GLAZING SHALL CONFORM TO FEDERAL GLAZING REGULATIONS AND THE CALIFORNIA RESIDENTIAL CODE. GLAZING IN HAZARDOUS LOCATIONS SHALL BE FULLY TEMPERED GLASS OR APPROVED PLASTIC AND IS PERMANENTLY IDENTIFIED BY THE MANUFACTURER OR INSTALLER.

MECHANICAL ROOM DOORS: ACCESS DOORS OF THE MECHANICAL ROOM SHALL BE IDENTIFIED WITH A MINIMUM 100 SQ. IN. LOUVERED VENT AT TOP OF DOORS AND MINIMUM 100 SQ. IN. LOUVERED VENT AT BOTTOM OF DOORS.

GYPSUM WALLBOARD: ALL INTERIOR WALL AND CEILING FACES ARE TO BE SHEATHED WITH 1/2" GYPSUM WALLBOARD EXCEPT WHERE NOTED TO USE 5/8" TYPE "X" WALLBOARD. TAPE, TEXTURE AND PAINT GYP. BOARD ACCORDING TO FINISH SCHEDULE. ALL GAPS AND PENETRATIONS AT 5/8" TYPE "X" WALLBOARD SHALL BE FILLED WITH TAPING CEMENT. NAIL ALL GYP. BOARD TO WALL STUDS, PLATES, BLOCKING, ETC. AS FOLLOWS:
1/2" WALLBOARD 4d CEMENT COATED BOX NAIL OR 1-3/8" x 14 GA. ACID-ETCHED, PHOSPHATE COATED
NAIL OR 4d "DRYVITE" NAIL AT 7" O.C.
5/8" TYPE "X" WALLBOARD 6d "COOLER" NAILS AT 7" O.C.

ROOF VENTILATION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE OR 1/300 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:

1. IN CLIMATE ZONES 14 AND 16, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.
2. AT LEAST 40 PERCENT AND NOT MORE THAN 60 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS. INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

ALL VENT OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT, NON-COMBUSTIBLE METAL MESH WITH MESH OPENINGS OF AT LEAST 1/16" AND A MAXIMUM OF 1/8" DIMENSION. VENTS SHALL BE LOCATED SO AS TO PROVIDE CROSS VENTILATION ON EACH SEPARATE ATTIC SPACE AND SHALL PROTECT AGAINST THE ENTRANCE OF RAIN AND SNOW.

STAIR HANDRAILS: EVERY STAIRWAY OF 4 OR MORE RISERS SHALL HAVE AT LEAST ONE HANDRAIL AND EVERY OPEN SIDE OF A STAIRWAY SHALL HAVE A GUARDRAIL. HANDRAILS MOUNTED ON A WALL SHALL HAVE A MIN. 1-1/2" SPACE BETWEEN THE WALL AND THE HANDRAIL. THE HANDGRIP PORTION OF HANDRAILS SHALL BE BETWEEN 1-1/4" AND 2" CROSS SECTION DIMENSION AND SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. ALL HANDRAILS ARE TO BE PLACED 34" AND 38" ABOVE TREAD NOSING AND SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS.

GUARDRAILS: GUARDRAILS SHALL BE NOT LESS THAN 42 INCHES HIGH MEASURED VERTICALLY ABOVE THE LEADING EDGE OF THE TREAD, ADJACENT WALKING SURFACE OR ADJACENT SEATBOARD. GUARDRAILS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO THE APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING. INTERMEDIATE RAILS (ALL THOSE EXCEPT THE HANDRAIL), BALUSTERS AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO ONE SQUARE FOOT, INCLUDING OPENING AND SPACE BETWEEN RAILS. OPEN GUARDRAIL AND STAIR RAILINGS SHALL HAVE INTERMEDIATE RAILS, BALUSTERS, PICKETS, ETC., ARRANGED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH THE OPENINGS.

ARCHITECTURAL (CONT.)

SKYLIGHTS: ALL SKYLIGHTS ARE TO BE PRE-MANUFACTURED PLASTIC DOME TYPES WITH ANODIZED ALUMINUM FRAMES MOUNTED ON WOOD CURBS OR DIRECTLY TO ROOF DECK. FRAME COLOR IS TO MATCH OR BE SIMILAR TO THE ROOF COLOR. CURB HEIGHT ABOVE THE ADJACENT ROOF SURFACE IS TO BE 4" MINIMUM. THE DOME HEIGHT IS TO BE MINIMUM 5" OR 10% OF THE MAXIMUM SPAN OF THE DOME. SKYLIGHT UNITS SHALL MEET TITLE 24 REQUIREMENTS. SKYLIGHTS WITH INSTALLED GLAZING 12" ABOVE THE WALKING SURFACE SHALL BE CONSTRUCTED OF LAMINATED GLASS WITH A POLYVINYL BUTYRAL INTERLAYER AND A MINIMUM THICKNESS OF 0.030 INCHES (.76 mm)

EXTERIOR PLASTER LATH: EXTERIOR PLASTER LATH SHALL BE OF AN APPROVED, PAPER-BACKED, CORROSION RESISTANT METAL OR WIRE FABRIC AND SHALL BE SELF FURRING. (114" MIN.) APPLY LATH OVER WALL UNDERLAYMENT WITH THE LONG DIMENSION HORIZONTAL AND LAP A MIN. 1/2" AT THE SIDES AND MIN. 1" AT THE ENDS. WHERE END LAPS OF SHEETS DO NOT OCCUR OVER SUPPORTS, THEY SHALL BE SECURELY TIED TOGETHER WITH A MIN. 18 GA. WIRE. REINFORCEMENT SHALL BE USED AT ALL CORNERS OR THE LATH SHALL BE CARRIED AROUND CORNERS AT LEAST ONE SUPPORT. A WEEP SCREED SHALL BE PROVIDED AT OR BELOW THE FOUNDATION LINE ON ALL EXTERIOR STUD WALLS A MIN. OF 4" ABOVE HIGHEST ADJACENT GRADE. THE SCREED SHALL ALLOW TRAPPED WATER TO DRAIN TO THE OUTSIDE. BE AT LEAST 5/8" METAL LATH AND PAPER UNDERLAYMENT SHALL TERMINATE ON THE ATTACHMENT FLANGE OF THE SCREED. NAILING OF METAL LATH SHALL BE AT A MAX. OF 6 O.C. EACH WAY USING EITHER 11 GA. X 1-1/2" LONG X 7/16" HEAD NAILS OR 16 GA. STAPLES WITH 7/8" LEGS.

EXTERIOR PLASTER: EXTERIOR PLASTER SHALL BE PORTLAND CEMENT APPLIED IN THREE COATS TO A MIN. THICKNESS OF 7/8". SEE EXTERIOR ELEVATIONS FOR TEXTURE VARIATIONS.

APPLIANCES: THE CONTRACTOR SHALL PROVIDE RESIDENTIAL EQUIPMENT WHICH IS U.L. LABELED. PROVIDE, TO THE OWNER, ALL MANUFACTURER'S STANDARD WRITTEN WARRANTIES, OWNER'S MANUALS, AND STANDARD ACCESSORIES. CONTRACTOR SHALL INSTALL ALL APPLIANCES WHERE INDICATED ON DRAWINGS AND AS REQUIRED BY ALL CODES AND LISTINGS. APPLIANCE TYPES, STYLES, COLORS, ETC., SHALL BE SELECTED BY OWNER.

EMERGENCY EGRESS ESCAPE AND RESCUE WINDOWS: BASEMENTS OF DWELLING UNITS AND EVERY BEDROOM BELOW THE 4TH STORY SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE AND RESCUE DIRECTLY TO EXTERIOR. THE UNITS SHALL BE OPERABLE TO PROVIDE FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS AND HAVE A NET CLEAR OPENING OF NO LESS THAN 57 SQUARE FEET. THE NET CLEAR OPENING HEIGHT SHALL BE A MINIMUM OF 24" AND THE WIDTH SHALL BE A MINIMUM OF 20" WITH THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW. THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4 INCH DIAMETER WHERE SUCH OPENING ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR, WHERE SUCH WINDOW OPENINGS DO NOT COMPLY, WINDOW FALL PREVENTION DEVICES AND WINDOW GUARDS THAT COMPLY WITH ASTM F 2090, SHALL BE PROVIDED.

STREET ADDRESS: NEW AND EXISTING BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFIERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH.

SPARK ARRESTORS: SPARK ARRESTORS SHALL BE INSTALLED ON ALL CHIMNEYS INCLUDING OUTSIDE FIREPLACES.

GARAGE: 1-HR SEPARATION BETWEEN DWELLING AND GARAGE PER CRC SECTION R302.6, 20 MINUTE, 1-3/4" SMALL WOOD FIRE RATED DOOR WITH SELF CLOSING AND SELF LATCHING DEVICES PER CRC SECTION R302.5

DIMENSIONS: ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.

ELECTRICAL

CODES: ALL ELECTRICAL EQUIPMENT, WIRING AND INSTALLATIONS SHALL COMPLY WITH APPLICABLE SECTIONS OF THE NATIONAL ELECTRICAL CODE, CALIFORNIA TITLE 24 STANDARDS AND THE MANUFACTURER'S SPECIFICATIONS.

LISTINGS: ALL ELECTRICAL EQUIPMENT AND ACCESSORIES SHALL BE LISTED BY A NATIONALLY RECOGNIZED TESTING LAB. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

RECESSED FIXTURES: PROVIDE RECESSED FIXTURE CLEARANCE PER CODE. RECESSED FIXTURES IN INSULATED CEILINGS SHALL BE "IC" APPROVED FIXTURES.

DRYER LOADS: CLOTHES DRYER LOADS SHALL BE DETERMINED ON A LOAD OF 5000 WATTS PER APPLIANCE OR BY NAMEPLATE RATINGS.

ELECTRICAL BOXES: ELECTRIC SWITCH AND OUTLET BOXES ON EXTERIOR WALLS SHALL HAVE RUBBER GASKETS FOR MEDIUM INFILTRATION CONTROL.

KITCHEN AND BATH FIXTURES: ALL GENERAL LIGHTING FIXTURES AND BULBS IN KITCHEN AND BATH AREAS SHALL HAVE AN EFFICACY RATING OF 40 LUMENS PER WATT OR GREATER. FLUORESCENT FIXTURES WITH PLUG-IN (NOT SCREW-IN) FLUORESCENT LAMPS SHALL BE USED.

CLOSET LIGHTS: LIGHT FIXTURES IN CLOSETS/WARDROBES SHALL HAVE A MIN. 18" HORIZONTAL CLEARANCE TO SHELVES.

TUB/SHOWER LIGHTS: LIGHT FIXTURES MOUNTED WITHIN 5' OF A SPA/TUB SHALL BE MOUNTED AT LEAST 76" ABOVE THE MAXIMUM WATER LEVEL OF THE SPA/TUB AND SHALL BE GFCI PROTECTED.

DRYER/COOKING UNIT OUTLETS: CLOTHES DRYERS AND COOKING UNITS SHALL HAVE CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND FOUR-PRONG OUTLET.

OUTDOOR OUTLETS: PROVIDE OUTSIDE RECEPTACLES AT THE FRONT AND REAR OF THE HOME WITHIN 6'-6" OF GRADE WHICH ARE WATERPROOF AND GFCI PROTECTED. SEE PLAN FOR LOCATIONS.

KITCHEN BRANCH CIRCUITS: SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS. PROVIDE (2) SMALL APPLIANCE BRANCH CIRCUITS IN THE KITCHEN WHICH ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS. THESE OUTLETS CANNOT SERVE DINING ROOM, OUTSIDE PLUGS, RANGE HOD, DISPOSALS, DISHWASHERS OR MICROWAVES. ONLY THE REQUIRED COUNTERTOP/ WALL OUTLETS (INCLUDING REFRIGERATOR).

ELECTRICAL (CONT.)

BATHROOM OUTLET CIRCUITS: REQUIRED BATHROOM OUTLETS SHALL BE ON A DEDICATED 20 AMP CIRCUIT WHICH CANNOT SERVE ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC.

TAMPER-RESISTANT RECEPTACLES IN DWELLING UNITS: ALL NEW NON-LOCKING TYPE 125-VOLT, 15- AND 20-AMPERE RECEPTACLES THAT ARE WITHIN 5 1/2' ABOVE FINISH FLOOR SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.

ARC-FAULT AND GROUND FAULT OUTLETS: ARC-FAULT (AFCI) REQUIRED IN FAMILY ROOMS, DINING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUN ROOMS, REC ROOMS, CLOSETS, AND HALLWAYS AND LIGHTING. GROUND FAULT (GFCI) IS REQUIRED IN BATHROOMS, GARAGES, ACCESSORY AREAS, EXTERIOR, CRAWLSPACES, BASEMENTS, DISHWASHERS, AND DISPOSALS. COMBINATION AFCI/GFCI IS REQUIRED IN KITCHENS, AND LAUNDRY AREAS.

MECHANICAL

CODES: ALL HVAC EQUIPMENT, DUCT WORK AND INSTALLATIONS SHALL COMPLY WITH APPLICABLE SECTIONS OF THE CURRENT MECHANICAL CODE, CALIFORNIA TITLE 24 STANDARDS AND MANUFACTURER'S SPECIFICATIONS. ALL PLUMBING WORK SHALL CONFORM WITH THE CURRENT CALIFORNIA PLUMBING CODE.

LISTINGS: ALL HVAC EQUIPMENT AND ACCESSORIES SHALL BE LISTED BY A NATIONALLY RECOGNIZED TESTING LAB. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

EXHAUST FANS: ALL INTERIOR EXHAUST FANS SHALL PROVIDE 5 AIR CHANGES PER HOUR OR MORE. EXHAUST FANS AND FAN SYSTEMS SHALL HAVE BACK-DRAFT DAMPER CONTROLS.

1 HOUR WALLS: HVAC DUCTS PENETRATING ONE HOUR WALLS (GARAGE/HOLE WALL) SHALL BE MINIMUM 26 GAUGE GALVANIZED STEEL. 1 HOUR SEPARATION BETWEEN DWELLING AND GARAGE PER CRC SECTION R302.6.

GAS PIPING: GAS PIPING SHALL NOT BE IMBEDDED IN OR BELOW CONCRETE SLABS.

SEWER PIPING: PLASTIC OR PVC SEWER LINE SHALL BE PLACED WITH MIN. 6" OF SAND BASE AND COVER.

FORCED AIR UNIT: FORCED AIR UNIT(S) SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AND THOSE OF THE STRUCTURAL ENGINEER WHEN INSTALLED IN AN ATTIC SPACE.

GAS APPLIANCES: ALL GAS APPLIANCES AND EQUIPMENT SHALL HAVE INTERMITTENT IGNITION DEVICES WITH NO CONTINUOUS BURNING PILOTS. ALL APPLIANCES SHALL COMPLY WITH THE CURRENT CALIFORNIA MECHANICAL CODE.

WATER HEATERS: WATER HEATERS SHALL BE INSULATED WITH EXTERNAL BLANKETS OF R-12 OF GREATER. INSULATE HOT WATER INLET AND OUTLET PIPES (FIRST FIVE FEET IN UNCONDITIONED SPACES) WITH EXTERNAL WRAPPING OF R-4 OR GREATER. WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER 1/3 AND THE LOWER 1/3 OF ITS VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAPPING. WATER HEATERS LOCATED IN NON-LIVING SPACES SHALL BE INSTALLED ON A PLATFORM SUCH THAT BURNERS AND BURNER-IGNITION DEVICES ARE LOCATED NOT LESS THAN EIGHTEEN INCHES ABOVE THE FINISHED FLOOR.

TANKLESS WATER HEATERS: TANKLESS WATER HEATER SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATION.

DRYER VENT: CLOTHES DRYERS SHALL VENT TO THE OUTSIDE OF THE BUILDING AND SHALL BE A MAXIMUM 14' IN LENGTH WITH TWO FEET REDUCTION FOR EACH 90 DEGREE ELBOW OVER TWO.

PLUMBING VENTS: ALL PLUMBING VENTS SHALL BE MINIMUM 10 FEET FROM OPERABLE SKYLIGHTS.

THERMOSTATS: ONLY "SETBACK" THERMOSTATS CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION SHALL BE USED.

HOSE BIBBS: HOSE BIBBS AND WATER OUTLETS WITH HOSE ATTACHMENTS SHALL HAVE APPROVED NON-REMOVABLE BACKFLOW PREVENTION DEVICES.

FORCED AIR UNIT CLEARANCES: LISTED FURNACES SHALL BE INSTALLED IN CONFORMANCE WITH THE CONDITIONS OF THEIR LISTING. THE FURNACE INSTALLER SHALL LEAVE THE MANUFACTURER'S INSTALLATION AND OPERATING INSTRUCTIONS ATTACHED TO THE APPLIANCE. CLEARANCES OF LISTED FURNACES FROM COMBUSTIBLES SHALL BE AS SPECIFIED IN THE LISTING OR ON THE FURNACE RATING PLATE. UNLISTED FURNACES SHALL HAVE THE FOLLOWING CLEARANCES FROM COMBUSTIBLES:

- ABOVE TOP OF CASING OR FURNACE 6"
- FROM TOP AND SIDES OF WARM-AIR BONNET OR PLENUM 6"
- FROM FRONT (UNLESS ACCESS REQUIREMENTS GREATER) 18"
- FROM BACK OF FURNACE 6"
- FROM SIDES OF FURNACE 6"

DISHWASHERS: DISHWASHING MACHINES CONNECTED DIRECTLY TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSAL SHALL HAVE AN APPROVED DISHWASHER AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIR GAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK/DRAIN BOARD, WHICH EVER IS HIGHER.

TUB AND SHOWER VALVES: TUB AND SHOWER VALVES SHALL HAVE AN INDOOR TUB CONNECTION TO THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.

QUICK ACTING VALVES: ALL BUILDING WATER SUPPLY SYSTEMS IN WHICH QUICK ACTING VALVES ARE INSTALLED (SUCH AS DISHWASHERS, CLOTHES WASHERS, ETC.) SHALL BE APPROVED WITH DEVICES AS CLOSE TO QUICK ACTING VALVES AS POSSIBLE TO ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF THESE VALVES.

DUCT TERMINATIONS: ALL ENVIRONMENTAL AIR DUCT TERMINATIONS SHALL BE A MINIMUM OF (3) FEET FROM PROPERTY LINES AND/OR ANY OPENINGS INTO THE BUILDING.

CALGREEN:

JOINTS AND OPENINGS: ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENING WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

A MINIMUM OF 75% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE. THIS IS ACHIEVED EITHER BY USING CITY PRE-CERTIFIED LANDFILLS OR IMPLEMENTATION OF A WASTE MANAGEMENT PLAN. WASTE MANAGEMENT PLAN SHALL BE PRE-APPROVED BY ENVIRONMENTAL SERVICES DEPARTMENT.

HEATING AND AIR CONDITIONING SYSTEM DESIGN SHALL BE SIZED, DESIGNED, AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
A HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ACCA MANUAL J, ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
B HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ACCA MANUAL J, ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
C SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ACCA 36-S MANUAL S OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHOD.

DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS AT THE TIME OF ROUGH INSTALLATION OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT.

ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINTS SHALL COMPLY WITH VOC AND OTHER CONTENT LIMITS, SPECIFIED IN SECTION 4.504 OF THE CGSC. ALL PRODUCT CONTAINERS SHALL REMAIN ON SITE FOR FIELD VERIFICATION. PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR MUST BE PROVIDED TO THE BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION, AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGSC SECTION 4.504

FINISHES:
A USE LOW-VOC INTERIOR WALL/CEILING FINISHES (<50 GRAMS PER LETTER (GPL) VOCS REGARDLESS OF SHEEN) CGSC 4.504.2.2
B USE LOW-VOC COATINGS THAT MEET SCAQM Rule 1113 (CGSC 4.504.2.3)
C DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC FINISH MATERIALS HAVE BEEN USED PER CGSC 4.504.2.4

80% OF FLOOR AREA RECEIVING RESILIENT FLOORING, SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RCFI) FLOORSURE PROGRAM.

PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. SPECIFY THE LIMITS ON THE PLANS IN ACCORDANCE WITH TABLE 4.504.5.

VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED AT SLAB ON GRADE FOUNDATIONS.

PRIOR TO ENCLOSING THE WALL AND FLOOR FRAMING, CONFIRMATION MUST BE PROVIDED TO THE BUILDING INSPECTOR SHOWING THE FRAMING MEMBERS DO NOT EXCEED 19% MOISTURE CONTENT IN ACCORDANCE WITH CGSC SECTION 4.505.3

ALL PLUMBING FITURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN CA CIVIL CODE SECTIONS 1101.01-1101.8.

ALL EXISTING TO REMAIN PLUMBING FITURES SHALL CONFORM TO THE FOLLOWING:
A TOILETS WITH A FLOW RATE IN EXCESS OF 1.6 GPF SHALL BE REPLACED WITH TOILETS WITH A MAXIMUM OF 1.28 GPF
B SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM SHALL BE REPLACED WITH A MAXIMUM 1.8 GPM SHOWER HEAD.
C LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM SHALL BE REPLACED WITH A FAUCET WITH A MAXIMUM FLOW RATE OF 1.2 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).

AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OWNER.

HVAC SYSTEMS INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.

SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE THE DISCIPLINE THEY ARE INSPECTING.

DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR IDENTIFIED IN THE APPLICATION CHECKLIST.

FIRE NOTES:

A. FIRE SPRINKLER SYSTEM WILL BE PROVIDED AND INSTALLED PER NFPA 13D 2016 ADDITION.

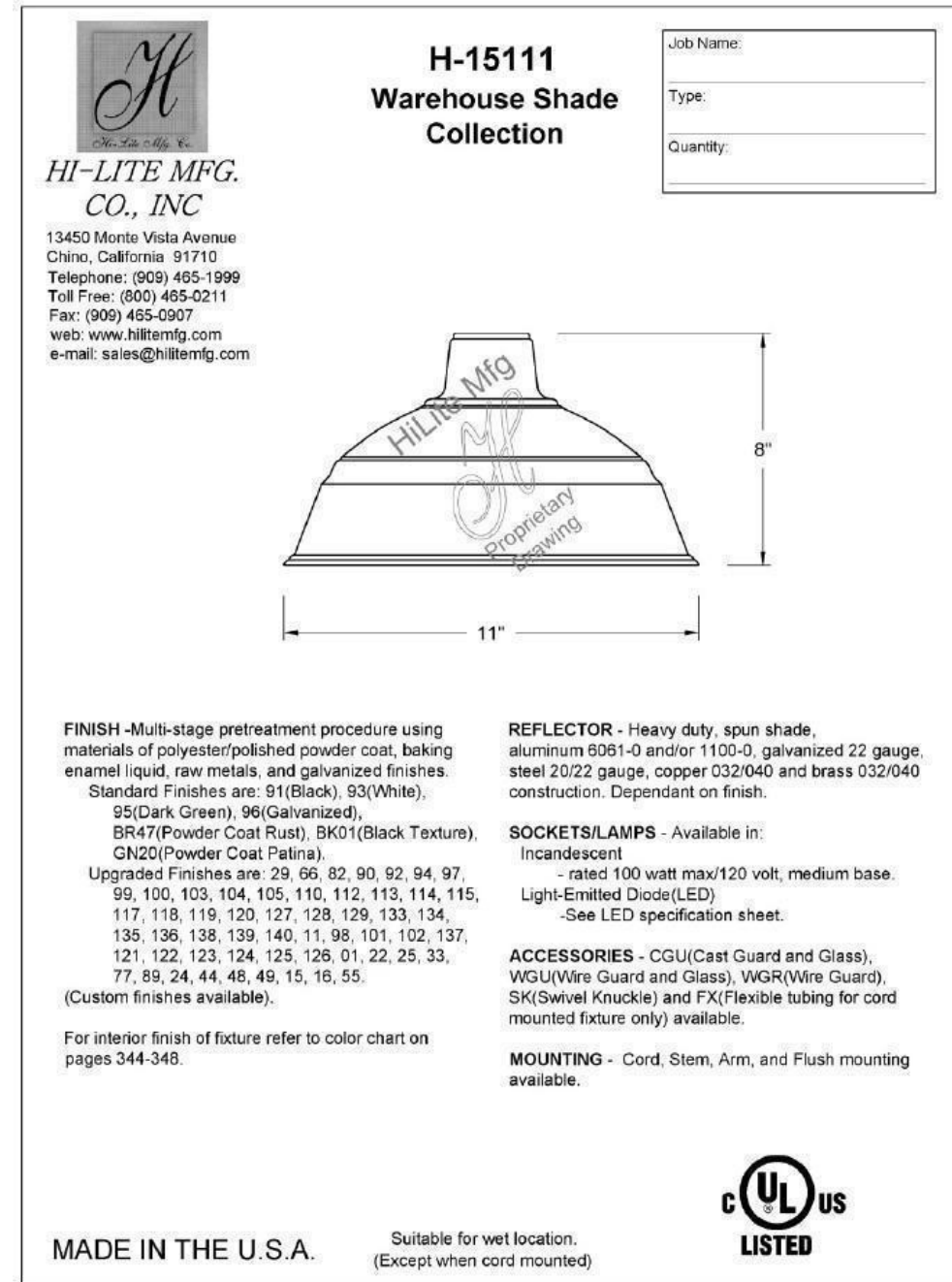
B. FIRE SPRINKLERS REQUIRED: AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ONE AND TWO-FAMILY DWELLINGS AS FOLLOWS: IN ALL NEW ONE AND TWO-FAMILY DWELLINGS AND IN EXISTING ONE AND TWO-FAMILY DWELLINGS WHEN ADDITIONS ARE MADE THAT INCREASE THE BUILDING AREA TO MORE THAN 3,600 SQUARE FEET. NOTE: THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CRC SEC. 313.2 AS ADOPTED AND AMENDED BY LGTC.

C. WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2016 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7

D. ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM), WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1

E. CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHAP. 33

F. WILDLAND URBAN INTERFACE: THIS PROJECT IS LOCATED WITHIN THE DESIGNATED WILDLAND-URBAN INTERFACE FIRE AREA. THE BUILDING CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF SECTION R327 OF THE CALIFORNIA RESIDENTIAL CODE OR THE CALIFORNIA BUILDING CODE (CBC) CHAPTER 7A, AS APPLICABLE. VEGETATION CLEARANCE SHALL BE IN COMPLIANCE WITH CBC SECTION 701A.3.2.4 PRIOR TO PROJECT FINAL APPROVAL.



NOTE: ALL OUTDOOR LIGHTING AFFIXED TO THE BUILDING SHALL BE DOWNWARD DIRECTED AND SHIELDED SO THAT NO LIGHT GLARE WILL ENCRACH ONTO NEIGHBORING PROPERTIES.

1 TYP. OUTDOOR LIGHT (O.L.)
Scale: None

NO.	DESCRIPTION	BY	DATE

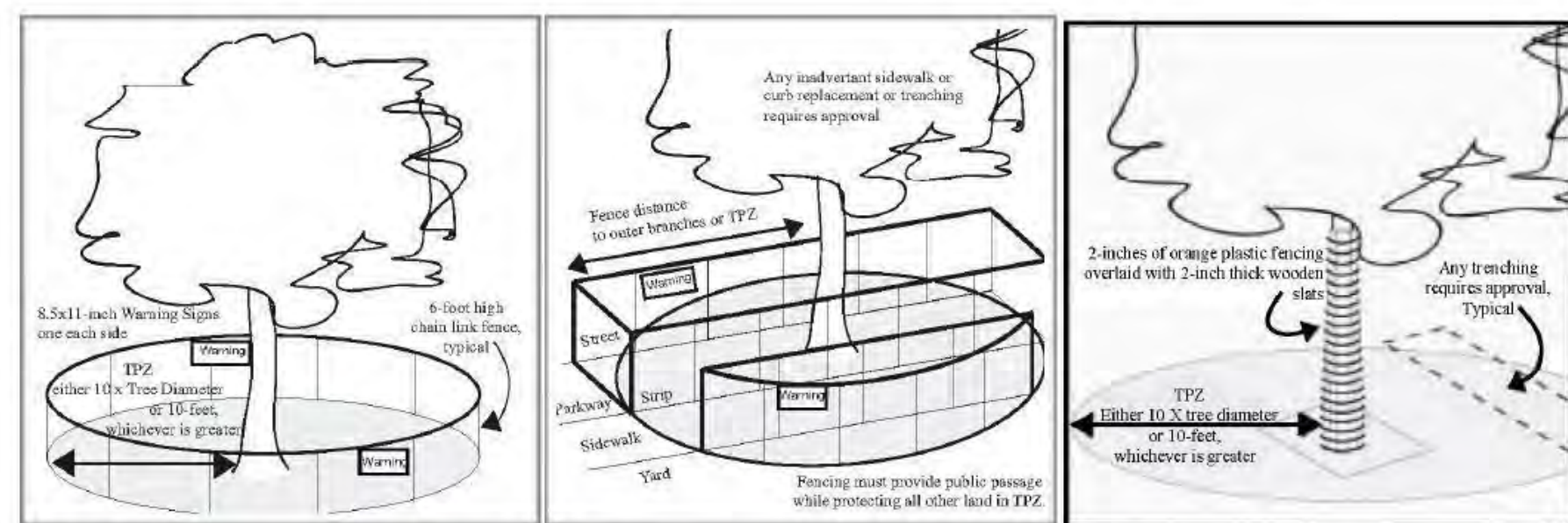
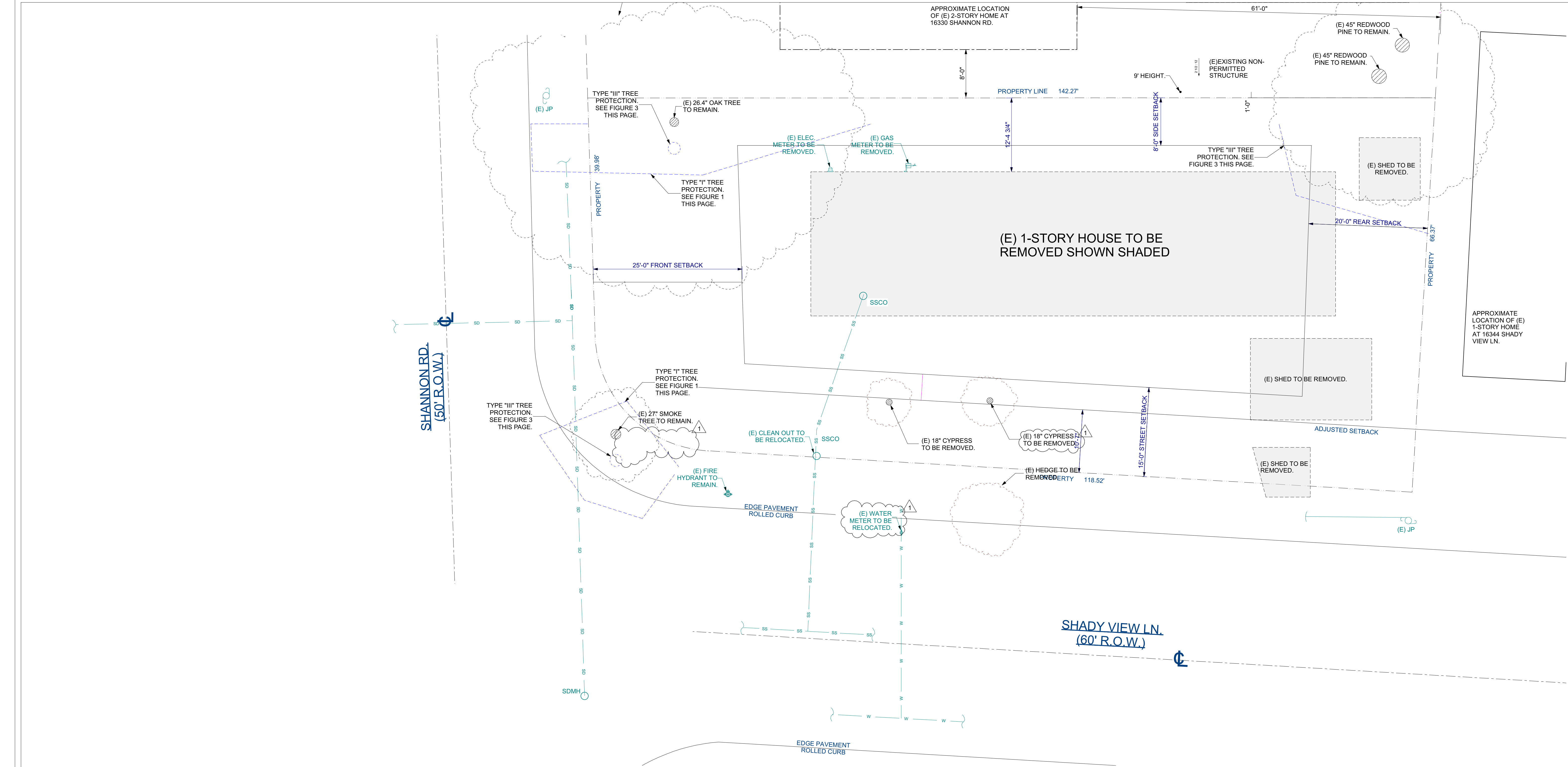
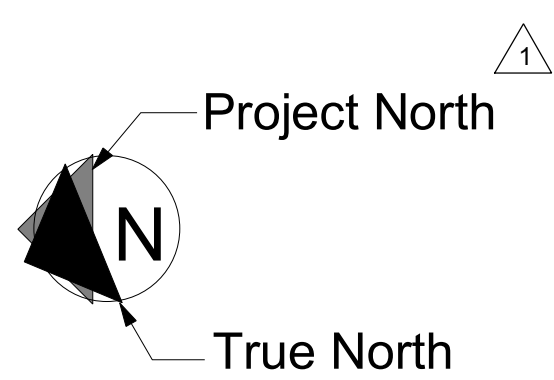


FIGURE 1: "TYPE I" TREE PROTECTION WITH FENCE PLACED AT A RADIUS OF TEN TIMES THE TRUNK DIAMETER.
 FIGURE 2: "TYPE II" TREE PROTECTION WITH FENCE PLACED ALONG THE SIDEWALK AND CURB TO ENCLOSE THE TREE.
 FIGURE 3: "TYPE III" TREE PROTECTION WITH TRUNK PROTECTED BY A BARRIER TO PREVENT MECHANICAL DAMAGE.

2 TREE PROTECTION DIAGRAMS
 No Scale



1 SITE DEMOLITION/TREE PROTECTION PLAN
 Scale: 1/8"=1'-0"

SEE CIVIL SHEET C-0 FOR MORE INFORMATION

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NO.	DESCRIPTION	BY	DATE
1	RESPONSES TO PLAN CHECK COMMENTS	LL	03/26/2019

SHEET TITLE: **SITE DEMO AND TREE PROTECTION.**

PROJECT DESCRIPTION:
Coulson Residence
 16336 Shady View Ln
 Los Gatos, CA 95032

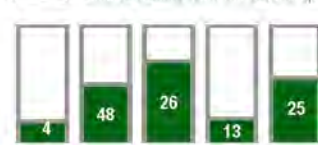
DRAWINGS PROVIDED BY:
DeMattei Construction, Inc.
 1794 The Alameda, San Jose, CA, 95126
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 LIC.# B-476455

DATE:	12/17/2018
SCALE:	As shown
DRAWN BY:	LL / JW
SHEET:	

A0.1

Single Family GreenPoint Checklist

date: _____



The GreenPoint Checklist is based on the various green features incorporated into the home and is the basis for the GreenPoint Rated program. A home can be considered green if it fulfills the prerequisites, earns at least 50 points, and meets the minimum points per category: Energy (30), Indoor Air Quality/Health (6), Resources (6), and Water (6). Please contact Build It Green for a list of qualified GreenPoint Raters if you are interested in pursuing third-party verification. The green building practices listed below are described in the New Home Construction Green Building Guidelines, available at www.builditgreen.org.

Category	Points Achieved	Community	Energy	IAQ/Health	Resources	Water
A. SITE	4	0	0	0	0	4
B. FOUNDATION	0	0	0	0	0	0
C. LANDSCAPING	17	0	0	0	0	17
D. STRUCTURAL FRAME & BUILDING ENVELOPE	0	0	0	0	0	0

Category	Points Achieved	Community	Energy	IAQ/Health	Resources	Water
E. EXTERIOR FINISH	6	0	0	0	0	6
F. INSULATION	5	0	0	0	0	5
G. PLUMBING	8	0	0	0	0	8
H. HEATING, VENTILATION & AIR CONDITIONING	30	0	0	0	0	30
I. RENEWABLE ENERGY	0	0	0	0	0	0

Category	Points Achieved	Community	Energy	IAQ/Health	Resources	Water
J. BUILDING PERFORMANCE	20	0	0	0	0	20
K. FINISHES	32	0	0	0	0	32
L. FLOORING	0	0	0	0	0	0
M. APPLIANCES AND LIGHTING	10	0	0	0	0	10
N. OTHER	0	0	0	0	0	0

Category	Points Achieved	Community	Energy	IAQ/Health	Resources	Water
O. INNOVATION	0	0	0	0	0	0
Summary	116	4	48	26	13	25

Project has not yet met the following recommended minimum requirements:
 - Total Project Score of At Least 50 Points

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NO.	DESCRIPTION	BY	DATE

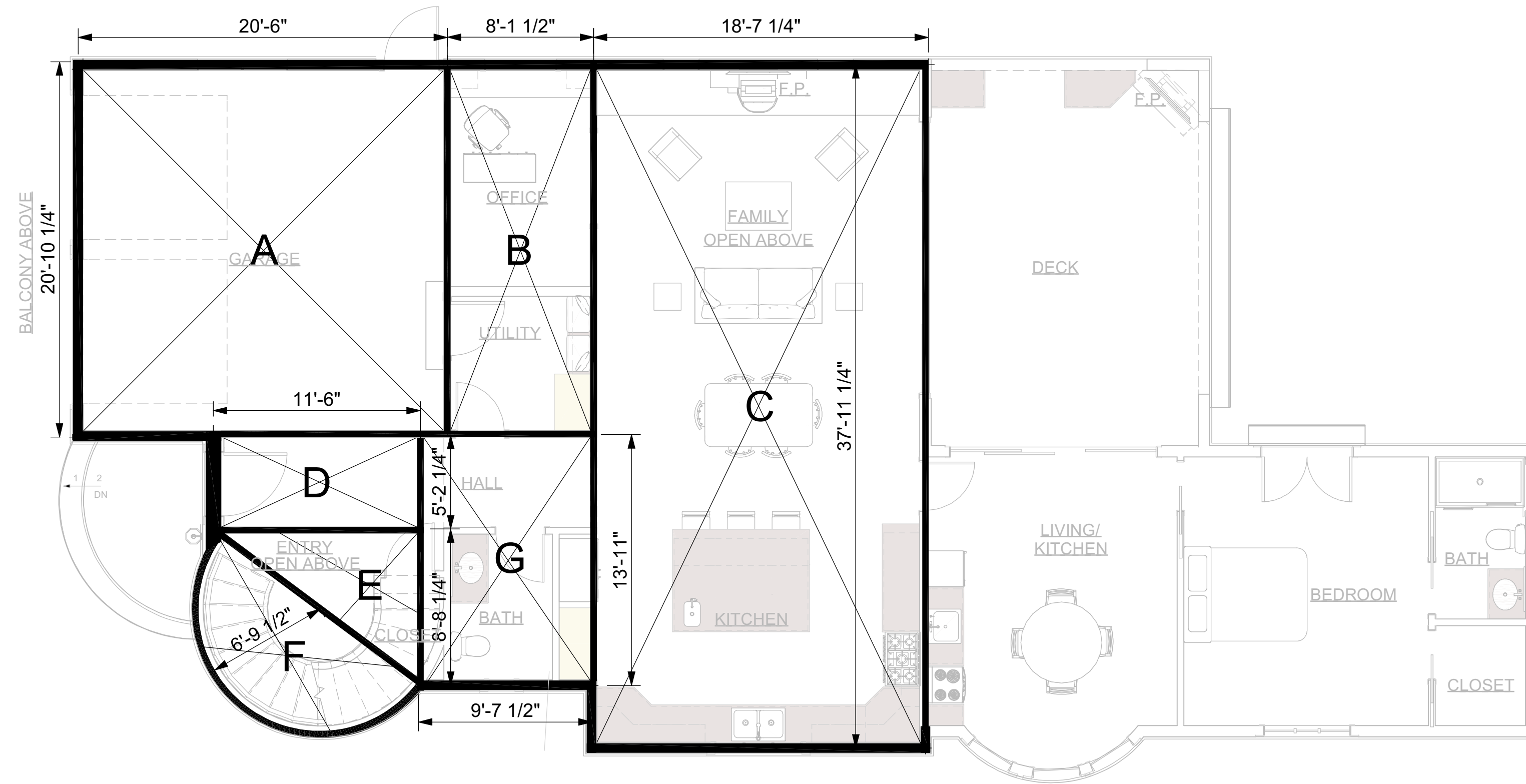
SHEET TITLE: GREENPOINT RATED CHECKLIST

PROJECT DESCRIPTION: Coulson Residence 16336 Shady View Ln Los Gatos, CA 95032

DRAWINGS PROVIDED BY: DeMatti Construction, Inc. 1794 The Alameda, San Jose, CA 95126 P: (408) 285-7516 F: (408) 286-6589 LIC.# B-476455

DATE: 12/17/2018
 SCALE: As shown
 DRAWN BY: LL / JW
 SHEET:

A0.2



FIRST FLOOR:

LETTER	WIDTH	LENGTH	AREA
B	8'-1 1/2"	20'-10 1/4"	167.58
C	18'-7 1/4"	37'-11 1/4"	705.80
D	11'-6"	5'-2 1/4"	59.66
E	11'-6"	8'-8 1/4"	49.95
F	radius=	6'-9 1/2"	72.46
G	9'-7 1/2"	13'-11"	133.95

FIRST FLOOR TOTAL 1,189.40 SF

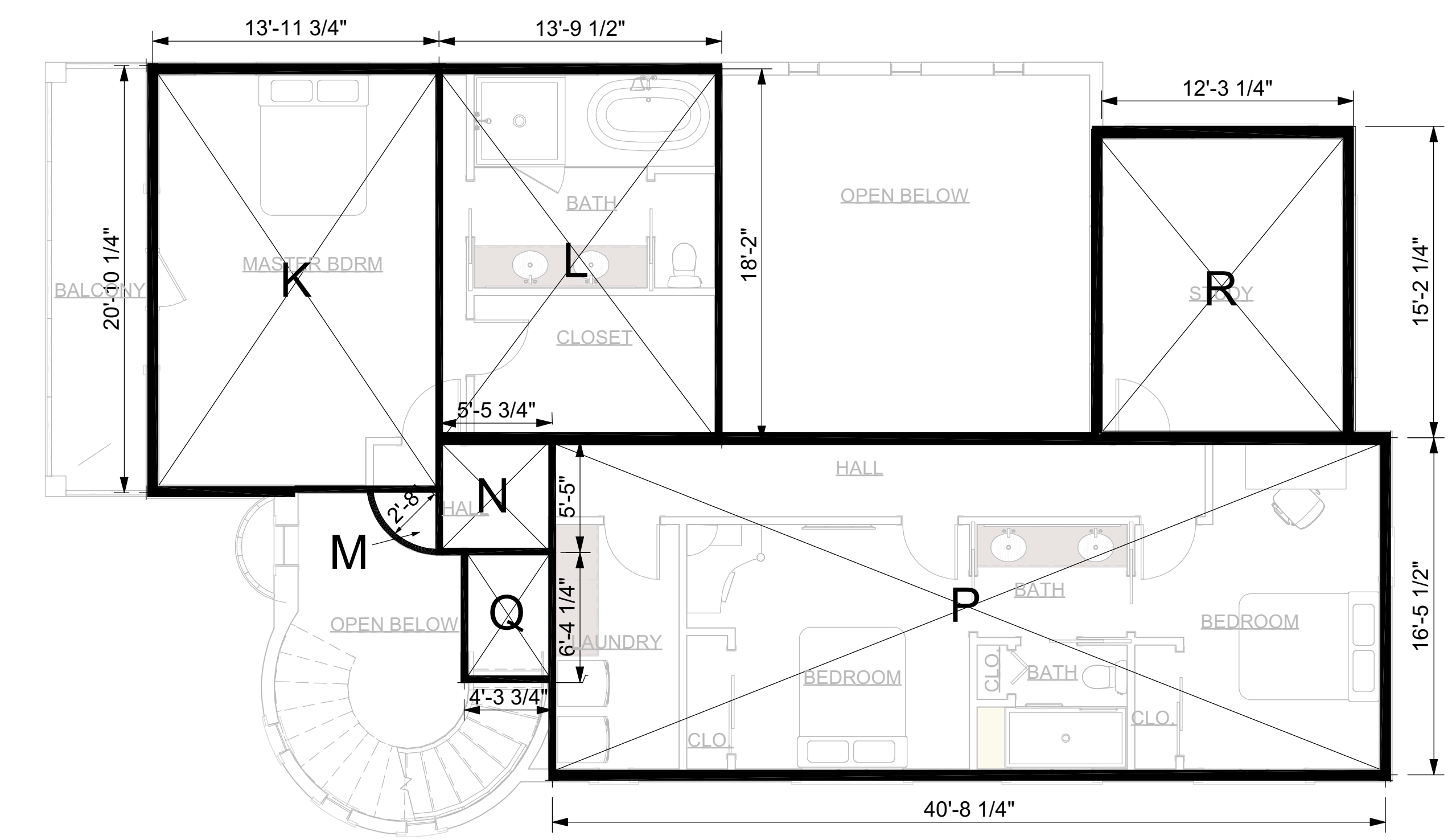
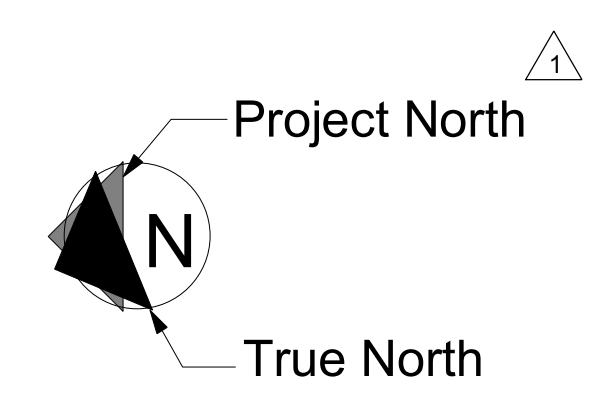
SECOND FLOOR:

LETTER	WIDTH	LENGTH	AREA
K	13'-11 3/4"	20'-10 1/4"	291.52
L	13'-9 1/2"	18'-2"	250.55
M	radius=	2'-8"	5.59
N	5'-5 3/4"	5'-5"	29.68
P	40'-8 1/4"	16'-5 1/2"	669.65
Q	4'-3 3/4"	6'-4 1/4"	26.68
R	12'-3 1/4"	15'-2 1/4"	186

SECOND FLOOR TOTAL 1,459.67 SF

TOTAL FLOOR AREA 2,649.07 SF
 A - GARAGE FLOOR AREA 422.81 SF

1 PROPOSED FIRST FLOOR PLAN
 Scale: 3/16"=1'-0"



2 PROPOSED SECOND FLOOR PLAN
 Scale: 3/16"=1'-0"

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NO.	DESCRIPTION	BY	DATE
1	RESPONSES TO PLAN CHECK COMMENTS	LL	03/26/2019

SHEET TITLE:
FLOOR AREA DIAGRAMS

PROJECT DESCRIPTION:
Coulson Residence
 16336 Shady View Ln
 Los Gatos, CA 95032

DRAWINGS PROVIDED BY:
DeMatti Construction, Inc.
 1794 The Alameda, San Jose CA, 95126
 P: (408) 285-7516
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 LIC.# B-476455

DATE:
 12/17/2018

SCALE:
 As shown

DRAWN BY:
 LL / JW

SHEET:

A1.0

TYPICAL NOTES:

BATHROOM ELECTRICAL:

- A. PROVIDE 20AMP DEDICATED BRANCH CIRCUIT TO SUPPLY THE BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED).
- B. ALL BRANCH CIRCUITS TO BE PROTECTED BY GROUND FAULT CIRCUIT INTERRUPTER (GFCI).

KITCHEN ELECTRICAL:

- A. ALL BRANCH CIRCUITS TO BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER(AFCI).
- B. PROVIDE AFCI AND GFCI PROTECTION AT ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS.
- C. AT EACH KITCHEN AND DINING AREA COUNTER SPACE WIDER THAN 12", LOCATE A RECEPTACLE SO THAT NO POINT ALONG THE COUNTER WALL IS OVER 24" FROM A RECEPTACLE. COUNTERTOP RECEPTACLES REQUIRED WITHIN 24" EACH SIDE OF A BREAK IN THE CONTINUOUS COUNTERTOP SURFACE (SINKS, STOVES).
- D. RECD RECEPTACLES MOUNTED ON THE SIDES OF CABINETS SHALL BE A MAXIMUM OF 12" BELOW THE COUNTERTOP SURFACE WITH A MAXIMUM OF 6" COUNTERTOP OVERHANG.
- E. PROVIDE AT LEAST TWO (2) 20 AMP CIRCUITS FOR COUNTER RECEPTACLES.

LAUNDRY ELECTRICAL:

- A. ALL BRANCH CIRCUITS TO BE PROTECTED BY ARC-FAULT (AFC) CIRCUIT INTERRUPTER AND GROUND FAULT (GFCI) CIRCUIT INTERRUPTER.
- B. PROVIDE 20AMP DEDICATED BRANCH CIRCUIT TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET.
- C. MINIMUM 30 AMP DEDICATED CIRCUIT FOR DRYER PER CEC 220.54.

LAUNDRY/BATHROOM VENTILATION:

- FOR LAUNDRY ROOMS AND BATHROOMS WITHOUT AN OPERABLE WINDOW:
 - A. PROVIDE MECHANICAL VENTILATION SYSTEM CAPABLE OF 5 AIR CHANGES/HR. TO EXTERIOR.
 - B. USE SMOOTH METAL DUCT FOR DRYER EXHAUST WITH A MAX. LENGTH OF 14', TO OUTSIDE WITH BACKDRAFT DAMPER AND TWO 90° ELBOWS AND A MIN. OF 4" DIA.
 - C. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM PROPERTY LINES OR ANY OPENINGS INTO THE BUILDING (I.E. DRYERS, BATH AND UTILITY FANS, ETC., MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS).
 - D. EXHAUST FANS SHALL HAVE A MIN. OF 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION AND BE ENERGYSTAR COMPLIANT AND BE EQUIPPED WITH A HUMIDISTAT AND HUMIDITY CONTROL. AND BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM.

HIGH EFFICACY LIGHTING:

- A. ALL LIGHTING SHALL BE HIGH EFFICACY AS DEFINED BY CEC TABLE 150.0-A
- B. ALL PERMANENTLY INSTALLED SCREW-BASED LIGHT FIXTURES SHALL CONTAIN SCREW-BASED JAB (JOINT APPENDIX 8) COMPLIANT LAMPS AND BE MARKED AS JA8-2016 OR JA8-2016-E. CEC 150.0(K)(G)
- C. ALL JAB COMPLIANT LIGHT FIXTURES INSTALLED IN CEILING RECESSED DOWNLIGHTS, LED LUMINARIES WITH INTEGRAL SOURCES, PIN-BASED LED LAMPS, AND GU24 BASED LED LIGHT SOURCES SHALL BE CONTROLLED BY VACANCY SENSORS OR DIMMERS.
- D. AT LEAST ONE FIXTURE IN EACH BATHROOM, GARAGE, LAUNDRY ROOM, AND UTILITY ROOM SHALL BE CONTROLLED BY A VACANCY SENSOR.
- E. ALL LIGHTING SHALL BE SWITCHED SEPARATELY FROM EXHAUST FANS (EXCEPT FOR KITCHEN EXHAUST HOODS).
- F. ALL UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
- G. GARAGE, LAUNDRY, AND UTILITY ROOMS: LIGHTING INSTALLED IN GARAGES, LAUNDRY, AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND CONTROLLED BY VACANCY SENSORS.
- H. HIGH EFFICACY LIGHTING IS NOT REQUIRED IN CLOSETS OF LESS THAN 70 SF.
- I. OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING SHALL BE HIGH EFFICACY AND CONTROLLED WITH A MANUAL ON/OFF SWITCH AND BY PHOTO CONTROL AND A MOTION SENSOR. PER ENERGY 110.9.
- J. ALL OTHER ROOMS: LIGHTING INSTALLED IN ALL OTHER ROOMS SHALL BE HIGH EFFICACY OR SHALL BE CONTROLLED BY EITHER DIMMERS AND VACANCY SENSORS.

CARBON MONOXIDE ALARMS:

- CARBON MONOXIDE ALARMS REQUIRED BY SECTION 420.6.2 SHALL BE INSTALLED AND MAINTAINED IN THE FOLLOWING LOCATIONS:
 - A. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM (S).
 - B. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
 - C. IN GROUP R-1 OCCUPANCIES, ON THE CEILING OF EVERY SLEEPING UNIT OR OTHER LOCATIONS WITHIN THE SLEEPING UNIT IN COMPLIANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - D. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH BATTERY BACK-UP. ALARM WIRING SHALL BE DIRECTLY CONNECTED TO THE PERMANENT BUILDING WIRING WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
 - E. WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN THE DWELLING UNIT OR WITHIN A SLEEPING UNIT, THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
 - F. CARBON MONOXIDE ALARMS SHALL BE LISTED AND COMPLY WITH UL 2034 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND MANUFACTURERS INSTRUCTIONS.

SMOKE DETECTORS:

- A. SMOKE DETECTOR SYSTEM SHALL BE HARD WIRED, INTERCONNECTED TO SOUND SIMULTANEOUSLY AND EQUIPPED WITH BATTERY BACKUP.
- B. INSTALL DETECTORS IN EACH BEDROOM, AT EACH CORRIDOR/AREA NEXT TO THE BEDROOM, AT THE TOP OF STAIRS AND EACH STORY AND BASEMENT.
- C. MULTIPLE SMOKE DETECTORS ARE REQUIRED WHEN CEILING LEVELS/ ELEVATIONS CHANGE OR ARE INTERRUPTED BY ARCHITECTURAL ELEMENTS (CASED OPENINGS, ARCHWAYS, SKYLIGHT WELLS, ETC.).
- D. SMOKE DETECTORS SHALL BE LISTED AND COMPLY WITH UL 217 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND MANUFACTURERS INSTRUCTIONS.

PLUMBING:

- A. ALL NEW TOILETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME NOT TO EXCEED 1.28 GALLONS PER FLUSH.
- B. ALL NEW LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.2 GALLONS PER MINUTE AT 60 PSI.
- C. ALL NEW SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.
- D. ALL NEW KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

BATHROOM:

- A. WATER CLOSETS SHALL BE LOCATED IN SPACES NOT LESS THAN 30" IN WIDTH AND 24" IN FRONT.
- B. WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER. CRC 702.3.7.1
- C. BACKER FOR SHOWER AND TUB SHOWER WALLS TO BE FIBER-CEMENT, FIBER REINFORCED CEMENTITIOUS BACKER UNITS, GLASS MAT GYPSUM BACKERS OR FIBER-REINFORCED GYPSUM BACKERS TO A MIN HEIGHT OF 72" ABOVE THE FLOOR.
- D. USE 2X8 WOODEN BACKING IN ALL BATHROOM WALLS AT WATER CLOSET SHOWER AND BATHTUB, LOCATED AT 34" FROM FLOOR TO CENTER OF THE BACKING SUITABLE FOR THE ADDITION OF GRAB BARS.
- E. DOORS AND PANELS OF TUB AND SHOWER ENCLOSURES SHALL BE FULLY TEMPERED LAMINATED SAFETY GLASS OR APPROVED PLASTIC.
- F. SHOWER COMPARTMENTS SHALL HAVE MIN INTERIOR FLOOR AREA OF 1024 SQ IN AND ABLE TO CONTAIN A 30" DIA. CIRCLE.
- G. SHOWER AND TUB SHOWER COMBINATION IN ALL BUILDING SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.

ATTIC/UNDERFLOOR INSTALLED FAU:

- A. UNIT SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY NOT LESS THAN THE LARGEST COMPONENT OF THE UNIT AND NOT LESS THAN 22"x30"
- B. THE DISTANCE FROM THE PASSAGEWAY ACCESS TO THE UNIT SHALL NOT EXCEED 20'
- C. THE WIDTH OF THE PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE SOLID FLOORING NOT LESS THAN 24" WIDE FROM THE ENTRANCE OPENING TO THE UNIT.
- D. A LEVEL WORKING PLATFORM NOT LESS THAN 30" BY 30" SHALL BE PROVIDED IN FRONT OF THE SERVICE SIDE OF THE UNIT.
- E. A PERMANENT 120V RECEPTACLE OUTLET AND A LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE UNIT. THE SWITCH CONTROLLING THE LIGHTING FIXTURE SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGEWAY.

KITCHEN VENTILATION:

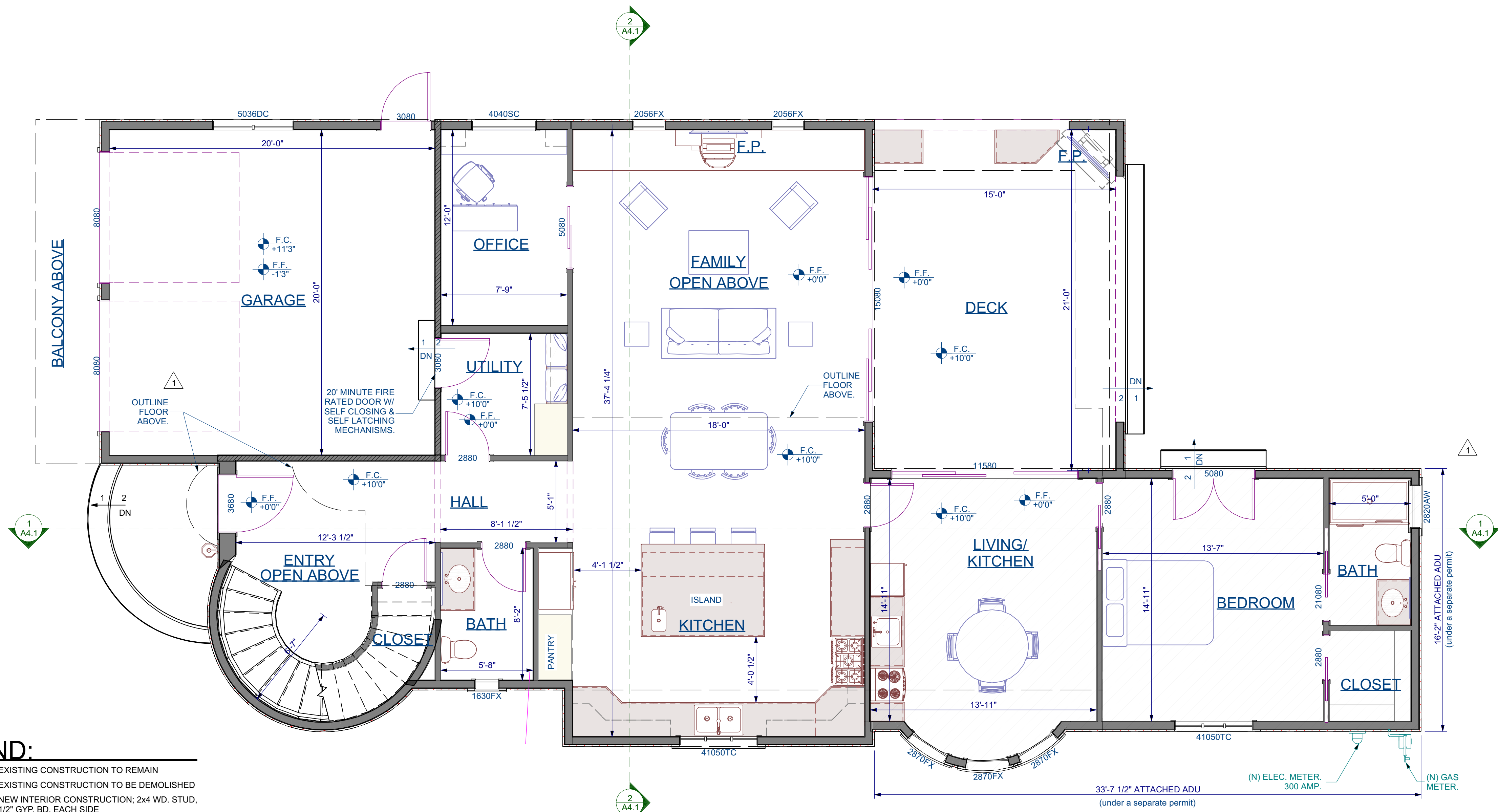
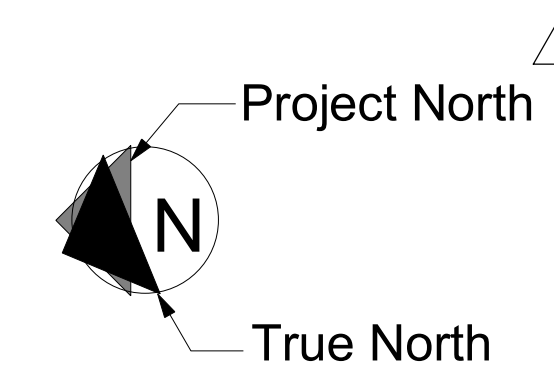
- WHERE COMBUSTION APPLIANCES OR SOLID-FUEL BURNING APPLIANCES ARE LOCATED INSIDE THE PRESSURE BOUNDARY, THE MAXIMUM ALLOWABLE NET EXHAUST FLOW OF THE TWO LARGEST EXHAUST FANS SHALL NOT EXCEED 15 CFM PER 100 SQ. FT. OF OCCUPIABLE SPACE, WHEN OPERATING AT FULL CAPACITY. IF THE DESIGNED TOTAL NET FLOW EXCEEDS THIS LIMIT, THE NET EXHAUST FLOW MUST BE REDUCED BY REDUCING THE EXHAUST FLOW OR PROVIDING COMPENSATING OUT-DOOR AIRFLOW (NOTE: IF MAKE-UP AIR FAN IS INSTALLED IT MUST BE ELECTRICALLY INTERLOCKED WITH THE LARGEST EXHAUST FAN)

ELECTRIC VEHICLE (EV) CHARGING:

- ELECTRIC VEHICLE SUPPLY EQUIPMENT SHALL BE INSTALLED TO FACILITATE THE FUTURE INSTALLATION OF AN EV CHARGING DEVICE AND MUST COMPLY WITH THE FOLLOWING:
 - A. A LISTED TRADE SIZE 1 RACEWAY SHALL BE INSTALLED TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE FROM THE MAIN SERVICE PANEL OR SUB PANEL AND TERMINATES INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE FUTURE CHARGING DEVICE.
 - B. THE SERVICE PANEL AND/OR SUB PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMP MIN. BRANCH CIRCUIT AND SPACE RESERVED TO ACCOMMODATE A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
 - C. THE ELECTRICAL PANEL SCHEDULE SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE".
 - D. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

TOWN STANDARDS:

- RESIDENTIAL ACCESSIBILITY
 - A. ALL PASSAGE DOOR SHALL BE AT LEAST 32 INCH DOORS ON THE ACCESSIBLE FLOOR LEVEL.
 - B. THE PRIMARY ENTRANCE DOOR SHALL BE A 36 INCH WIDE DOOR INCLUDING A 5'X5' LEVEL LANDING, MORE THAN 1 INCH OUT OF PLANE WITH THE IMMEDIATE INFERIOR FLOOR LEVEL AND WITH AN 18 INCH CLEARANCE AT INTERIOR STRIKE EDGE.
 - C. A DOOR BUZZER, BELL OR CHIME SHALL BE HARD WIRED AT PRIMARY ENTRANCE.
- FIREPLACE:
 - A. NEW WOOD BURNING FIREPLACES SHALL BE AN EPA PHASE II APPROVED APPLIANCES OR GAS APPLIANCE PER TOWN ORDINANCE 1905. TREE LIMBS SHALL BE CUT WITHIN 10 FEET OF CHIMNEYS.



LEGEND:

- EXISTING CONSTRUCTION TO REMAIN
- - - - EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW INTERIOR CONSTRUCTION: 2x4 WD. STUD, 1/2" GYP. BD. EACH SIDE
- NEW EXTERIOR CONSTRUCTION.
- NEW 1-HR FIRE RATED WALL: 2x4 WD. STUD, 5/8" TYPE "X" GYP. BD. EACH SIDE. SEE PLAN FOR LOCATIONS.

1 PROPOSED FIRST FLOOR PLAN
Scale: 1/4"=1'-0"

DRAWINGS PROVIDED BY: **DeMatti Construction, Inc.**
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 P: (408) 285-7516
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 LIC.# B-476455

PROJECT DESCRIPTION:
Coulson Residence
 16336 Shady View Ln
 Los Gatos, CA 95032

SHEET TITLE:
PROPOSED FIRST FLOOR PLAN

NO. DESCRIPTION BY DATE
 1 A4.1 RESPONSES TO PLAN CHECK COMMENTS LL 03/26/2019

PLANNING SET 10/3/2019

A2.1

TYPICAL NOTES:

BATHROOM ELECTRICAL:

- A. PROVIDE 20AMP DEDICATED BRANCH CIRCUIT TO SUPPLY THE BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED).
- B. ALL BRANCH CIRCUITS TO BE PROTECTED BY GROUND FAULT CIRCUIT INTERRUPTER (GFCI).

KITCHEN ELECTRICAL:

- A. ALL BRANCH CIRCUITS TO BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER(AFCI).
- B. PROVIDE AFCI AND GFCI PROTECTION AT ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS.
- C. AT EACH KITCHEN AND DINING AREA COUNTER SPACE WIDER THAN 12", LOCATE A RECEPTACLE SO THAT NO POINT ALONG THE COUNTER WALL IS OVER 24" FROM A RECEPTACLE. COUNTERTOP RECEPTACLES REQUIRED WITHIN 24" EACH SIDE OF A BREAK IN THE CONTINUOUS COUNTERTOP SURFACE (SINKS, STOVES).
- D. RECD RECEPTACLES MOUNTED ON THE SIDES OF CABINETS SHALL BE A MAXIMUM OF 12" BELOW THE COUNTERTOP SURFACE WITH A MAXIMUM OF 6" COUNTERTOP OVERHANG.
- E. PROVIDE AT LEAST TWO (2) 20 AMP CIRCUITS FOR COUNTER RECEPTACLES.

LAUNDRY ELECTRICAL:

- A. ALL BRANCH CIRCUITS TO BE PROTECTED BY ARC-FAULT (AFC) CIRCUIT INTERRUPTER AND GROUND FAULT (GFCI) CIRCUIT INTERRUPTER.
- B. PROVIDE 20AMP DEDICATED BRANCH CIRCUIT TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET.
- C. MINIMUM 30 AMP DEDICATED CIRCUIT FOR DRYER PER CEC 220.54.

LAUNDRY/BATHROOM VENTILATION:

FOR LAUNDRY ROOMS AND BATHROOMS WITHOUT AN OPERABLE WINDOW:

- A. PROVIDE MECHANICAL VENTILATION SYSTEM CAPABLE OF 5 AIR CHANGES/HR. TO EXTERIOR.
- B. USE SMOOTH METAL DUCT FOR DRYER EXHAUST WITH A MAX. LENGTH OF 14', TO OUTSIDE WITH BACKDRAFT DAMPER AND TWO 90° ELBOWS AND A MIN. OF 4" DIA.
- C. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM PROPERTY LINES OR ANY OPENINGS INTO THE BUILDING (I.E. DRYERS, BATH AND UTILITY FANS, ETC., MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS).
- D. EXHAUST FANS SHALL HAVE A MIN. OF 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION AND BE ENERGYSTAR COMPLIANT AND BE EQUIPPED WITH A HUMIDISTAT AND HUMIDITY CONTROL. AND BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM.

HIGH EFFICACY LIGHTING:

- A. ALL LIGHTING SHALL BE HIGH EFFICACY AS DEFINED BY CEC TABLE 150.0-A
- B. ALL PERMANENTLY INSTALLED SCREW-BASED LIGHT FIXTURES SHALL CONTAIN SCREW-BASED JAB (JOINT APPENDIX B) COMPLIANT LAMPS AND BE MARKED AS JA8-2016 OR JA8-2016-E. CEC 150.0(K)(G)
- C. ALL JA8 COMPLIANT LIGHT FIXTURES INSTALLED IN CEILING RECESSED DOWNLIGHTS, LED LUMINARIES WITH INTEGRAL SOURCES, PIN-BASED LED LAMPS, AND GU24 BASED LED LIGHT SOURCES SHALL BE CONTROLLED BY VACANCY SENSORS OR DIMMERS.
- D. AT LEAST ONE FIXTURE IN EACH BATHROOM, GARAGE, LAUNDRY ROOM, AND UTILITY ROOM SHALL BE CONTROLLED BY A VACANCY SENSOR.
- E. ALL LIGHTING SHALL BE SWITCHED SEPARATELY FROM EXHAUST FANS (EXCEPT FOR KITCHEN EXHAUST HOODS).
- F. ALL UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
- G. GARAGE, LAUNDRY, AND UTILITY ROOMS: LIGHTING INSTALLED IN GARAGES, LAUNDRY, AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND CONTROLLED BY VACANCY SENSORS.
- H. HIGH EFFICACY LIGHTING IS NOT REQUIRED IN CLOSETS OF LESS THAN 70 SF.
- I. OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING SHALL BE HIGH EFFICACY AND CONTROLLED WITH A MANUAL ON/OFF SWITCH AND BY PHOTO CONTROL AND A MOTION SENSOR. PER ENERGY 110.9.
- J. ALL OTHER ROOMS: LIGHTING INSTALLED IN ALL OTHER ROOMS SHALL BE HIGH EFFICACY OR SHALL BE CONTROLLED BY EITHER DIMMERS OR VACANCY SENSORS.

CARBON MONOXIDE ALARMS:

CARBON MONOXIDE ALARMS REQUIRED BY SECTION 420.6.2 SHALL BE INSTALLED AND MAINTAINED IN THE FOLLOWING LOCATIONS:

- A. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM (S).
- B. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
- C. IN GROUP R-1 OCCUPANCIES, ON THE CEILING OF EVERY SLEEPING UNIT OR OTHER LOCATIONS WITHIN THE SLEEPING UNIT IN COMPLIANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- D. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH BATTERY BACK-UP. ALARM WIRING SHALL BE DIRECTLY CONNECTED TO THE PERMANENT BUILDING WIRING WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
- E. WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN THE DWELLING UNIT OR WITHIN A SLEEPING UNIT, THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
- F. CARBON MONOXIDE ALARMS SHALL BE LISTED AND COMPLY WITH UL 2034 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND MANUFACTURERS INSTRUCTIONS.

SMOKE DETECTORS:

- A. SMOKE DETECTOR SYSTEM SHALL BE HARD WIRED, INTERCONNECTED TO SOUND SIMULTANEOUSLY AND EQUIPPED WITH BATTERY BACKUP.
- B. INSTALL DETECTORS IN EACH BEDROOM, AT EACH CORRIDOR/AREA NEXT TO THE BEDROOM, AT THE TOP OF STAIRS AND EACH STORY AND BASEMENT.
- C. MULTIPLE SMOKE DETECTORS ARE REQUIRED WHEN CEILING LEVELS/ ELEVATIONS CHANGE OR ARE INTERRUPTED BY ARCHITECTURAL ELEMENTS (CASED OPENINGS, ARCHWAYS, SKYLIGHT WELLS, ETC.).
- D. SMOKE DETECTORS SHALL BE LISTED AND COMPLY WITH UL 217 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND MANUFACTURERS INSTRUCTIONS.

PLUMBING:

- A. ALL NEW TOILETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME NOT TO EXCEED 1.28 GALLONS PER FLUSH.
- B. ALL NEW LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.2 GALLONS PER MINUTE AT 60 PSI.
- C. ALL NEW SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.
- D. ALL NEW KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

BATHROOM:

- A. WATER CLOSETS SHALL BE LOCATED IN SPACES NOT LESS THAN 30" IN WIDTH AND 24" IN FRONT.
- B. WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER. CRC 702.3.7.1
- C. BACKER FOR SHOWER AND TUB SHOWER WALLS TO BE FIBER-CEMENT, FIBER REINFORCED CEMENTITIOUS BACKER UNITS, GLASS MAT GYPSUM BACKERS OR FIBER-REINFORCED GYPSUM BACKERS TO A MIN HEIGHT OF 72" ABOVE THE FLOOR.
- D. USE 2X8 WOODEN BACKING IN ALL BATHROOM WALLS AT WATER CLOSET SHOWER AND BATHTUB, LOCATED AT 34" FROM FLOOR TO CENTER OF THE BACKING SUITABLE FOR THE ADDITION OF GRAB BARS.
- E. DOORS AND PANELS OF TUB AND SHOWER ENCLOSURES SHALL BE FULLY TEMPERED LAMINATED SAFETY GLASS OR APPROVED PLASTIC.
- F. SHOWER COMPARTMENTS SHALL HAVE MIN INTERIOR FLOOR AREA OF 1024 SQ IN AND ABLE TO CONTAIN A 30" DIA. CIRCLE.
- G. SHOWER AND TUB SHOWER COMBINATION IN ALL BUILDING SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.

ATTIC/UNDERFLOOR INSTALLED FAU:

- A. UNIT SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY NOT LESS THAN THE LARGEST COMPONENT OF THE UNIT AND NOT LESS THAN 22"x30" FLOOR LEVEL.
- B. THE DISTANCE FROM THE PASSAGEWAY ACCESS TO THE UNIT SHALL NOT EXCEED 20'.
- C. THE WIDTH OF THE PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE SOLID FLOORING NOT LESS THAN 24" WIDE FROM THE ENTRANCE OPENING TO THE UNIT.
- D. A LEVEL WORKING PLATFORM NOT LESS THAN 30" BY 30" SHALL BE PROVIDED IN FRONT OF THE SERVICE SIDE OF THE UNIT.
- E. A PERMANENT 120V RECEPTACLE OUTLET AND A LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE UNIT. THE SWITCH CONTROLLING THE LIGHTING FIXTURE SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGEWAY.

KITCHEN VENTILATION:

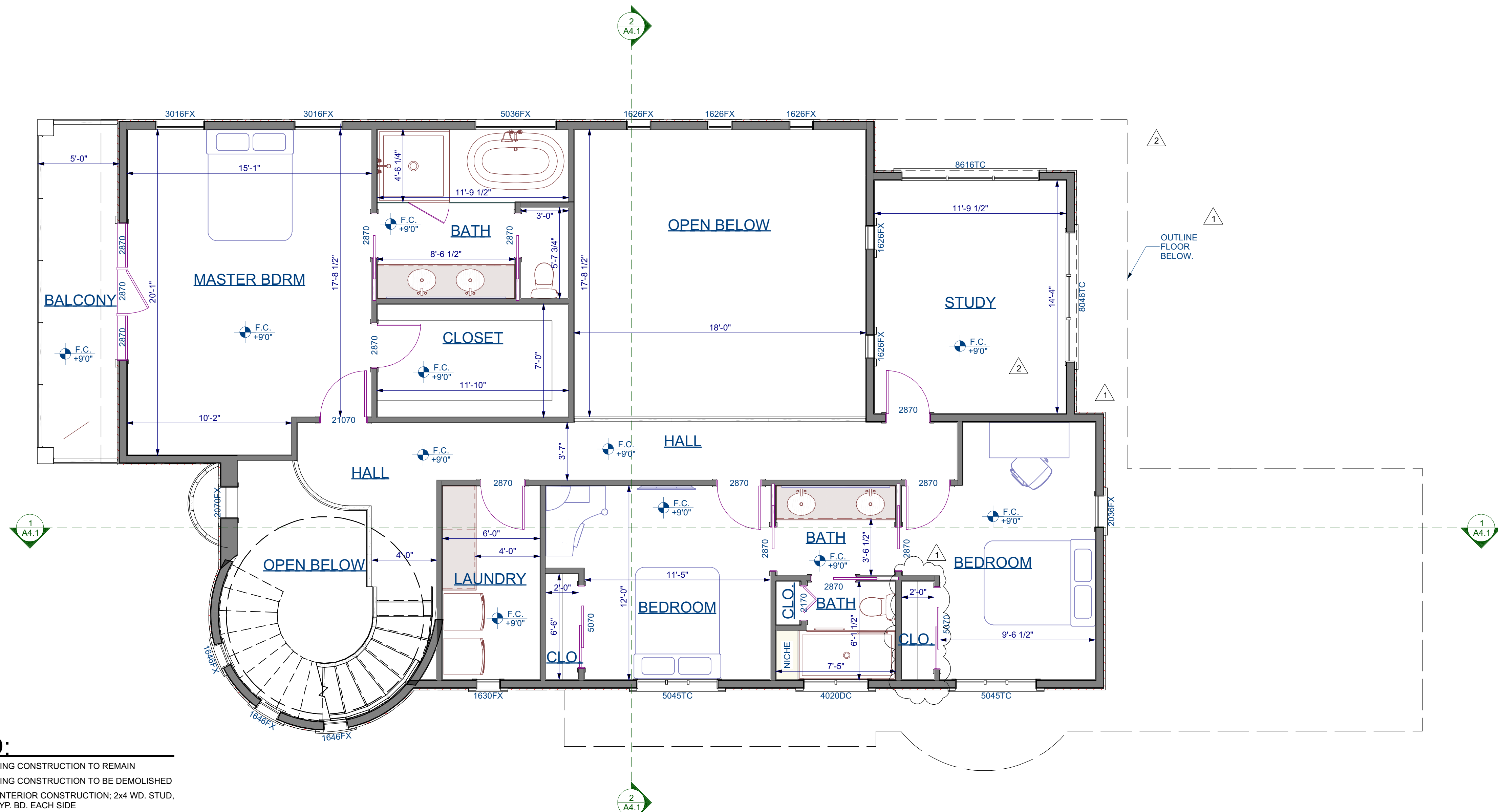
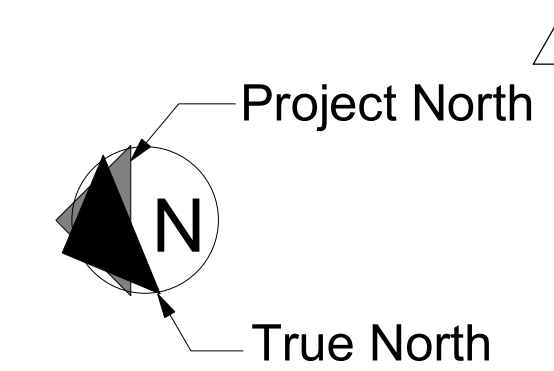
WHERE COMBUSTION APPLIANCES OR SOLID-FUEL BURNING APPLIANCES ARE LOCATED INSIDE THE PRESSURE BOUNDARY, THE MAXIMUM ALLOWABLE NET EXHAUST FLOW OF THE TWO LARGEST EXHAUST FANS SHALL NOT EXCEED 15 CFM PER 100 SQ. FT. OF OCCUPIABLE SPACE, WHEN OPERATING AT FULL CAPACITY. IF THE DESIGNED TOTAL NET FLOW EXCEEDS THIS LIMIT, THE NET EXHAUST FLOW MUST BE REDUCED BY REDUCING THE EXHAUST FLOW OR PROVIDING COMPENSATING OUT-DOOR AIRFLOW (NOTE: IF MAKE-UP AIR FAN IS INSTALLED IT MUST BE ELECTRICALLY INTERLOCKED WITH THE LARGEST EXHAUST FAN)

ELECTRIC VEHICLE (EV) CHARGING:

- A. LISTED TRADE SIZE 1 RACEWAY SHALL BE INSTALLED TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE FROM THE MAIN SERVICE PANEL OR SUB PANEL AND TERMINATES INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE FUTURE CHARGING DEVICE.
- B. THE SERVICE PANEL AND/OR SUB PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMP MIN. BRANCH CIRCUIT AND SPACE RESERVED TO ACCOMMODATE A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
- C. THE ELECTRICAL PANEL SCHEDULE SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE".
- D. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

TOWN STANDARDS:

- RESIDENTIAL ACCESSIBILITY
 - A. ALL PASSAGE DOOR SHALL BE AT LEAST 32 INCH DOORS ON THE ACCESSIBLE FLOOR LEVEL.
 - B. THE PRIMARY ENTRANCE DOOR SHALL BE A 36 INCH WIDE DOOR INCLUDING A 5'X5' LEVEL LANDING, MORE THAN 1 INCH OUT OF PLANE WITH THE IMMEDIATE INFERIOR FLOOR LEVEL AND WITH AN 18 INCH CLEARANCE AT INTERIOR STRIKE EDGE.
 - C. A DOOR BUZZER, BELL OR CHIME SHALL BE HARD WIRED AT PRIMARY ENTRANCE.
- FIREPLACE:
 - A. NEW WOOD BURNING FIREPLACES SHALL BE AN EPA PHASE II APPROVED APPLIANCES OR GAS APPLIANCE PER TOWN ORDINANCE 1905. TREE LIMBS SHALL BE CUT WITHIN 10 FEET OF CHIMNEYS.



LEGEND:

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	NEW INTERIOR CONSTRUCTION, 2x4 WD. STUD, 1/2" GYP. BD. EACH SIDE
	NEW EXTERIOR CONSTRUCTION.
	NEW 1-HR FIRE RATED WALL, 2x4 WD. STUD, 5/8" TYPE "X" GYP. BD. EACH SIDE. SEE PLAN FOR LOCATIONS.

1 PROPOSED SECOND FLOOR PLAN
Scale: 1/4"=1'-0"

PROJECT DESCRIPTION:
Coulson Residence
 16336 Shady View Ln
 Los Gatos, CA 95032

DRAWINGS PROVIDED BY:
DeMatti Construction, Inc.
 1794 The Alameda, San Jose CA, 95126
 P: (408) 295-7516
 F: (408) 286-6589
 LIC.# B-476455

SHEET TITLE:
PROPOSED SECOND FLOOR PLAN

NO.	DESCRIPTION	BY	DATE
1	RESPONSES TO PLAN CHECK COMMENTS	LL	03/26/2019

DATE:
 12/17/2018

SCALE:
 As shown

DRAWN BY:
 LL / JW

SHEET:
A2.2

PLANNING SET 10/3/2019



2 SOUTH REAR EXTERIOR ELEVATION
Scale: 1/4"=1'-0"



1 NORTH FRONT EXTERIOR ELEVATION
Scale: 1/4"=1'-0"

NOTES:
A. DECORATIVE WOOD, IGNITION-RESISTANT, FIRE-RETARDANT-TREATED WOOD PER SFM STANDARD 12-7A-5, ASTM E84. SEE DETAIL 7/A4.2

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NO.	DESCRIPTION	BY	DATE
1	RESPONSES TO PLAN CHECK COMMENTS	LL	03/26/2019
2	RESPONSES TO PLAN CHECK COMMENTS	LL	07/09/2019

SHEET TITLE:
PROPOSED EXTERIOR ELEVATIONS

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

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F: (408) 286-6589
LIC.# B-476455

DATE:
12/17/2018

SCALE:
As shown

DRAWN BY:
LL / JW

SHEET:

A3.1



2 WEST RIGHT EXTERIOR ELEVATION
Scale: 1/4"=1'-0"



1 EAST LEFT EXTERIOR ELEVATION
Scale: 1/4"=1'-0"

NOTES:
A DECORATIVE WOOD, IGNITION-RESISTANT, FIRE-RETARDANT-TREATED WOOD PER SFM STANDARD 12-7A-5, ASTM E84. SEE DETAIL 7/A4.2

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2	RESPONSES TO PLAN CHECK COMMENTS	LL	07/09/2019

SHEET TITLE:
PROPOSED EXTERIOR ELEVATIONS

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

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DATE:
12/17/2018

SCALE:
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DRAWN BY:
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SHEET:

A3.2



2 BUILDING SECTION
Scale: 1/4"=1'-0"



1 BUILDING SECTION
Scale: 1/4"=1'-0"

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NO.	DESCRIPTION	BY	DATE
1	RESPONSES TO PLAN CHECK COMMENTS	LL	03/26/2019

SHEET TITLE:
PROPOSED SECTIONS

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

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SCALE:
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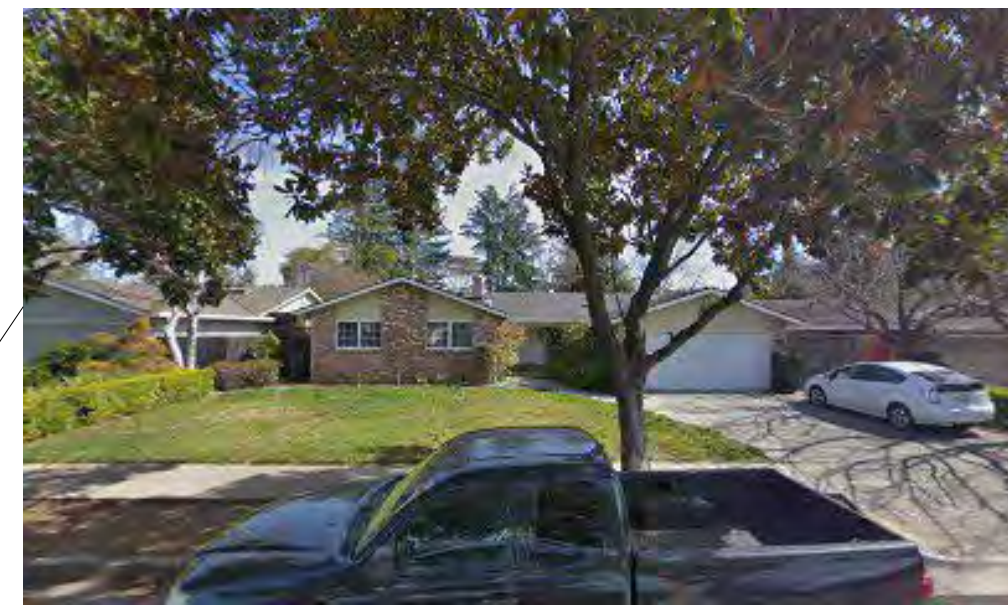
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LL / JW

SHEET:

A4.1



100 HILOW CT.



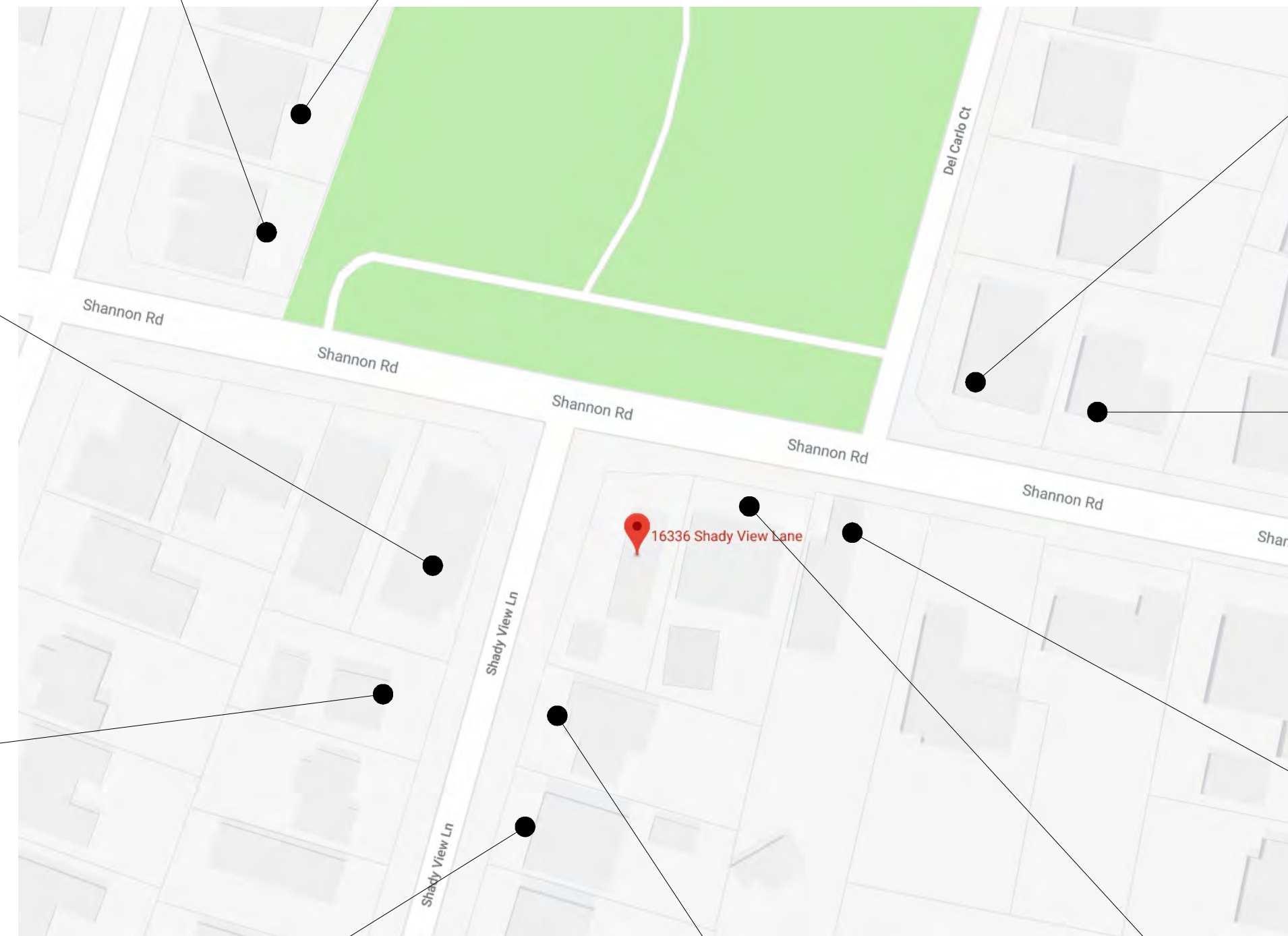
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100 DEL CARLO CT.



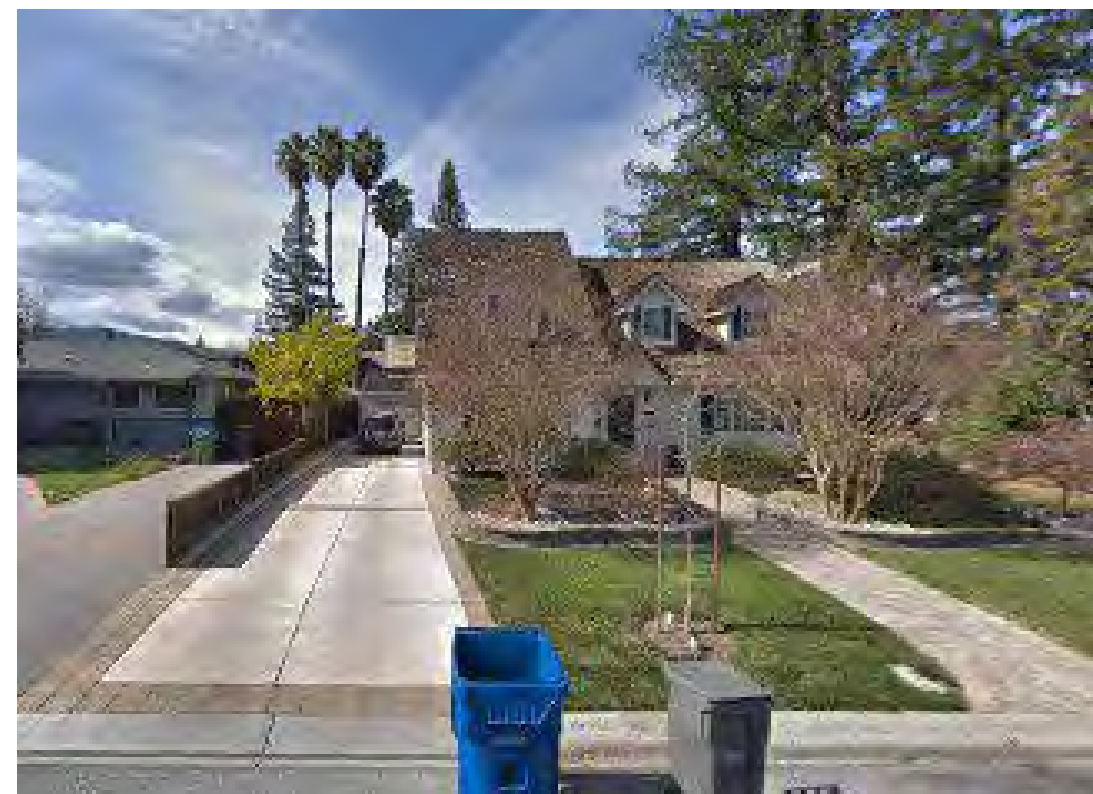
16337 SHADY VIEW LN.



PROJECT VICINITY MAP.



16311 SHANNON RD.



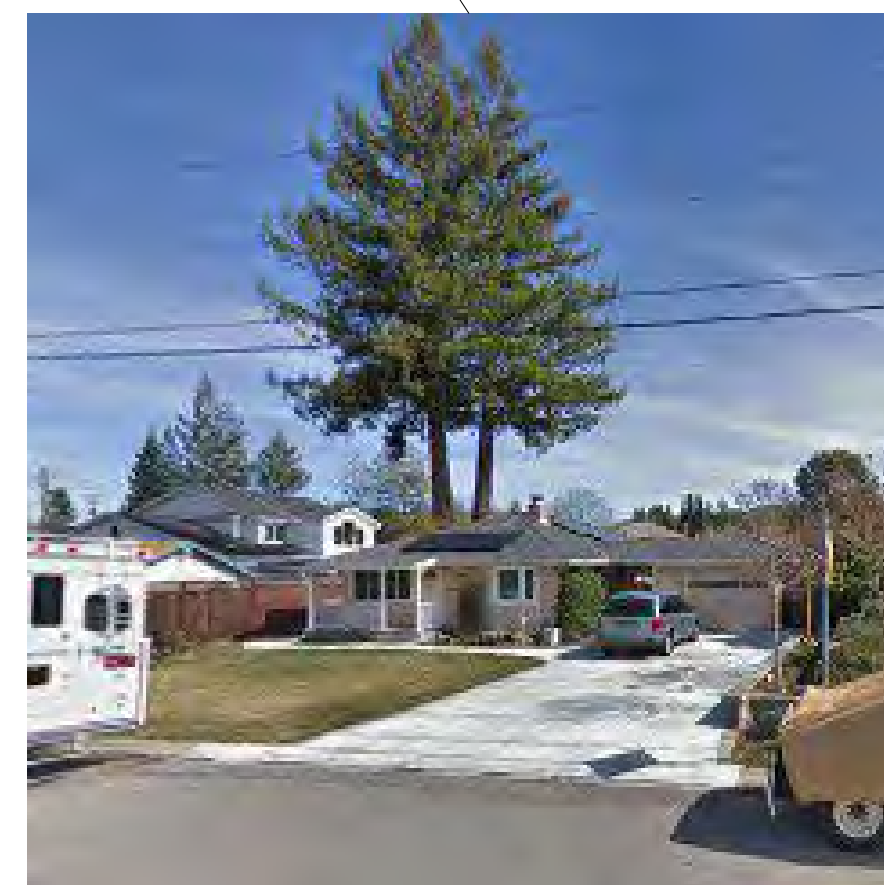
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16310 SHANNON RD.



16356 SHADY VIEW LN.



16344 SHADY VIEW LN.



16330 SHANNON RD.

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NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
**NEIGHBORHOOD
PHOTOGRAPHS**

PROJECT DESCRIPTION:
**Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032**

DRAWINGS PROVIDED BY:
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1794 The Alameda, San Jose, CA 95126
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DATE:
12/17/2018

SCALE:
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LL / JW

SHEET:

A6.1

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1	RESPONSES TO PLAN CHECK COMMENTS	03/26/2019	LL
2	RESPONSES TO PLAN CHECK COMMENTS	07/09/2019	LL

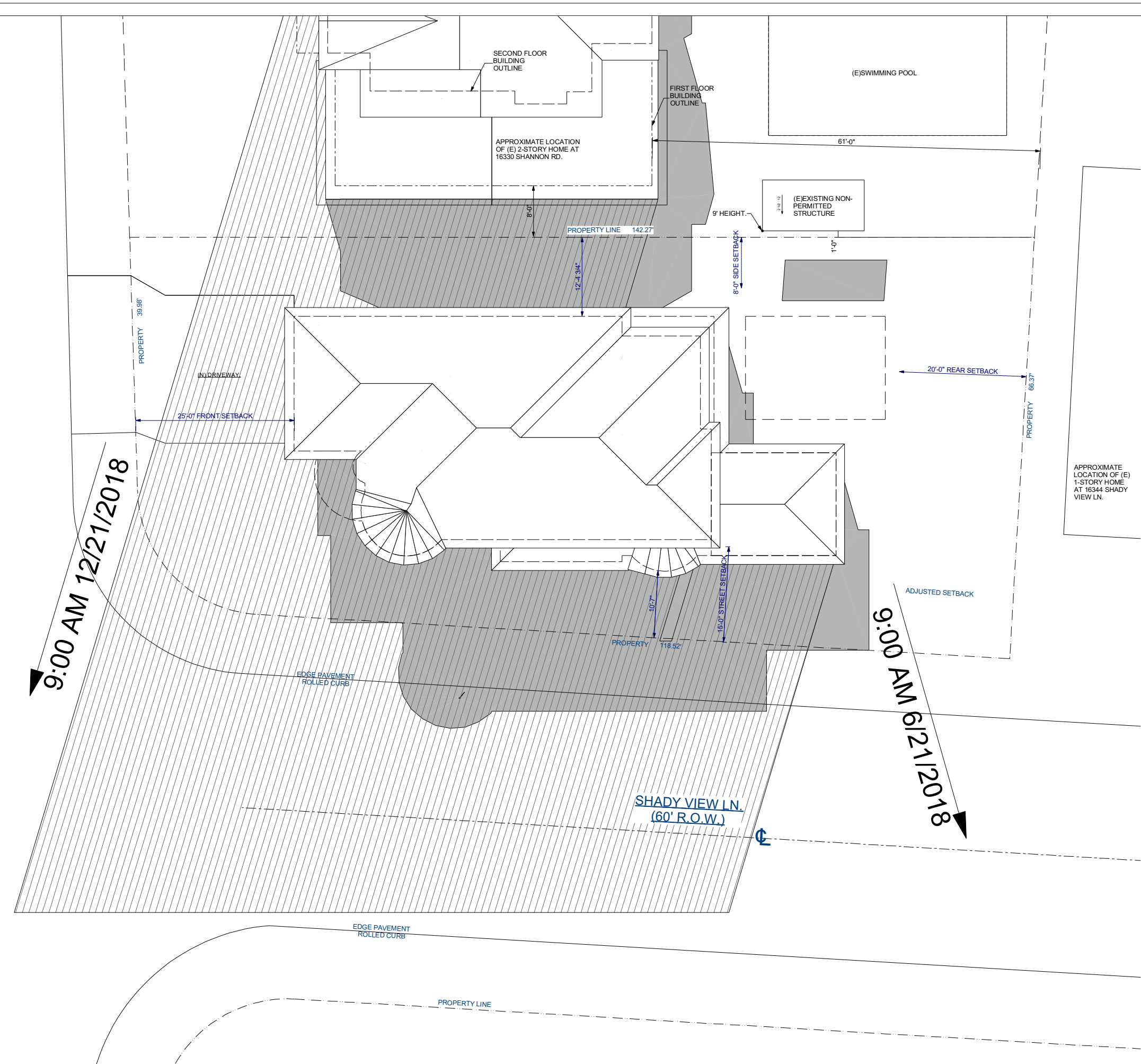
SHEET TITLE:
SHADOW STUDY

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

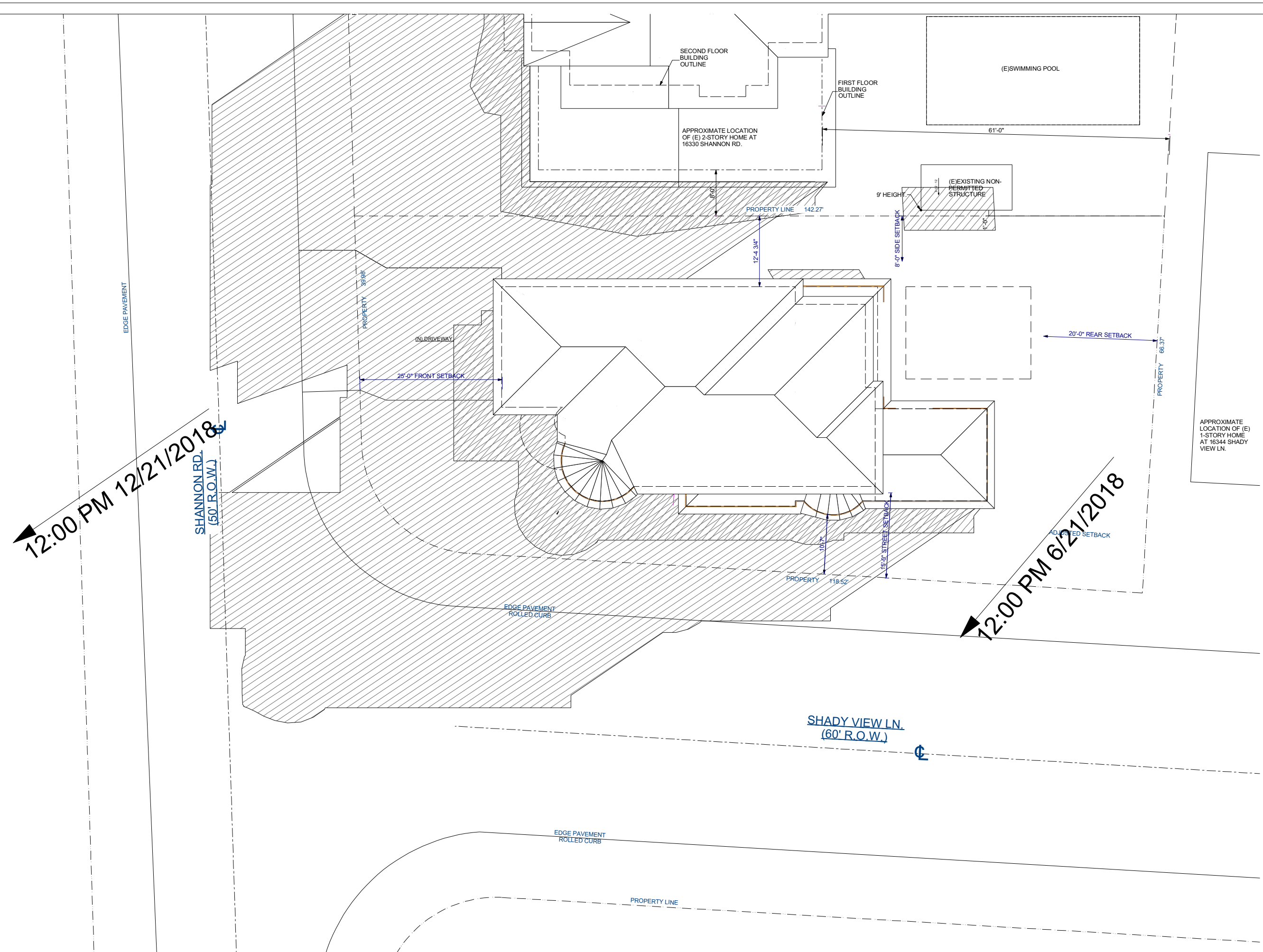
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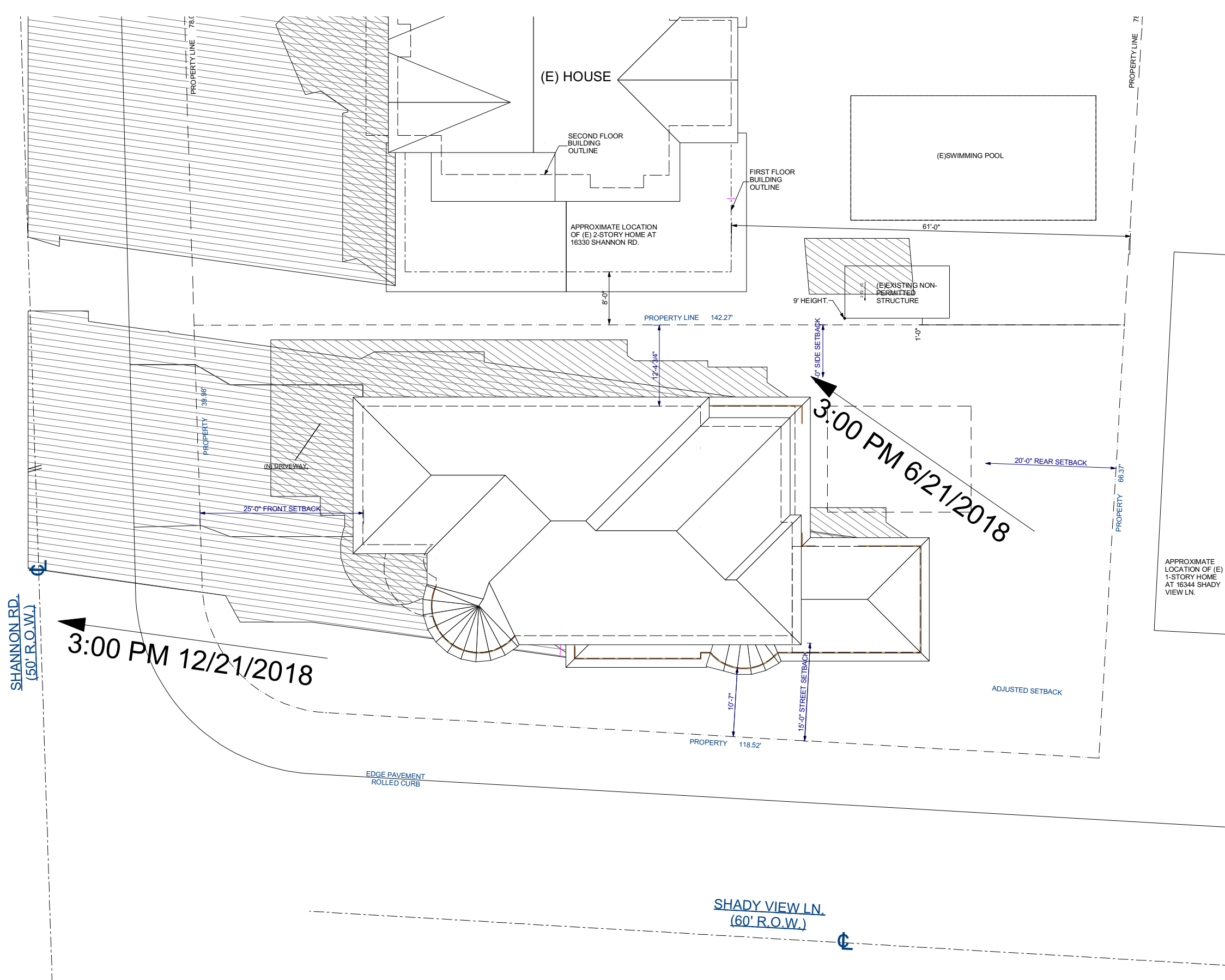
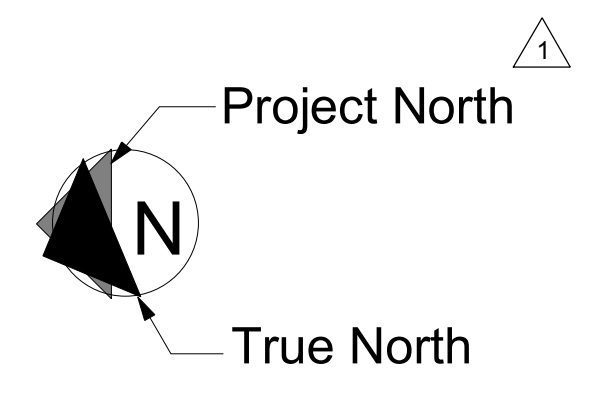
PLANNING SET 10/3/2019



1 PROPOSED FIRST FLOOR PLAN
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June 21st 9:00am
December 21st 9:00am

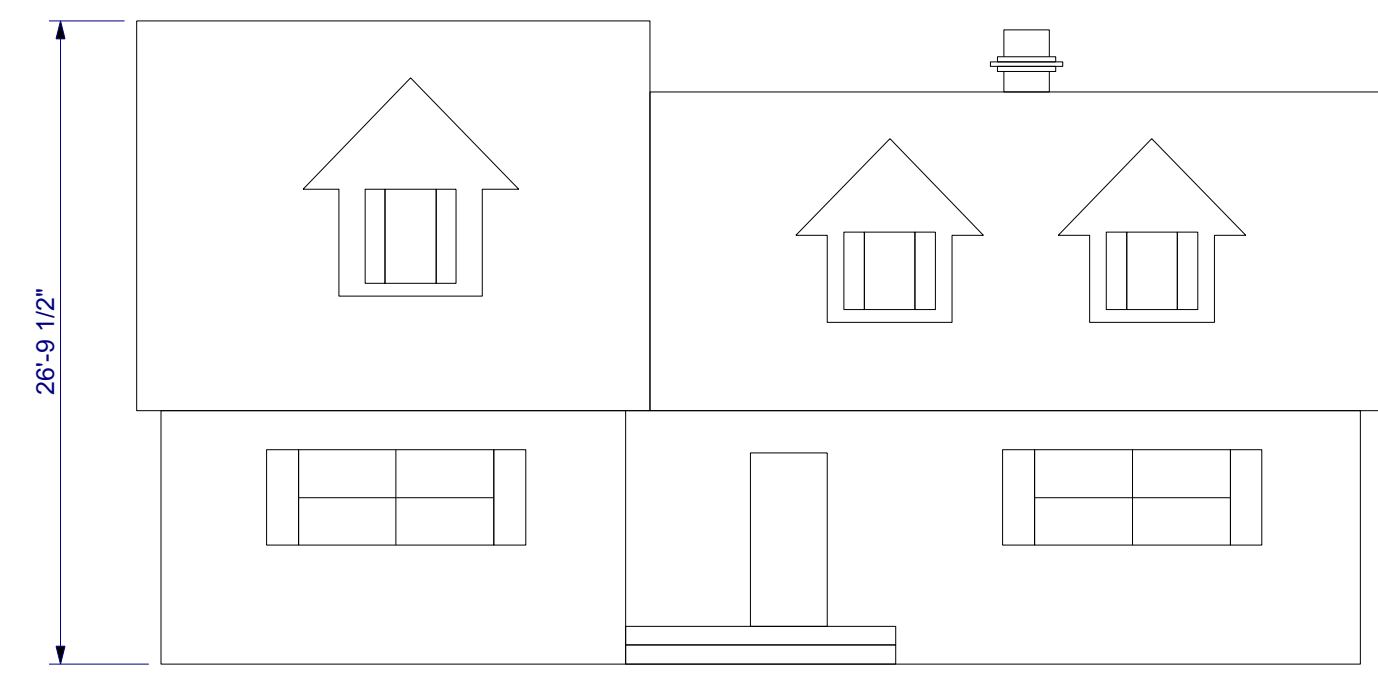


2 PROPOSED FIRST FLOOR PLAN
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June 21st 12:00pm
December 21st 12:00pm

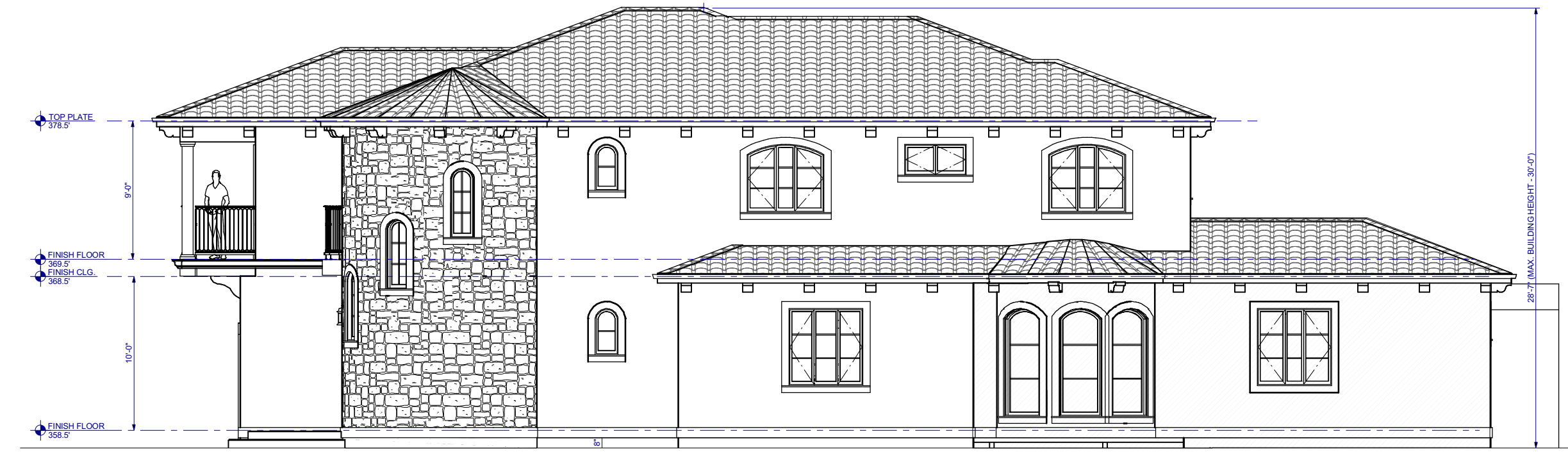


3 PROPOSED FIRST FLOOR PLAN
Scale: 1/16"=1'-0"
June 21st 3:00pm
December 21st 3:00pm

LEGEND:
 JUNE SHADOW
 DECEMBER SHADOW



16347 SHADY VIEW LN.



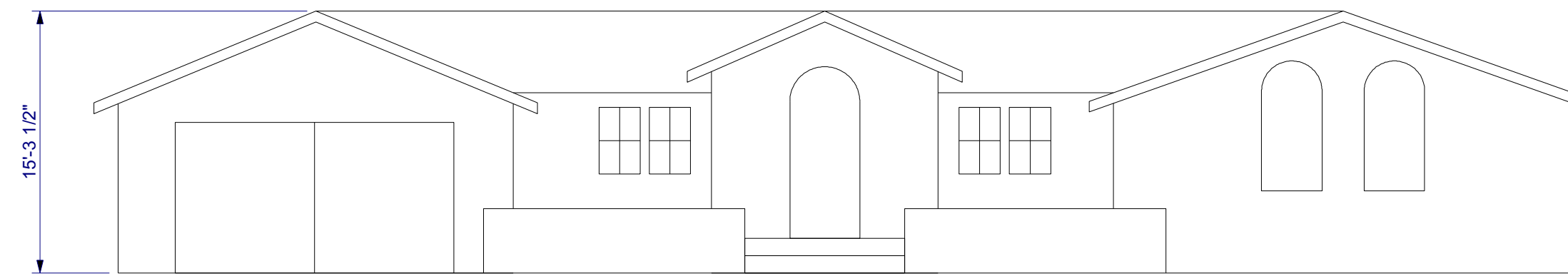
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16356 SHADY VIEW LN.



16344 SHADY VIEW LN.



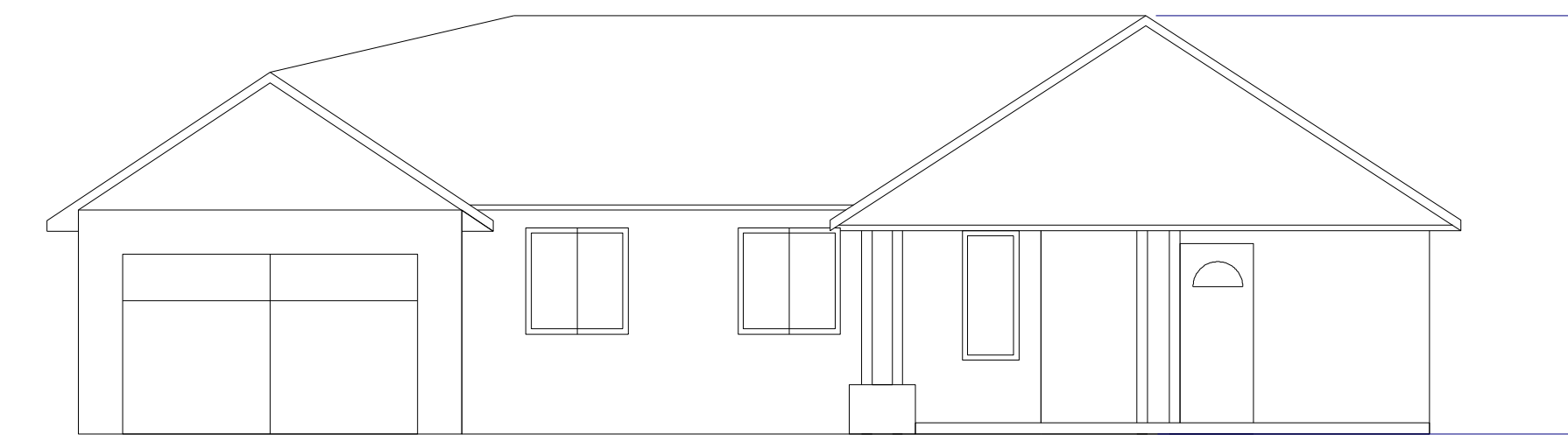
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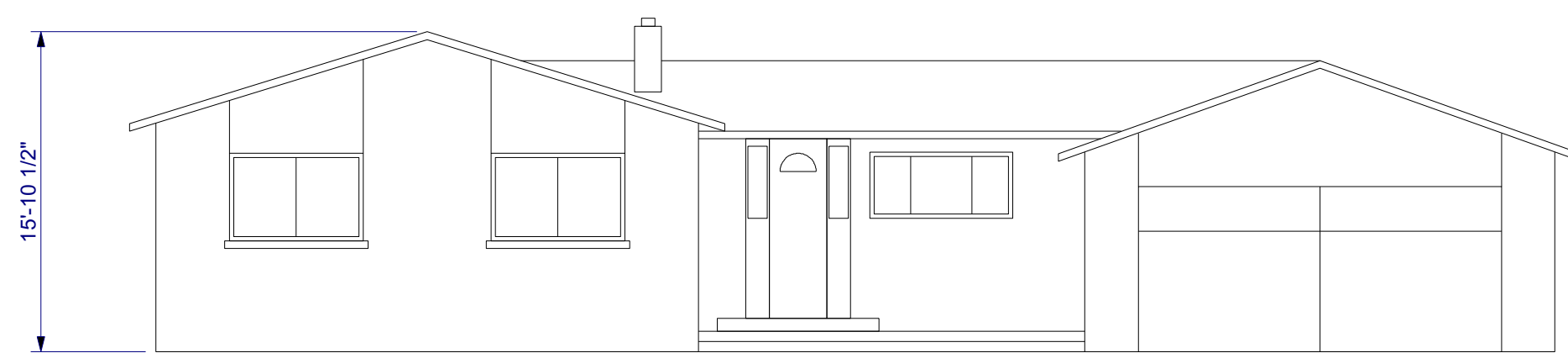
16311 SHANNON RD.



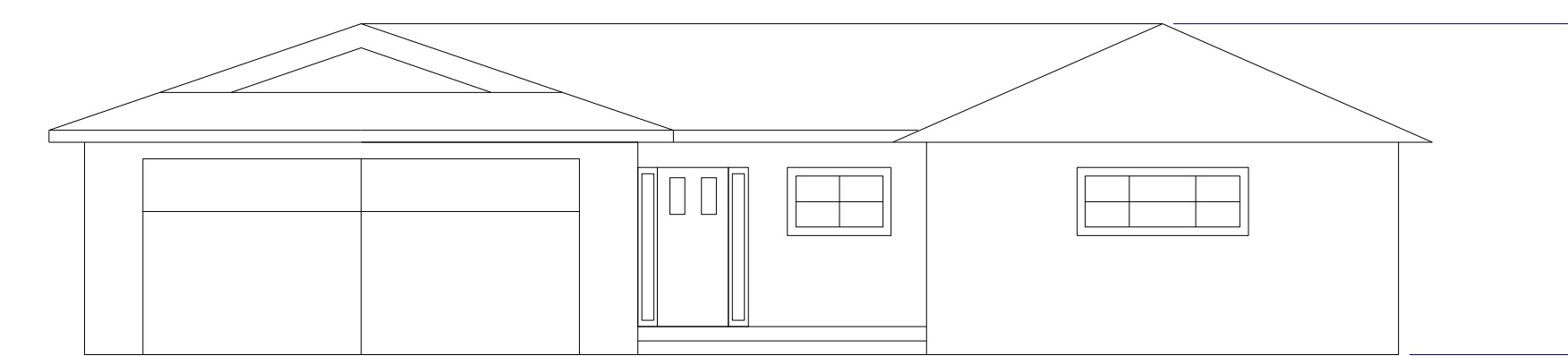
16330 SHANNON RD.



100 DEL CARLO CT.



104 HILOW CT.



100 HILOW CT.

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NO.	DESCRIPTION	BY	DATE
1	RESPONSES TO PLAN CHECK COMMENTS	LL	07/09/2019

SHEET TITLE:
SCHEMATIC
NEIGHBORHOOD
ELEVATIONS

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

DRAWINGS PROVIDED BY:
DeMattei Construction, Inc.
1794 The Alameda, San Jose CA, 95126
P: (408) 285-7516
F: (408) 286-6589
LIC.# B-476455

DATE:
12/17/2018

SCALE:
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A6.3



4



3



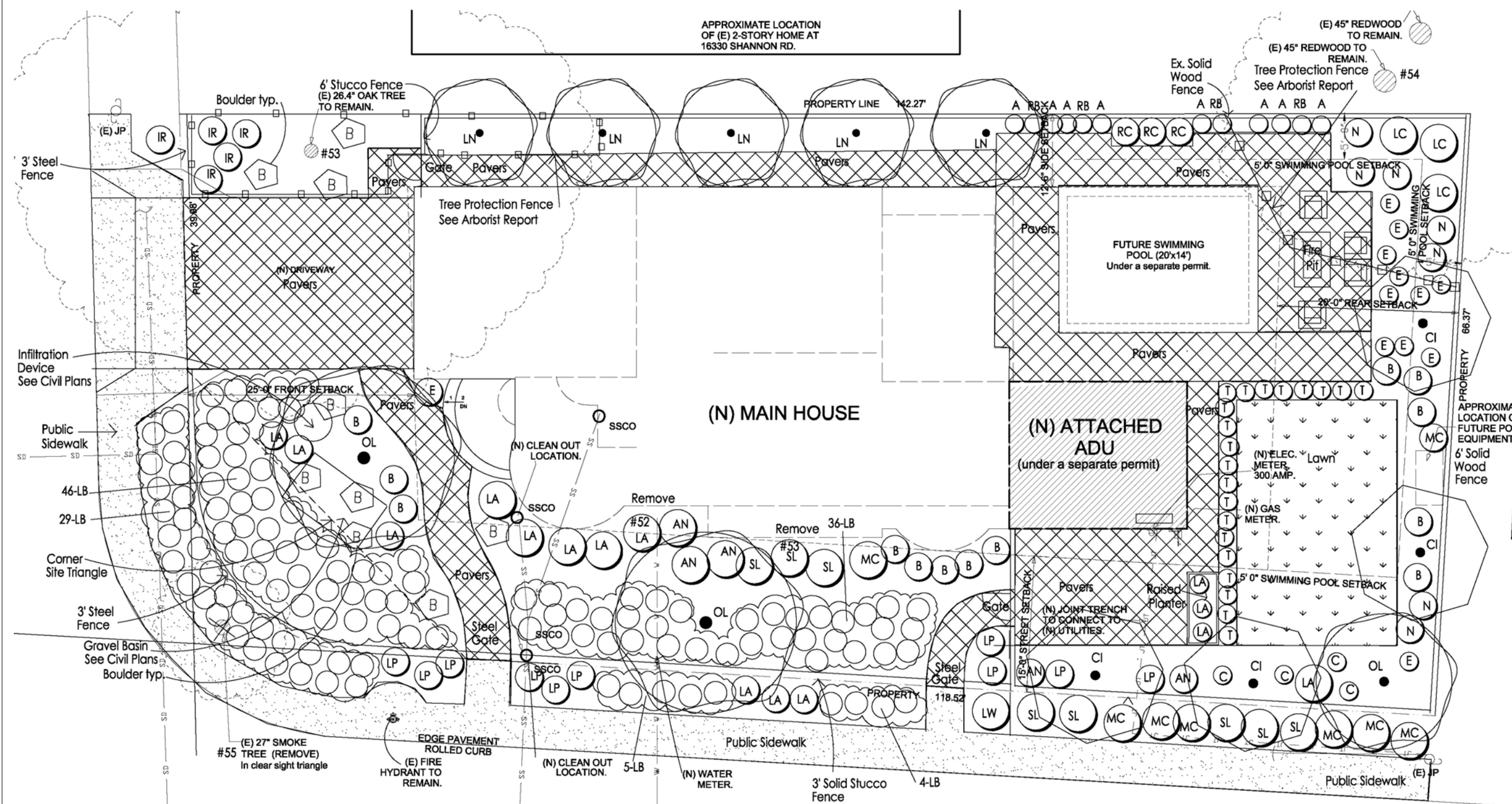
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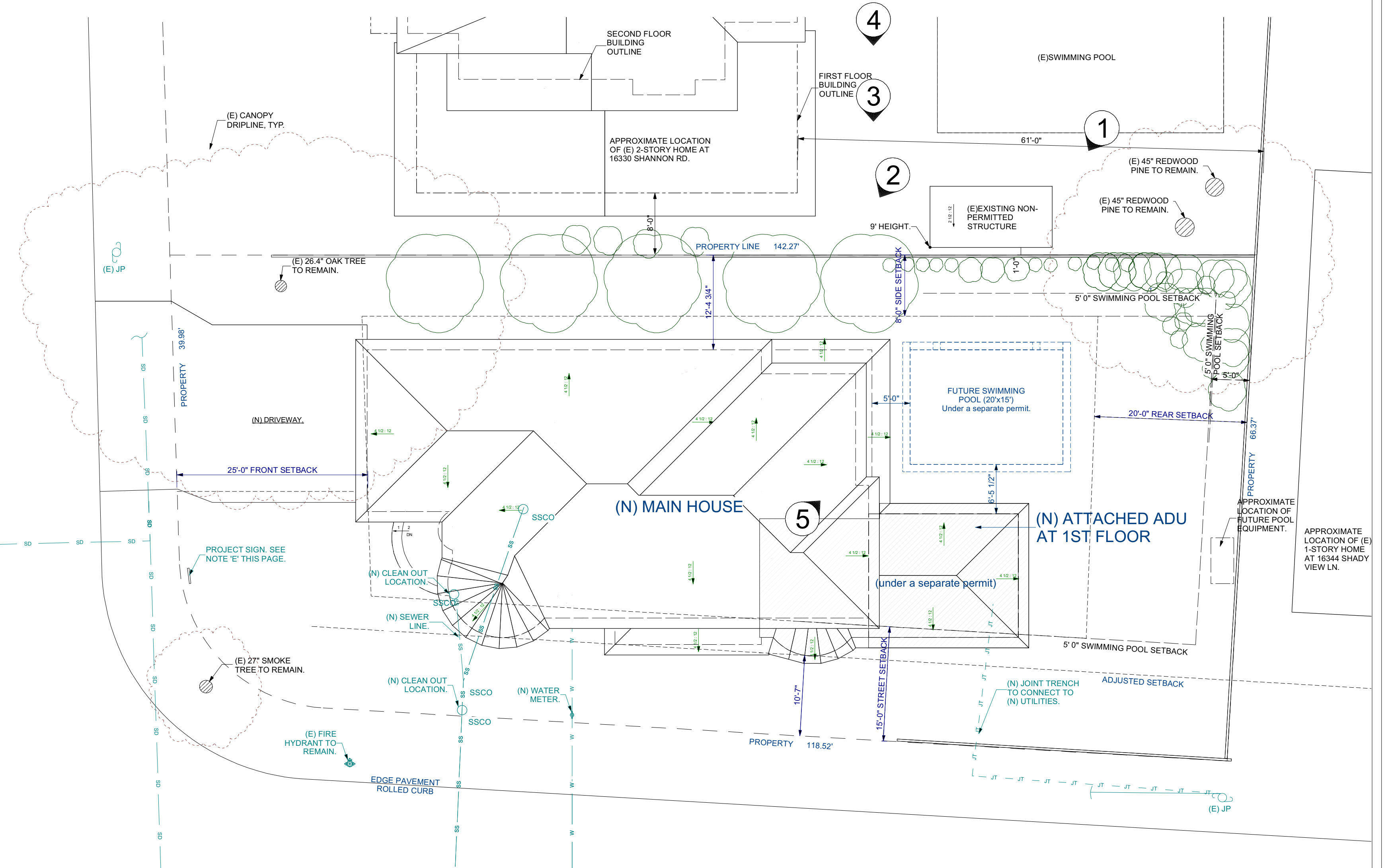


5



2 LANDSCAPE PLAN
Not To Scale

16360 SHANNON ROAD



1 SITE/ROOF PLAN
Scale: 1"=10'

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NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
PRIVACY EXHIBIT

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

DRAWINGS PROVIDED BY:
DeMatti Construction, Inc.
1794 The Alameda, San Jose CA, 95126
P: (408) 295-7516
F: (408) 286-6589
LIC # B-476455

DATE:
12/17/2018

SCALE:
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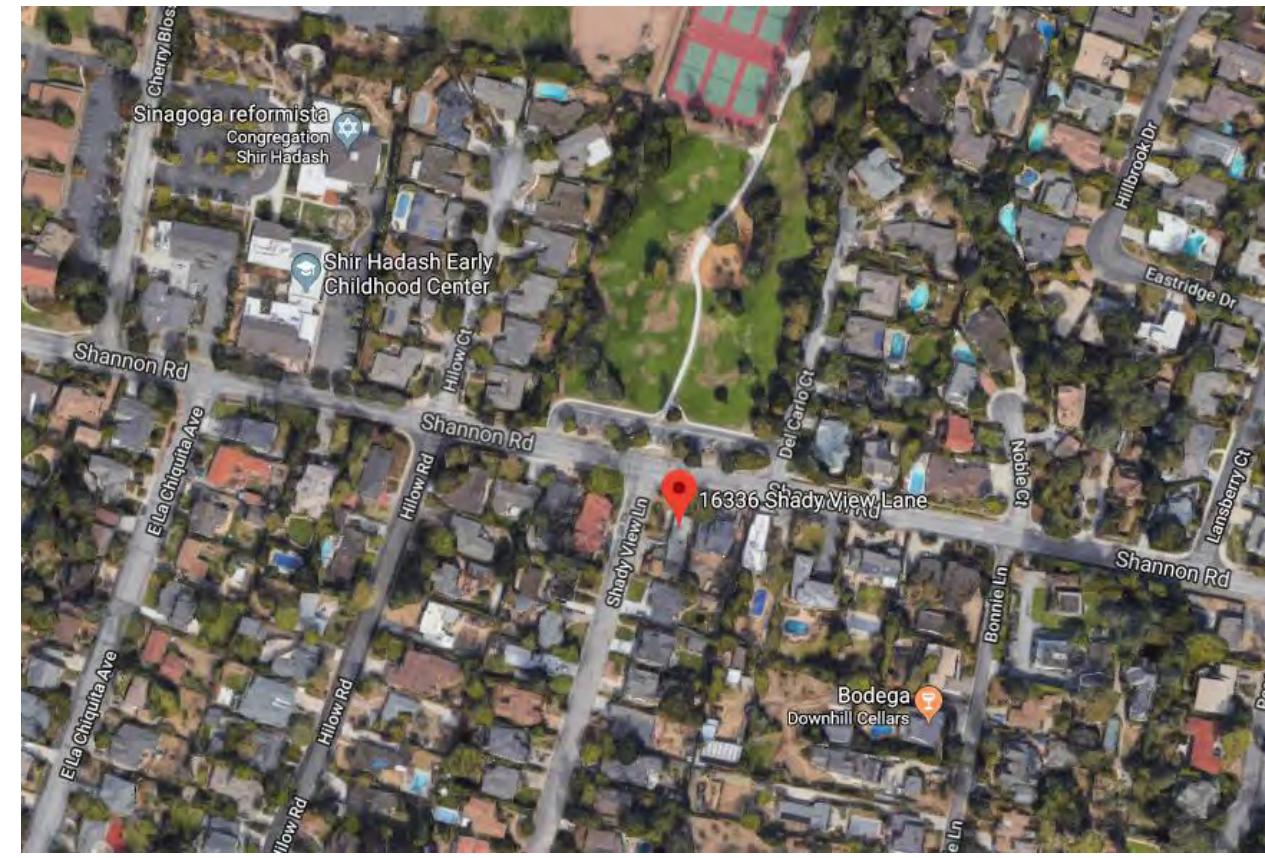
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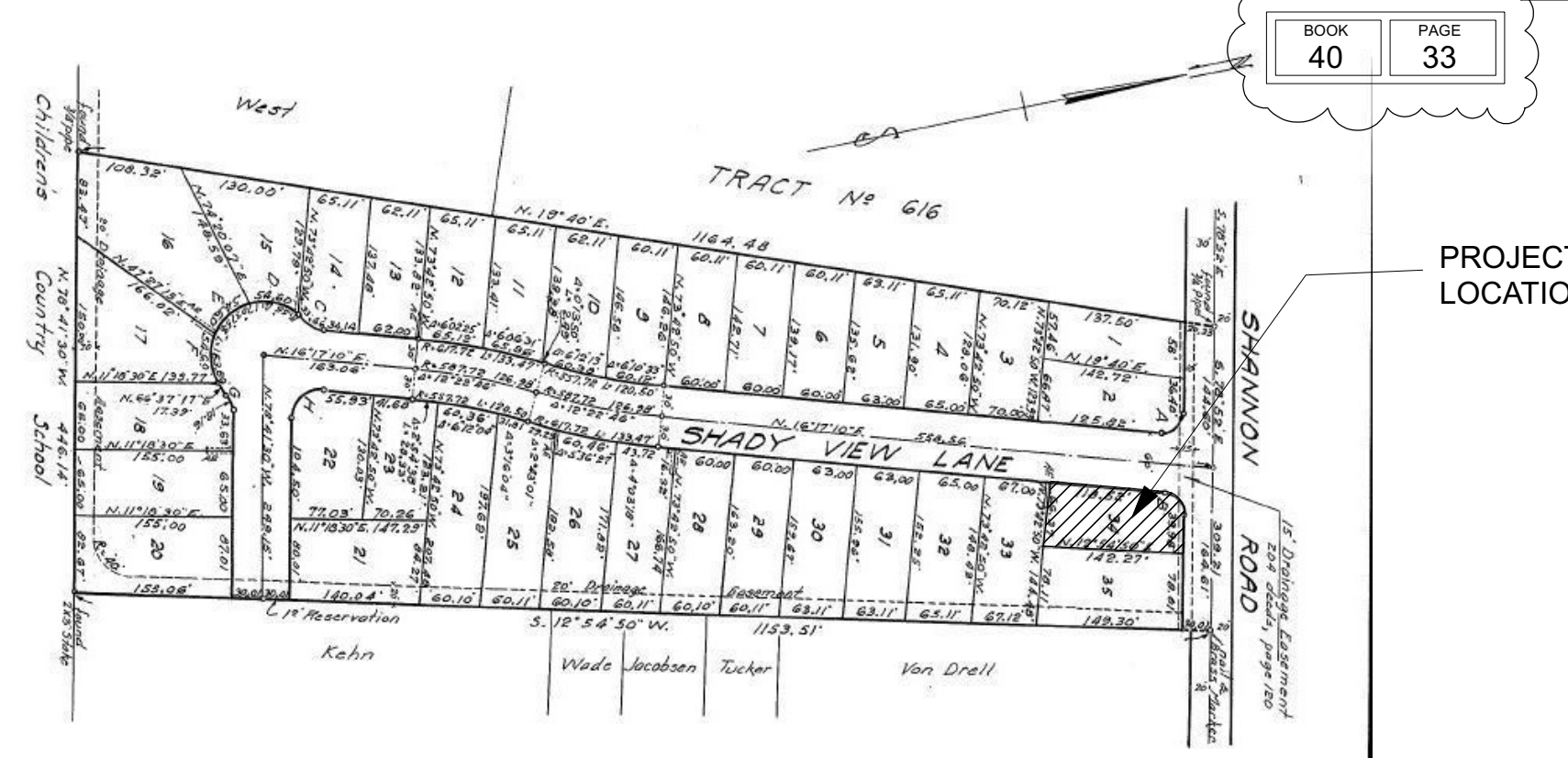
PLANNING SET 10/3/2019

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LOCATION MAP



PARCEL MAP



Coulson Residence

SCOPE OF WORK:

- 2 DEMOLISH (E) 1,056 SF 1-STORY RESIDENCE. BUILD (N) 2,698.75 SF 2-STORY HOME.

PROJECT DATA

ZONING	R1-8-PREZONE
OCCUPANCY TYPE	R3/U
BUILDING TYPE	VB
APN	5324-03-034
LOT AREA	8,610 SF
(E) RESIDENCE TO BE REMOVED	1,056 SF
FLOOR AREA:	
(N) 1st FLOOR	1,425.08 SF
(N) 2ND FLOOR	1,273.67 SF
TOTAL (N) FAR	2,698.75 SF
(N) ATTACHED GARAGE:	422.81 SF
FAR	5% < MAX. 9%
BUILDING COVERAGE:	2,307.96 SF
TOTAL	26.8% < MAX. 40%
PARKING	2 COVERED SPACES

PROJECT DIRECTORY

PROPERTY OWNER:
Allan Coulson
16336 Shady View Ln
Los Gatos, CA 95032

DESIGNER/CONTRACTOR:
DE MATTEI CONSTRUCTION, INC.
1794 THE ALAMEDA
SAN JOSE, CA 95126
(408) 295-7516

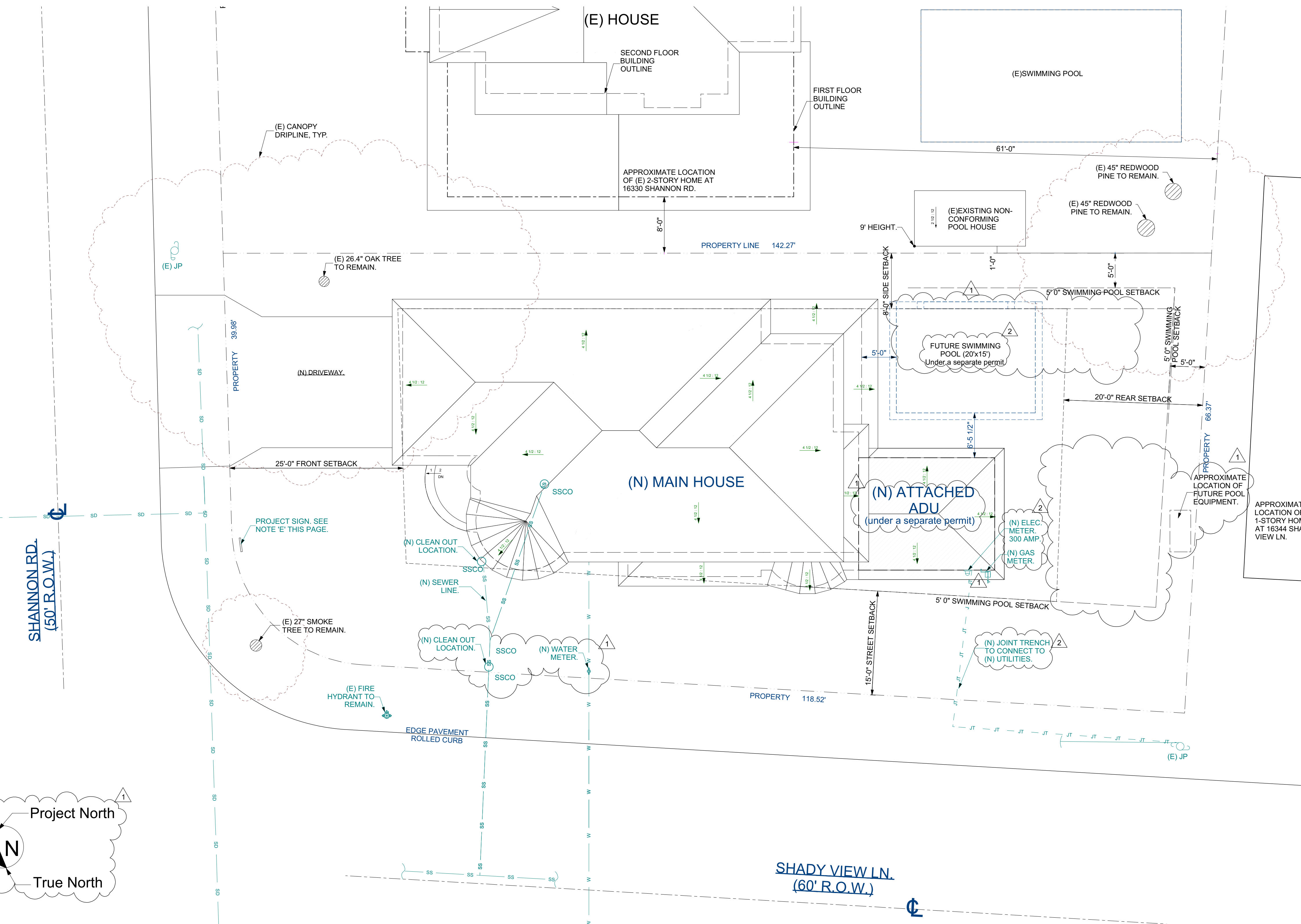
CONSTRUCTION SHALL CONFORM TO:

- 2016 California Building Code
- 2016 California Residential Code
- 2016 California Plumbing Code
- 2016 California Mechanical Code
- 2016 California Electrical Code
- 2016 Energy Code
- 2016 Green Building Code
- 2016 California Fire Code
- 2016 California Reference Standards Code

SHEET INDEX

CS	COVER SHEET
1	BLUEPRINT FOR A CLEAN BAY TOPOGRAPHIC SURVEY
C-1	COVER SHEET
C-2	GRADING AND DRAINAGE PLAN
C-3	DRAINAGE AND MISC. DETAILS
C-4	EROSION CONTROL PLAN
L1	LANDSCAPE PLAN
A0.0	GENERAL NOTES
A0.1	SITE DEMO AND TREE PROTECTION.
A0.2	GREENPOINT RATED CHECKLIST
A1.0	FLOOR AREA DIAGRAMS
A2.1	PROPOSED FIRST FLOOR PLAN
A2.2	PROPOSED SECOND FLOOR PLAN
A3.1	PROPOSED EXTERIOR ELEVATIONS
A3.2	PROPOSED EXTERIOR ELEVATIONS
A4.1	PROPOSED SECTIONS
A6.1	NEIGHBORHOOD PHOTOGRAPHS
A6.2	SHADOW STUDY
A6.3	SCHEMATIC NEIGHBORHOOD ELEVATIONS

- NOTES:
- A. ROOF RAINWATER LEADERS ARE TO BE DISCHARGED ONTO SPLASH BLOCKS AND DIRECTED INTO LANDSCAPED AREAS.
 - B. A SANITARY SEWER LATERAL CLEAN-OUT SHALL BE INSTALLED AT THE PROPERTY LINE. IF ONE DOES NOT ALREADY EXIST WITHIN TWO FEET OF THE PROPERTY LINE.
 - C. ALL EXTERIOR LIGHTING WILL BE DOWNWARD DIRECTED.
 - D. FIRE SPRINKLER SYSTEM WILL BE PROVIDED AND INSTALLED PER NFPA 13D 2016 ADDITION.
 - E. PROJECT SIGN SHALL BE ORIENTED TOWARDS THE STREET, WITHIN 1' OF PROPERTY LINE OR 2' OF THE BACK OF SIDEWALK. THE TOP OF THE SIGN SHALL BE 5' FROM (E) GRADE.



1 PROPOSED SITE/ROOF PLAN
Scale: 1/8"=1'-0"

PLANNING SET 7/18/2019

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NO.	DESCRIPTION	DATE	BY
1	RESPONSES TO PLAN CHECK COMMENTS	03/26/2019	LL
2	RESPONSES TO PLAN CHECK COMMENTS	05/10/2019	LL

SHEET TITLE:
COVER SHEET

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

DRAWINGS PROVIDED BY:
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1794 The Alameda, San Jose, CA 95126
P: (408) 295-7516
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DATE:
12/17/2018

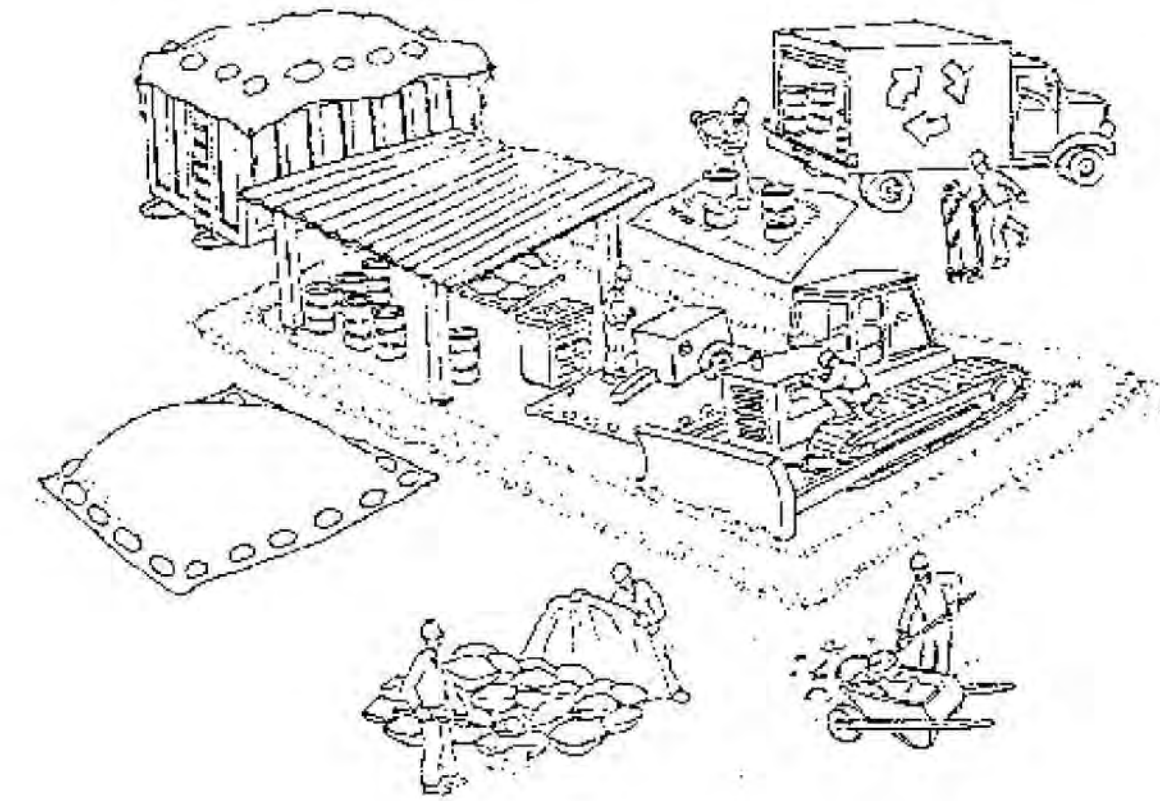
SCALE:
As shown

DRAWN BY:
LL / JW

SHEET:

CS

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

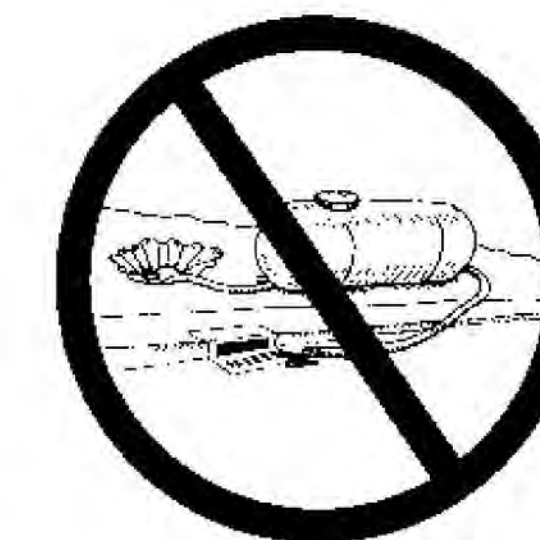
Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.



- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.

- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

Paving/asphalt work



- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and man-holes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.

Painting



- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

NO.	DESCRIPTION	BY	DATE

SHEET TITLE: BLUEPRINT FOR A CLEAN BAY

PROJECT DESCRIPTION: Coulson Residence 16336 Shady View Ln Los Gatos, CA 95032

DRAWINGS PROVIDED BY: DeMatti Construction, Inc. 1794 The Alameda, San Jose CA, 95126 P: (408) 295-7516 F: (408) 286-6589 LIC.# B-476455

DATE: 12/17/2018
SCALE: As shown
DRAWN BY: LL / JW
SHEET:

SURVEYOR'S NOTES:

- DATE OF SURVEY: SEPTEMBER, 2018.
- UTILITIES FOUND ARE BASED UPON SURFACE EVIDENT FINDINGS. RECORDS OF UTILITIES WERE NOT UTILIZED FOR THIS SURVEY
- TREES SHOWN ARE THOSE OF SIZE SIGNIFICANCE. THE SITE CONTAINS OTHER TREES UNDER 6" AND ARE NOT SHOWN FOR MAP CLARITY. TREE CLASSIFICATIONS ARE TO THE BEST KNOWLEDGE OF THE SURVEYOR. AN ARBORIST MUST SPECIFY ACTUAL TREE TYPE. TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
- MAIN STRUCTURE AND APPURTENANT STRUCTURES ARE BASED UPON THE BEST EFFORTS OF THE SURVEY CREW. SOME ELEMENTS MAY BE MISSING AND CHECKS BY THE ARCHITECTS OFFICE WILL BE NECESSARY BEFORE DESIGN WORK.
- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
- PROPERTY CORNERS WERE NOT SET IN CONJUNCTION WITH THIS SURVEY.
- ASSESSOR'S PARCEL NUMBER: 532-03-034
- TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
- DIMENSIONS FROM HOUSE TO PROPERTY LINE ARE MEASURED FROM THE BUILDING FACE OF THE STRUCTURE PERPENDICULAR TO THE PROPERTY LINES



ABBREVIATIONS

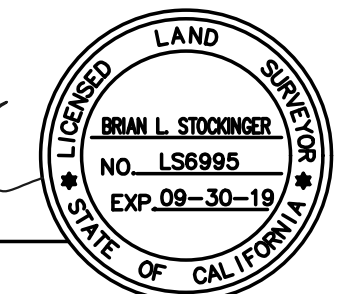
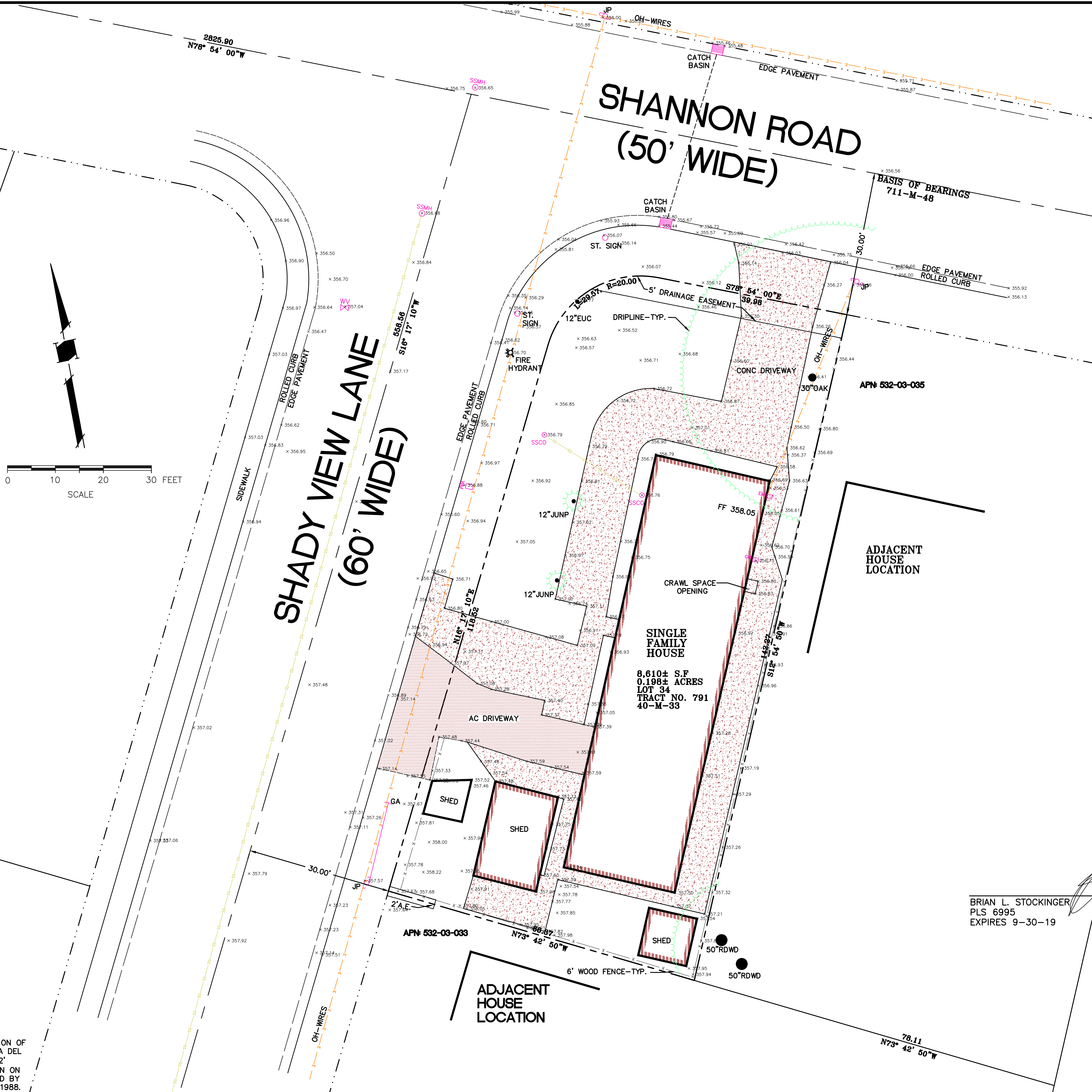
- FL FLOWLINE
- TC TOP OF CURB
- EP EDGE OF PAVEMENT
- CONC CONCRETE
- LIP LIP OF GUTTER
- GS GROUND SHOT
- AD AREA DRAIN
- TC TOP OF CURB
- FF FINISH FLOOR
- BSL BUILDING SETBACK LINE

LEGEND

- SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- FENCE LINE
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- JOINT POLE
- GUY ANCHOR
- TREE, SIZE AND TYPE AS NOTED
- GAS LINE
- WATER LINE
- CONCRETE
- GAS METER

BENCHMARK

TOWN OF LOS GATOS
 BM NO. LG43
 LOCATED AT THE INTERSECTION OF VISTA DEL MONTE AND VISTA DEL CAMPO. ELEVATION = 384.42' (NGVD29) ELEVATIONS SHOWN ON THIS MAP HAVE BEEN RAISED BY 2.72 FEET TO BE ON NAVD 1988.



BRIAN L. STOCKINGER
 PLS 6995
 EXPIRES 9-30-19



NMR ENGINEERING
 CIVIL ENGINEER
 505 WEBBIDGE DRIVE
 SAN JOSE, CALIFORNIA 95128
 (408) 348-7893

16336 SHANNON ROAD

LOS GATOS, CA.

CALIFORNIA

SAN CLARA COUNTY

APN 532-03-034

TOPOGRAPHIC SURVEY

REVISIONS BY

JOB NO:

DATE: 9-28-2018

SCALE: 1"=10'

DRAWN BY: NR

SHEET NO:

1

OF 1 SHEETS

STANDARD GRADING NOTES

- ALL WORK SHALL CONFORM TO CHAPTER 12 OF THE TOWN OF LOS GATOS GRADING ORDINANCE, THE ADOPTED CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION EXCEPT AS SPECIFIED OTHERWISE ON THESE PLANS AND DETAILS.
- NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030
- A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE DEPARTMENT OF PARKS AND PUBLIC WORKS PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT 408.399.5771 AT LEAST 48 HOURS PRIOR TO ANY GRADING OR ONSITE WORK. THIS MEETING SHOULD INCLUDE:
 - A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS.
 - ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
- APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO BE DISPOSED OF AT APPROVED LOCATION(S).
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF 48 HOURS BUT NOT MORE THAN 14 DAYS PRIOR TO COMMENCING ALL WORK.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
- THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, FOR THE FOLLOWING ITEMS:
 - RETAINING WALL--TOP OF WALL ELEVATIONS AND LOCATIONS (ALL WALLS TO BE PERMITTED SEPARATELY AND APPLIED FOR AT THE TOWN OF LOS GATOS BUILDING DEPARTMENT).
 - TOE AND TOP OF CUT AND FILL SLOPES

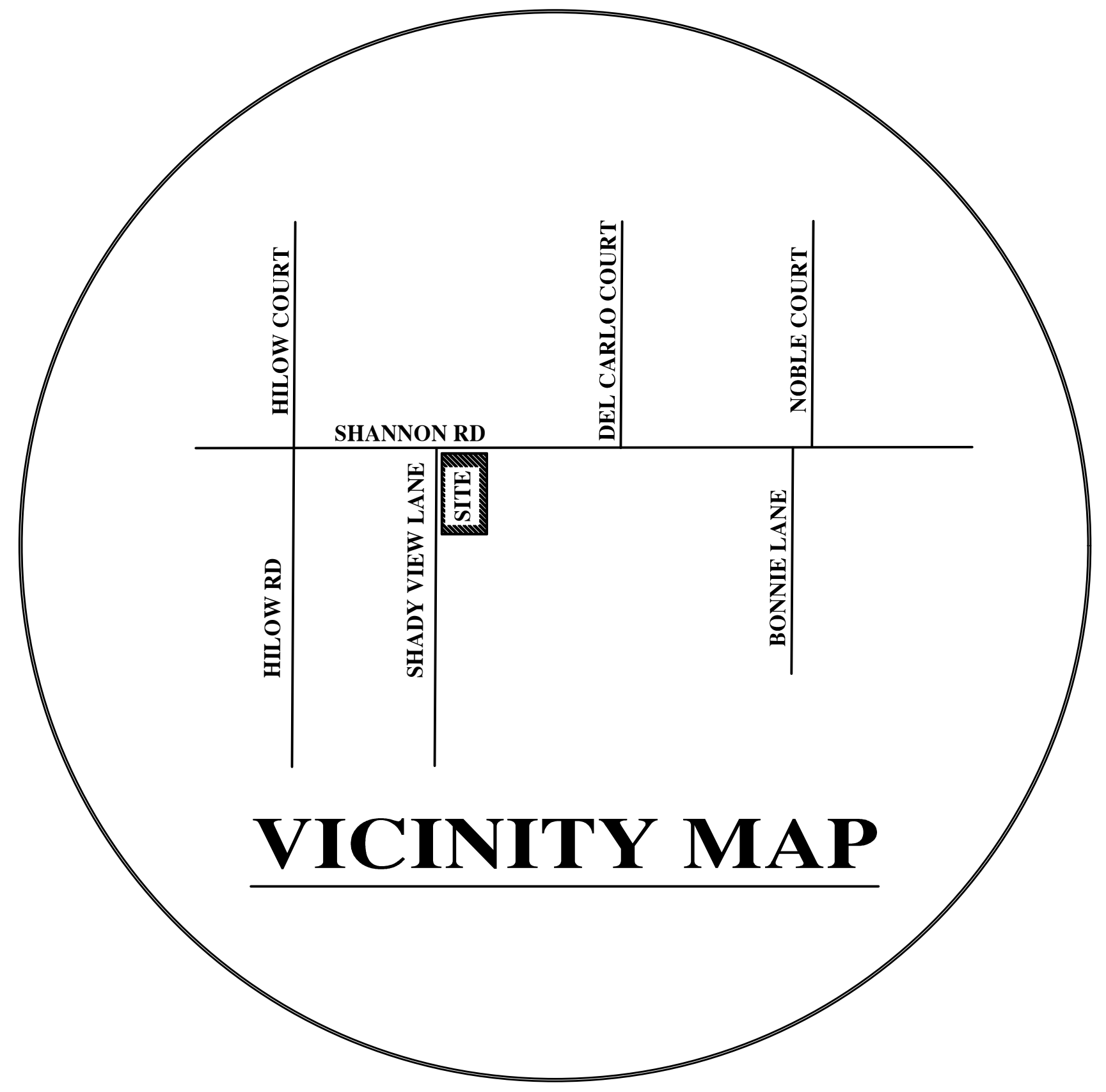
- THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHOULD BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANTS' SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
- ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVE-ABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE WEEK IN ADVANCE OF CLOSURE AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND/PROTECTION TO THE PUBLIC AT ALL TIMES.
- OWNER/APPLICANT: _____ PHONE: _____
- GENERAL CONTRACTOR (IF AVAILABLE): _____ PHONE: _____
- GRADING CONTRACTOR (IF AVAILABLE): _____ PHONE: _____
- A. CUT: $\frac{55}{3}$ CY EXPORT: $\frac{52}{0}$
B. FILL: _____ CY IMPORT: _____
- WATER SHALL BE AVAILABLE ON THE SITE AT ALL TIMES DURING GRADING OPERATIONS TO PROPERLY MAINTAIN DUST CONTROL.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHALL BE REQUIRED. TREE REMOVAL PERMITS ARE REQUIRED PRIOR TO THE APPROVAL OF ALL PLANS.
- A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.
- NO CROSS LOT DRAINAGE WILL BE PERMITTED WITHOUT SATISFACTORY STORM WATER ACCEPTANCE DEED/FACILITIES. ALL DRAINAGE SHALL BE DIRECTED TO THE STREET OR OTHER ACCEPTABLE DRAINAGE FACILITY VIA A NON-EROSIVE METHOD AS APPROVED BY THE TOWN ENGINEER.
- IT IS THE RESPONSIBILITY OF CONTRACTOR AND/OR OWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM DRAINS.
- GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.
- GRADING SHALL BE UNDERTAKEN IN ACCORDANCE WITH CONDITIONS AND REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION CONTROL PLAN AND/OR STORM WATER POLLUTION PREVENTION PLAN, THE TOWN OF LOS GATOS STORM WATER QUALITY MANAGEMENT PROGRAM, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND ANY OTHER PERMITS/REQUIREMENTS ISSUED BY THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD. PLANS (INCLUDING ALL UPDATES) SHALL BE ONSITE AT ALL TIMES. NO DIRECT STORM WATER DISCHARGES FROM DEVELOPMENT WILL BE ALLOWED ONTO TOWN STREETS OR ONTO THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHODS. MAINTENANCE OF PRIVATE STORM WATER POLLUTION PREVENTION DEVICES SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. DISCHARGES OR CONNECTION WITHOUT TREATMENT BY AN APPROVED AND ADEQUATELY OPERATING STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHOD SHALL BE CONSIDERED A VIOLATION OF THE ABOVE REFERENCED PERMIT AND THE TOWN OF LOS GATOS STORMWATER ORDINANCE.

UTILITY NOTES:

- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- CONNECT SANITARY SEWER AND WATER LINE TO EXISTING STREET SERVICES.
- CONNECT GAS AND ELECTRIC LINES TO EXISTING GAS AND POWER SERVICES, PER PG&E STANDARDS.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- USE A COMBINATION OF BATTERY OPERATED/GENERATOR AND POWER OPERATED SUMP PUMPS TO ASSURE THEIR OPERATION IN CASE OF POWER FAILURE.

GENERAL NOTES:

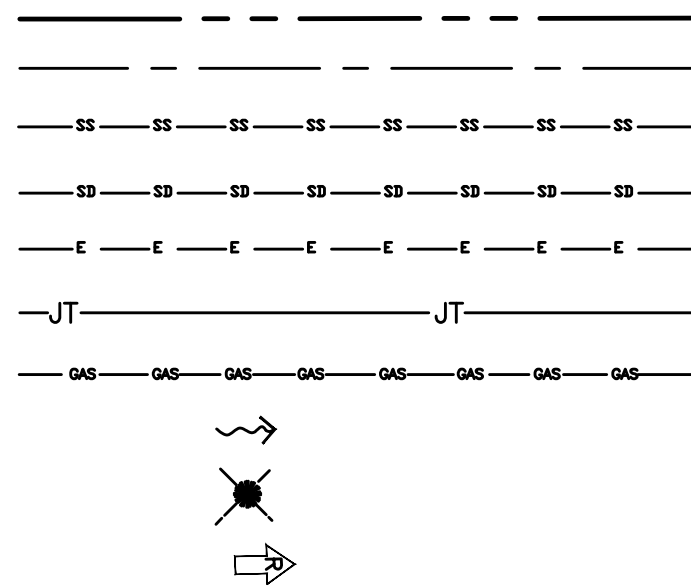
- EXCAVATION CUTS EXCEEDING 5 FEET TYPICALLY REQUIRE A DOSH PERMIT. ALL EXCAVATIONS MUST CONFORM TO APPLICABLE OSHA AND CAL-OSHA REQUIREMENTS. CONTACT CALIFORNIA DEPARTMENT OF OCCUPATIONAL SAFETY AND HEALTH (DOSH) FOR INFORMATION ABOUT REQUIRED PERMITS. DOSH'S LOCAL OFFICE: (510) 794-2521.
- PRIOR TO REQUESTING A FOUNDATION INSPECTIONS BY THE CITY, THE GEOTECHNICAL ENGINEER OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL PROVIDE A FIELD REPORT (IN WRITING) WHICH SHALL STATE THE FOLLOWING:
 - THE BUILDING PAD WAS PREPARED AND COMPACTED IN ACCORDANCE WITH THE SOIL REPORT AND SPECIFICATIONS.
 - THE FOUNDATION AND/OR PIER EXCAVATION, DEPTH AND BACKFILL MATERIALS, AND DRAINAGE (IF APPLICABLE) SUBSTANTIALLY CONFORM TO THE SOIL REPORT AND APPROVED PLANS.
- PRIOR TO FINAL INSPECTION FOR ANY BUILDING OR STRUCTURE, THE GEOTECHNICAL ENGINEER OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL ISSUE A FINAL REPORT STATING THE COMPLETED PAD, FOUNDATION, FINISH GRADING, AND ASSOCIATED SITE WORK SUBSTANTIALLY CONFORM TO THE APPROVED PLANS, SPECIFICATIONS, AND INVESTIGATION.



DESCRIPTION

- PROPERTY LINE
- CENTERLINE
- SANITARY SEWER
- STORM DRAIN LINE
- ELECTRICAL LINE
- JOINT TRENCH
- GAS LINE
- DRAINAGE FLOW
- REMOVE TREE
- OVERLAND RELEASE

LEGEND



ABBREVIATION

- AD AREA DRAIN
- CO CLEAN-OUT
- (E) EXISTING
- FG FINISH GRADE
- FL FLOW LINE
- FS FINISH SLAB
- INV INVERT
- (N) NEW
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEANOUT
- SD STORM DRAIN

IMPERVIOUS COVERAGE (S.F.)

	EXISTING	REPLACED	NEW
BUILDINGS	2,552	1,359	1,327
DRIVEWAY/WALKS	2,971	328	148
POOL			351
TOTAL	5,523	1,687	1,826

TOTAL NEW & REPLACED IMPERVIOUS AREA=3,513 S.F.

SHEET INDEX

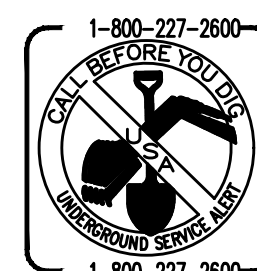
COVER SHEET	C-1
GRADING AND DRAINAGE PLAN	C-2
CROSS SECTIONS AND MISC. DETAILS	C-3
EROSION CONTROL PLAN	C-4
'BLUEPRINT FOR A CLEAN BAY' SHEET	

BASIS OF BEARINGS

THE BEARING OF NORTH 78° 48' 05" WEST ALONG THE CENTERLINE OF SHANNON ROAD AS SHOWN ON TRACT NO. 1849 SHANNON TERRACE, FILED FOR RECORD IN BOOK 76 OF MAPS AT PAGE 6, SANTA CLARA COUNTY RECORDS WAS TAKEN AS THE BASIS OF BEARINGS SHOWN HEREON.

BENCHMARK

TOWN OF LOS GATOS
BM NO. LG43
LOCATED AT THE INTERSECTION OF VISTA DEL MONTE AND VISTA DEL CAMPO. ELEVATION = 384.42'
(NGVD29) ELEVATIONS SHOWN ON THIS MAP HAVE BEEN RAISED BY 1.72 FEET TO BE ON NAVD 1988.



NOTICE TO CONTRACTORS

CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.

THE PROJECT GEOTECHNICAL REPORT PREPARED BY:

EARTH WORK NOTE:

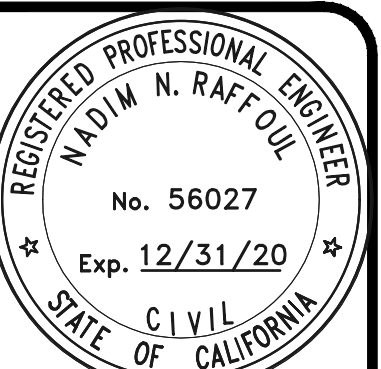
THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SOILS ENGINEER'S RECOMMENDATIONS ON STRIPPING AND SITE PREPARATION FOR ALL PERTINENT GRADING, PAVING AND TRENCH BACKFILL ON THIS SITE.

NOTE:

THE QUANTITIES ARE SHOWN FOR THE PURPOSE OF GRADING PERMIT APPROVAL FROM THE TOWN OF LOS GATOS PUBLIC WORKS AND ARE NOT TO BE USED FOR PAYMENT TO THE CONTRACTOR. CONTRACTOR SHALL ESTABLISH HIS OWN QUANTITIES.

NOTE: NO GRADING REQUIRED EXCEPT FOR CRAWLSPACE & FOUNDATION EXCAVATION & FOR SHAPING FINAL GRADES FOR PROPER DRAINAGE

APPROXIMATE GRADING QUANTITIES (CU. YDS.)				
LOCATION	CUT	DEPTH	FILL	DEPTH
HOUSE	50	1'	0	0
SITE	5	0	3	0.5'
TOTAL	55		3	



NNR ENGINEERING
CIVIL ENGINEERS
535 WETTERIDGE DRIVE
SAN JOSE, CALIFORNIA 95123
(408) 948-7983

16336 SHADY VIEW LANE
LOS GATOS, CA.
SAN CLARA COUNTY
AFN 502-03-034
CALIFORNIA

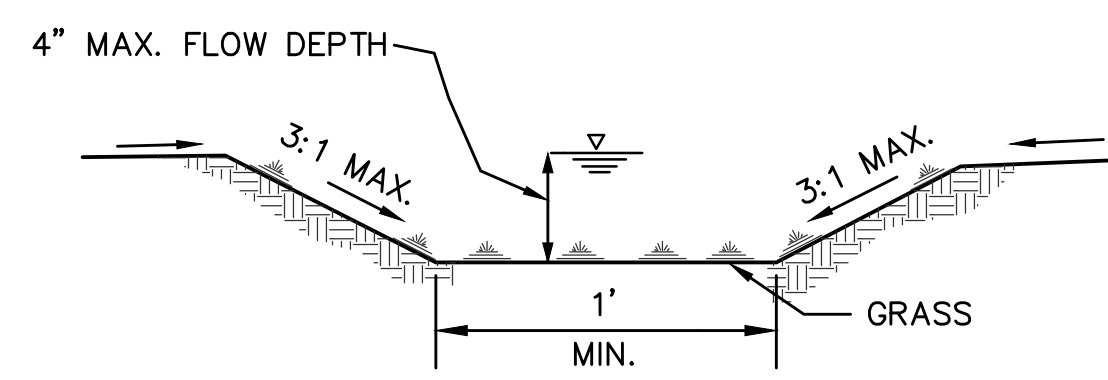
COVER SHEET

REVISIONS	BY

JOB NO:
DATE: 12-2-2018
SCALE: N.T.S.
DRAWN BY: NR
SHEET NO:

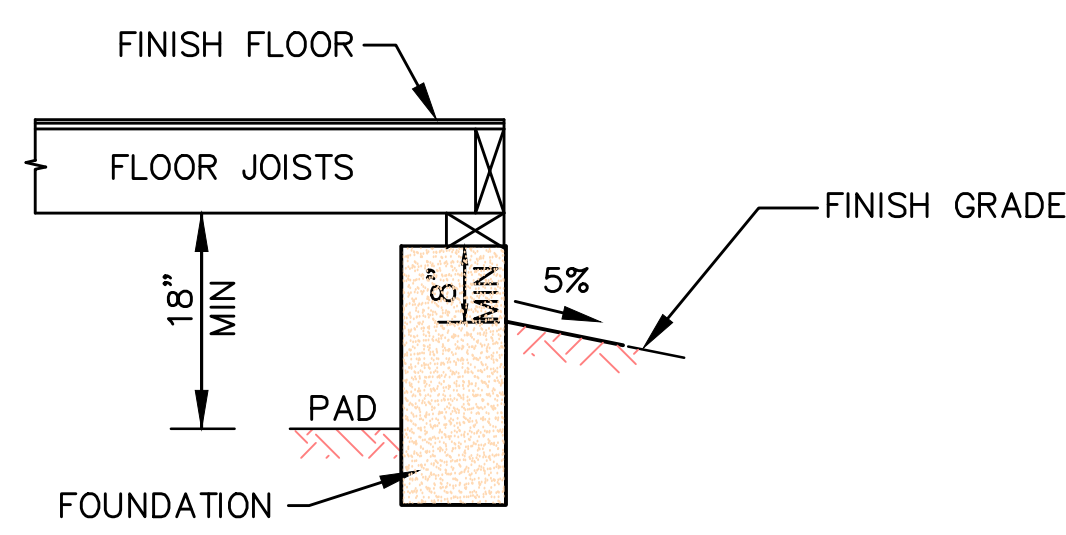
GRADING AND DRAINAGE CONSTRUCTION NOTES:

- 1 DIRECT ROOF DOWNSPOUT LEADERS TO APPROVED SPLASH BLOCKS (2' LENGTH MIN.), DIRECT AWAY FROM BUILDING FOR POSITIVE FLOW, & TOWARDS PERVIOUS AREA OF THE SITE -TYP. (SEE DETAIL)
- 2 DIRECT SURFACE FLOW DRAINAGE AWAY FROM BUILDING AT 2% SLOPE FOR PAVED AREAS AND SLOPE 5% FOR AT LEAST 4 FEET WHERE POSSIBLE, FOR NON-PAVED (DIRT & LANDSCAPE) AREAS.
- 3 4" SDR-26 SS. LAT. @ 2% MIN.
- 4 (N) WATER METER LINE (DESIGN BY OTHERS). CONNECT TO EXISTING WATER METER PER TOWN AND WATER DISTRICT REQUIREMENTS.
- 5 APPROXIMATE LOCATION OF JOINT TRENCH TRENCH INCLUDES: ALL GAS/ELECTRIC LINES, COMMUNICATIONS LINES AND APPURTENANCES, INCLUDING ALL PUBLIC UTILITY, CATV AND TELEGRAPH SYSTEMS, SHALL BE LOCATED AND INSTALLED UNDERGROUND.
- 6 GRASSY SWALE @ S=2%.
- 7 6" PVC (SDR-35) @ S=0.5% MIN.
- 8 REMOVE EXISTING SEWER CLEANOUT.
- 10 10'X6'X4.5' GRAVEL BASIN, SEE DETAIL.
- 11 (N) WATER METER.
- 12 APPROXIMATE LOCATION OF ROOF DOWNSPOUT, SEE ARCHITECTURAL PLANS FOR EXACT LOCATION.
- 13 (N) INFILTRATION DEVICE (CHRISTY V-24) WITHOUT BOTTOM.
- 14 4" PVC (SDR-35) @ S=1% MIN FOR CRAWL SPACE DRAINAGE.
- 15 1 1/2" PRESSURE DISCHARGE LINE.
- 16 APPROX. LOCATION OF 4" PERFORATED PIPE @ S=1% MIN. FOOTING DRAIN- TYP. (SEE DETAIL)
- 17 PROVIDE DEDICATED SUB DRAINAGE SUMP WITH PUMP. PUMP TO DISCHARGE AT BUBBLER PROVIDE BACKFLOW PREVENTION DEVICE ON DISCHARGE LINE. BACKUP POWER IS RECOMMENDED.
- 18 FOOTING DRAIN CLEAN-OUT- TYP. (SEE DETAIL).
- 19 REMOVE EXISTING STRUCTURE



GRASSY SWALE DETAIL

N.T.S.



NOTE
* PAD ELEVATION IS FOR INFORMATION ONLY.

EXTERIOR GRADING DETAIL (TYP.)

N.T.S.

LEGEND:

⊖ AREA DRAIN (CHRISTY BOX V-1) OR EQUAL

▣ CATCH BASIN (CHRISTY BOX V-24) OR EQUAL

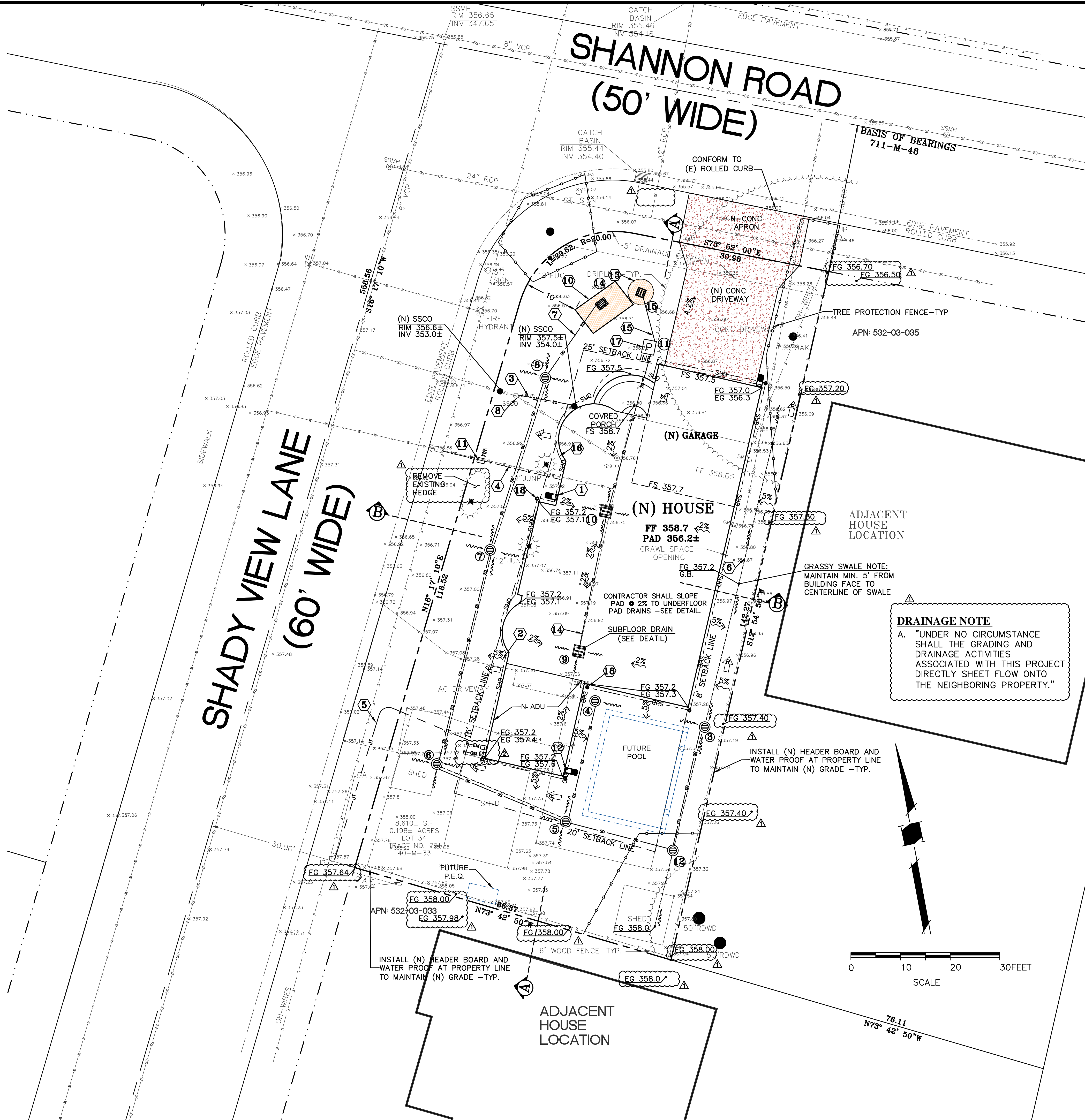
BENCHMARK

TOWN OF LOS GATOS
BM NO. LC43

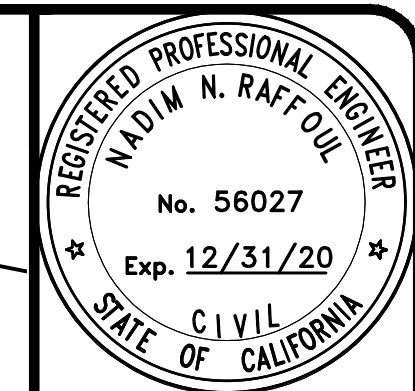
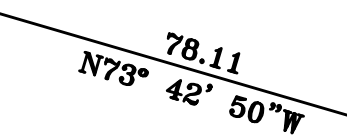
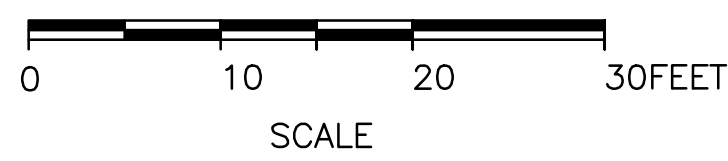
LOCATED AT THE INTERSECTION OF VISTA DEL MONTE AND VISTA DEL CAMPO. ELEVATION = 384.42' (NGVD29) ELEVATIONS SHOWN ON THIS MAP HAVE BEEN RAISED BY 2.72 FEET TO BE ON NAVD 1988.

DRAINAGE NOTE

- | | | |
|----------------------------------|---|-----------------------------------|
| 3 AD
RIM 356.9±
INV 355.0± | 8 AD
RIM 357.5±
INV 353.0± | 14 CB
RIM 356.5±
INV 352.0± |
| 4 CB
RIM 357.7±
INV 354.8± | 9 CB
RIM 356.0±
INV 354.7± | 15 CB
RIM 356.5±
INV 353.0± |
| 5 AD
RIM 357.7±
INV 354.3± | 10 AD
RIM 355.8±
INV 354.2± | |
| 6 AD
RIM 357.5±
INV 354.0± | 11 SUMP W/PUMP
RIM 357.5±
INV 353.0±
PUMP @ 353.7± | |
| 7 AD
RIM 357.5±
INV 353.5± | 12 AD
RIM 357.7±
INV 354.6± | |



DRAINAGE NOTE
A. "UNDER NO CIRCUMSTANCE SHALL THE GRADING AND DRAINAGE ACTIVITIES ASSOCIATED WITH THIS PROJECT DIRECTLY SHEET FLOW ONTO THE NEIGHBORING PROPERTY."



N.R. ENGINEERING
CIVIL ENGINEERS
585 WEDGEWOOD DRIVE
SAN JOSE, CALIFORNIA 95123
(408) 348-7893

16336 SHADY VIEW LANE
LOS GATOS, CA.
SAN CLARA COUNTY APN 532-03-034 CALIFORNIA

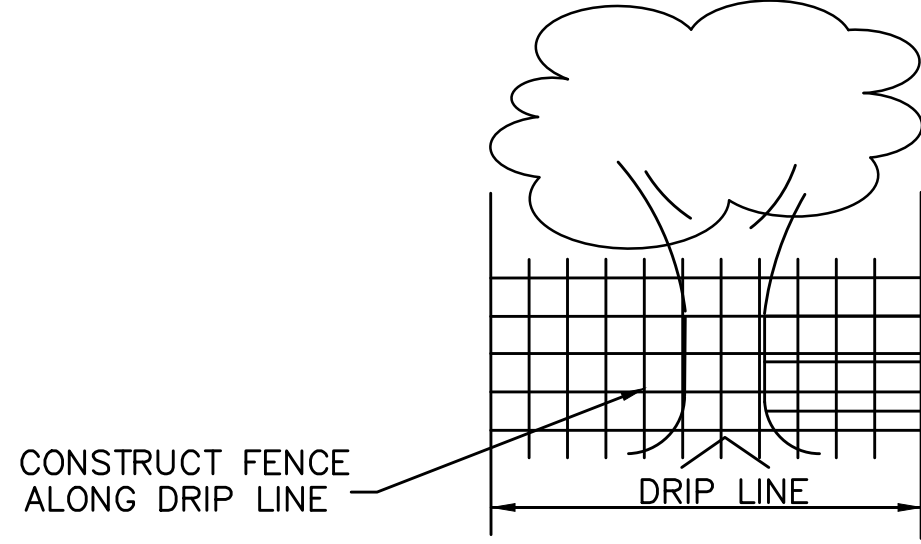
COMMENTS RESPONSE	DATE
	2/7/19
	5/15/19

REVISIONS	DATE

JOB NO:
DATE: 12-2-2018
SCALE: 1"=10'
DRAWN BY: NR
SHEET NO:

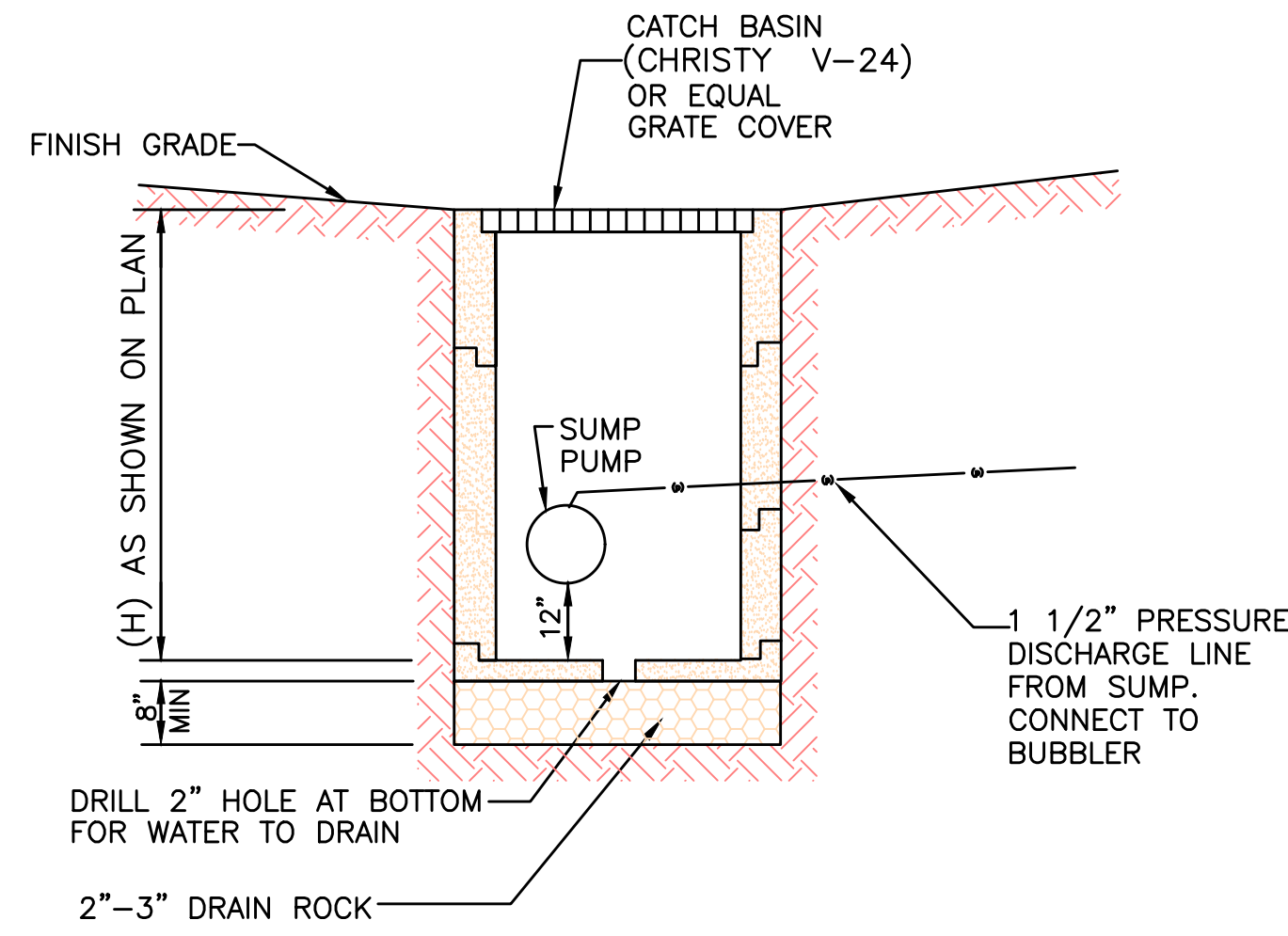
NOTES:

1. THE DEVELOPER SHALL INSTALL "THE PROTECTION DEVICE" PRIOR TO THE START OF GRADING OR CLEARING WORK.
2. THE CITY RESERVED THE RIGHT TO ISSUE A "STOP WORK" NOTICE IF THE "PROTECTIVE DEVICE" IS NOT INSTALLED.
3. ROLLED CHAIN LINK FENCE ON DRIVEN POST.
4. PLACE WOOD CHIP AROUND TREE AND ALONG DRIP LINE



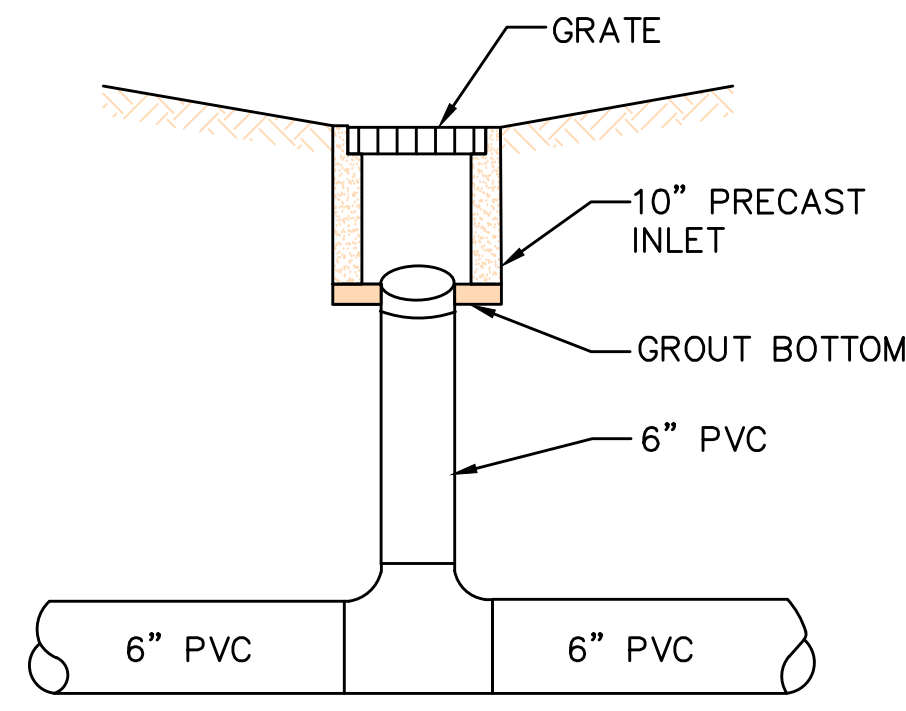
TREE PROTECTION DETAIL

N.T.S.



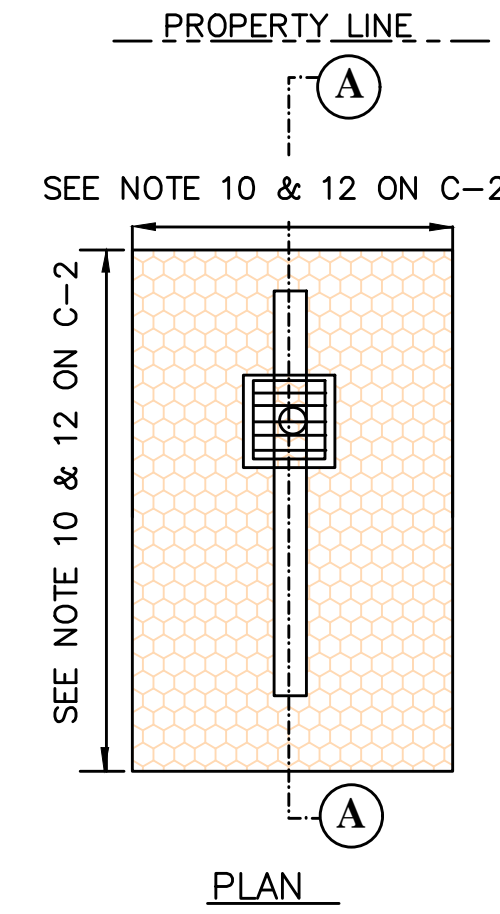
CATCH BASIN DETAIL

N.T.S.



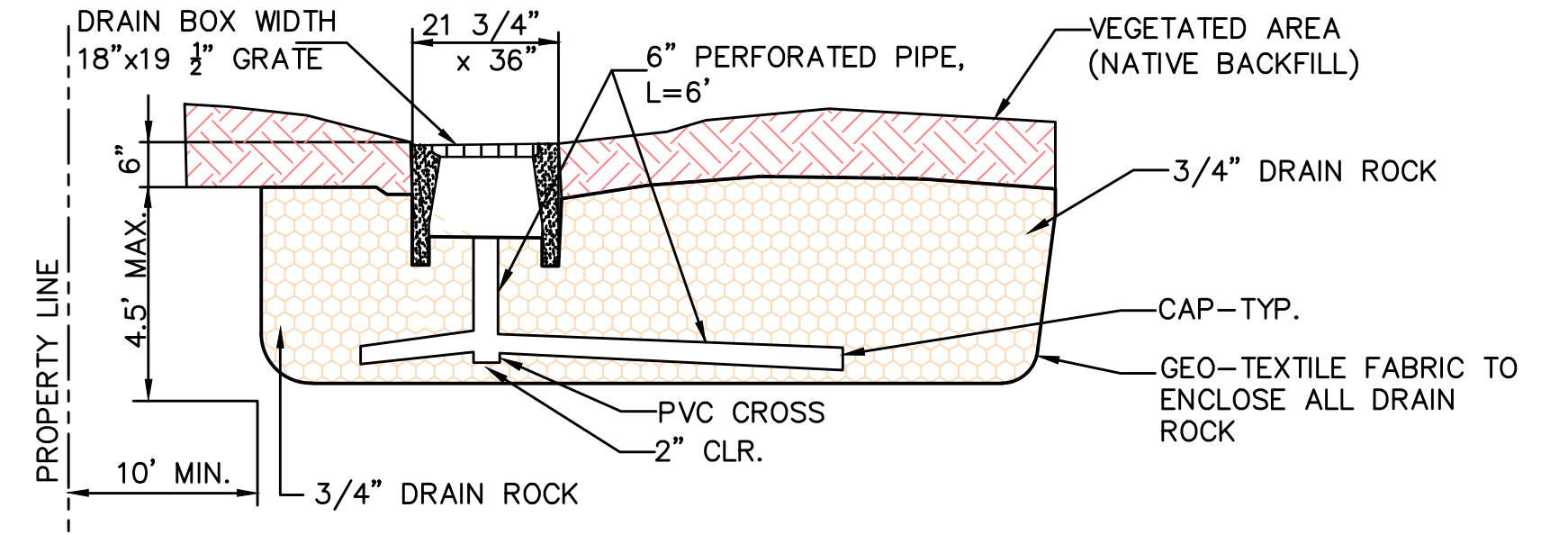
AREA DRAIN DETAIL

N.T.S.

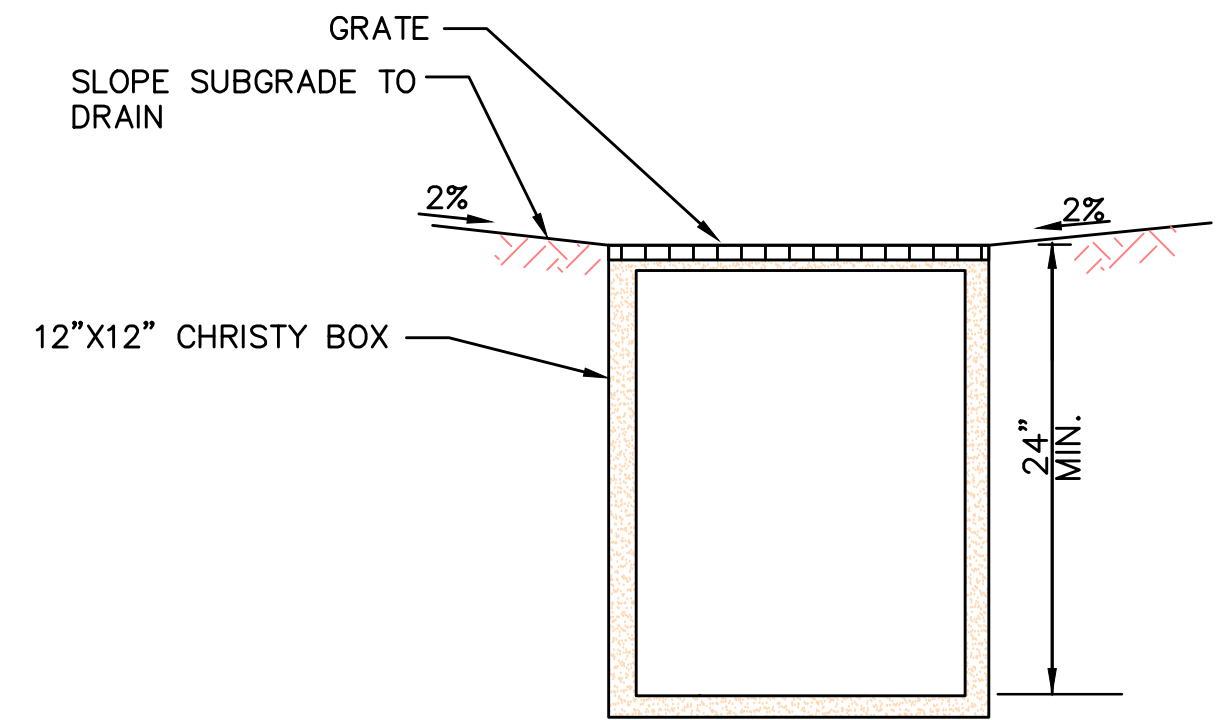


GRAVEL BASIN DETAIL

N.T.S.

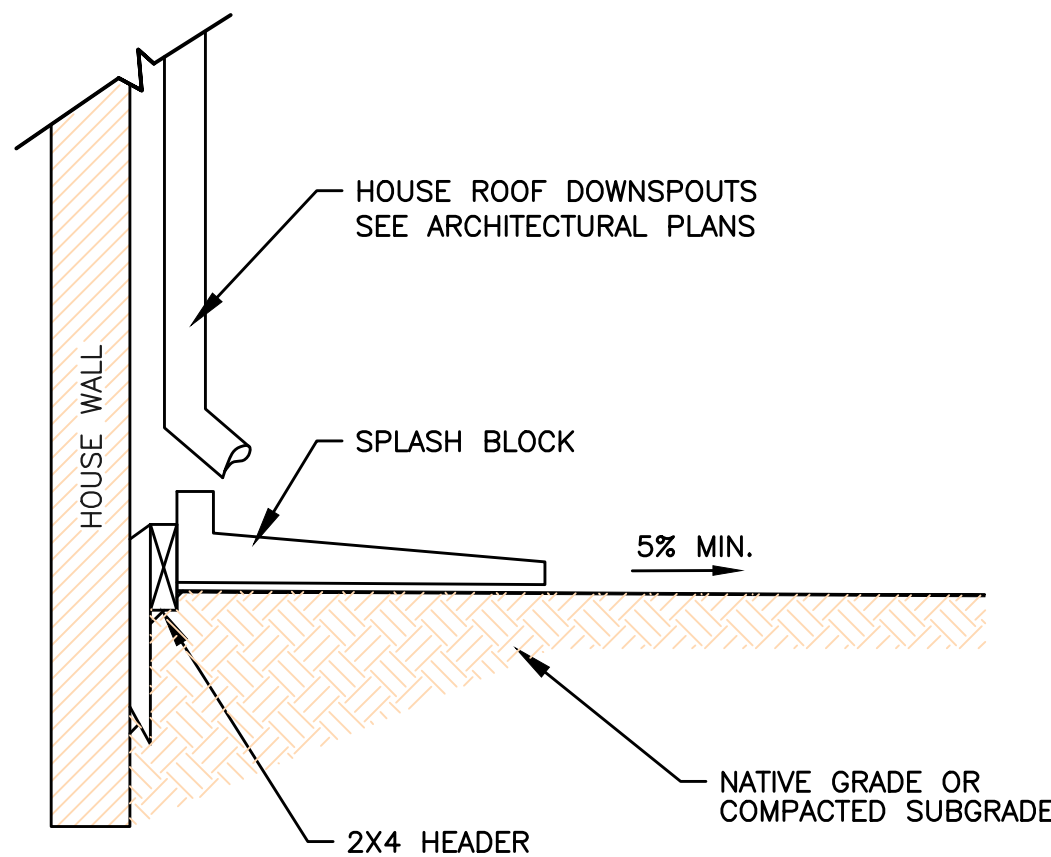


SECTION A-A



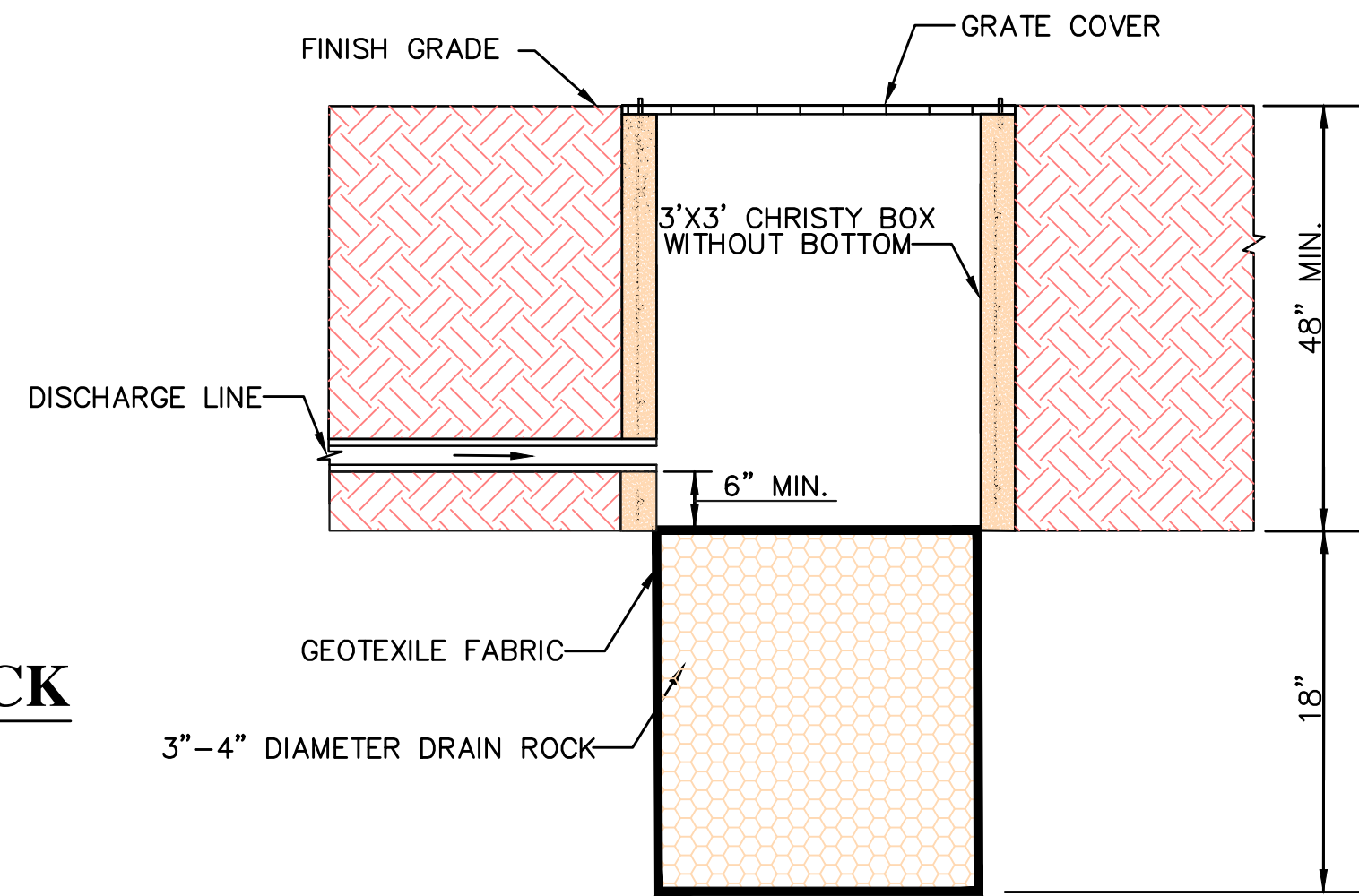
SUBFLOOR DRAIN DETAIL

N.T.S.



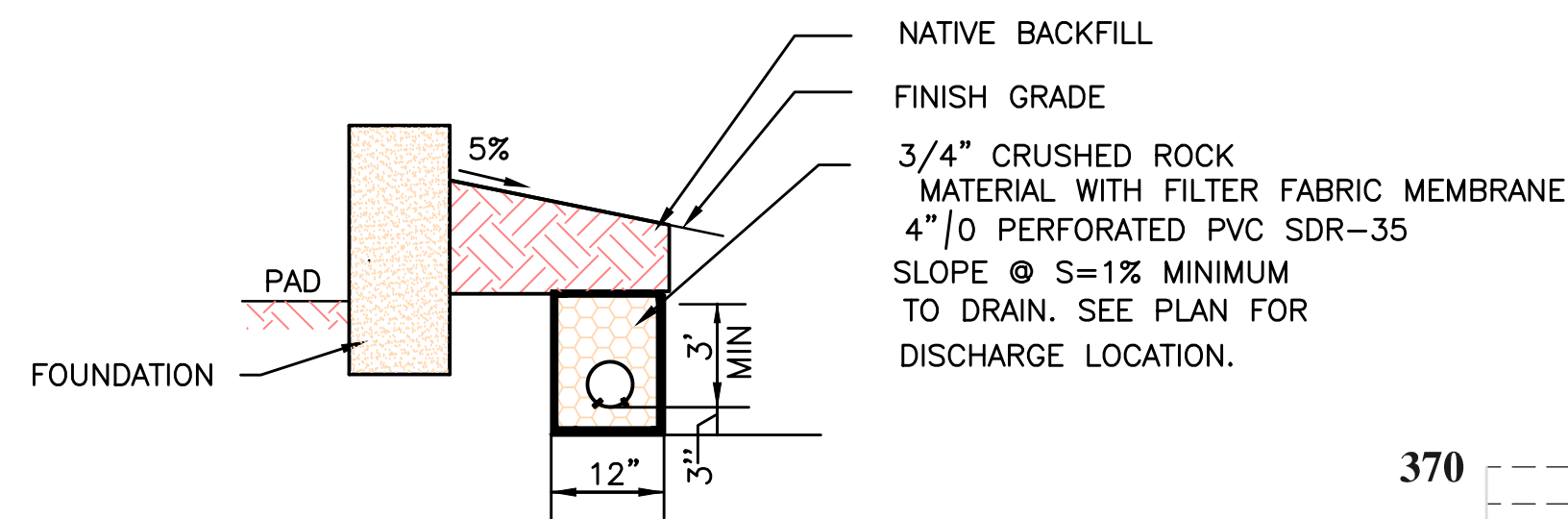
ROOF DOWNSPOUT/SPLASH BLOCK

N.T.S.



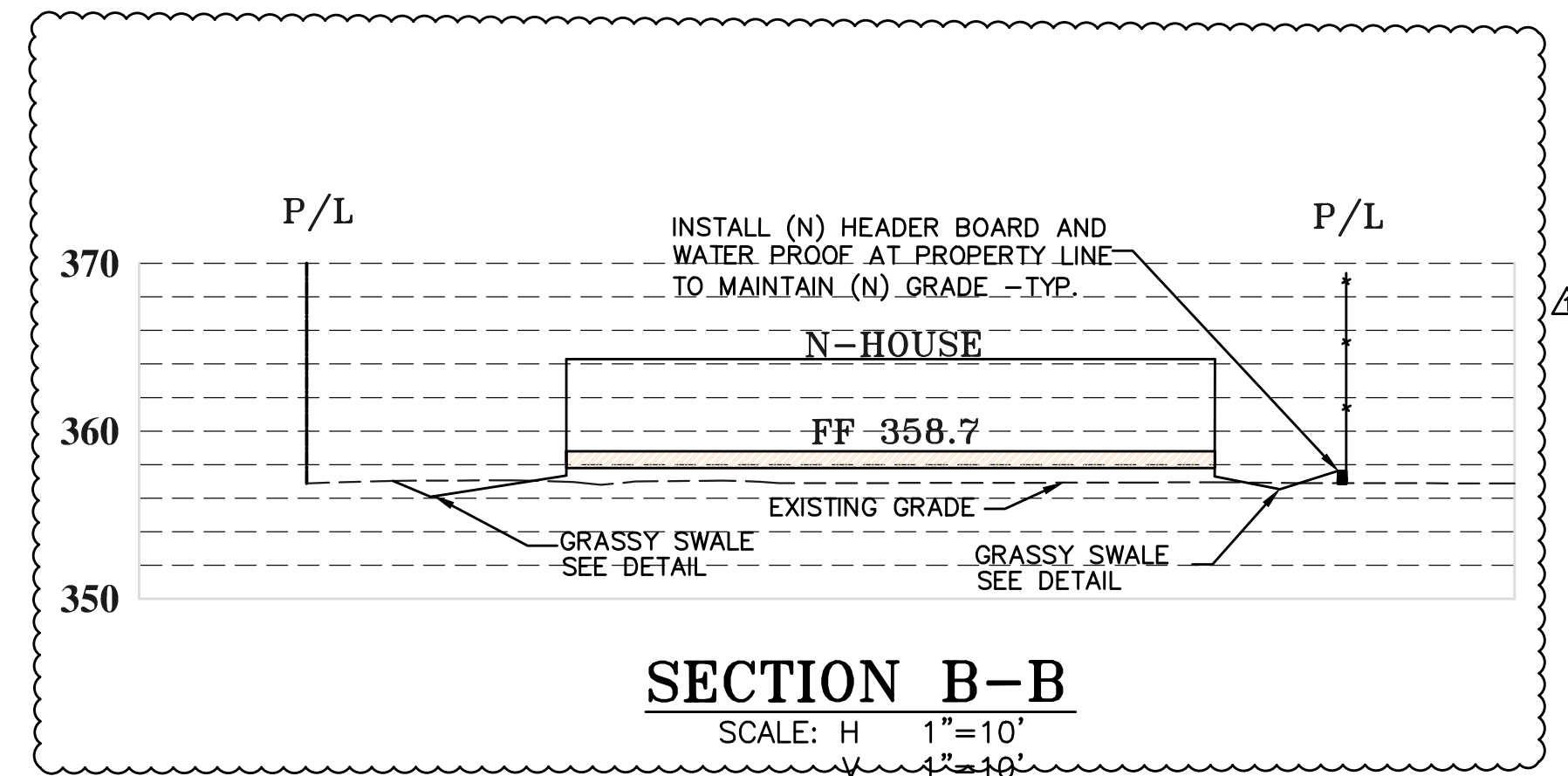
INFILTRATION DEVICE DETAIL

N.T.S.



FOOTING DRAINS SYSTEM

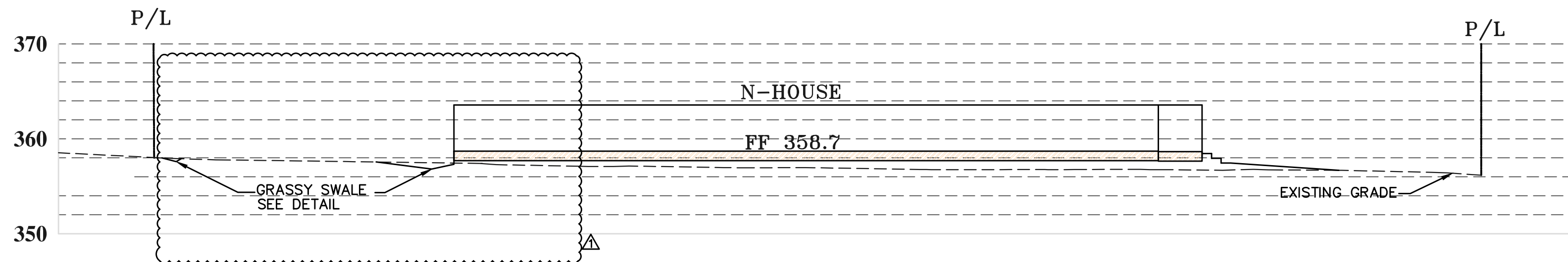
N.T.S.



SECTION B-B

SCALE: H 1"=10'

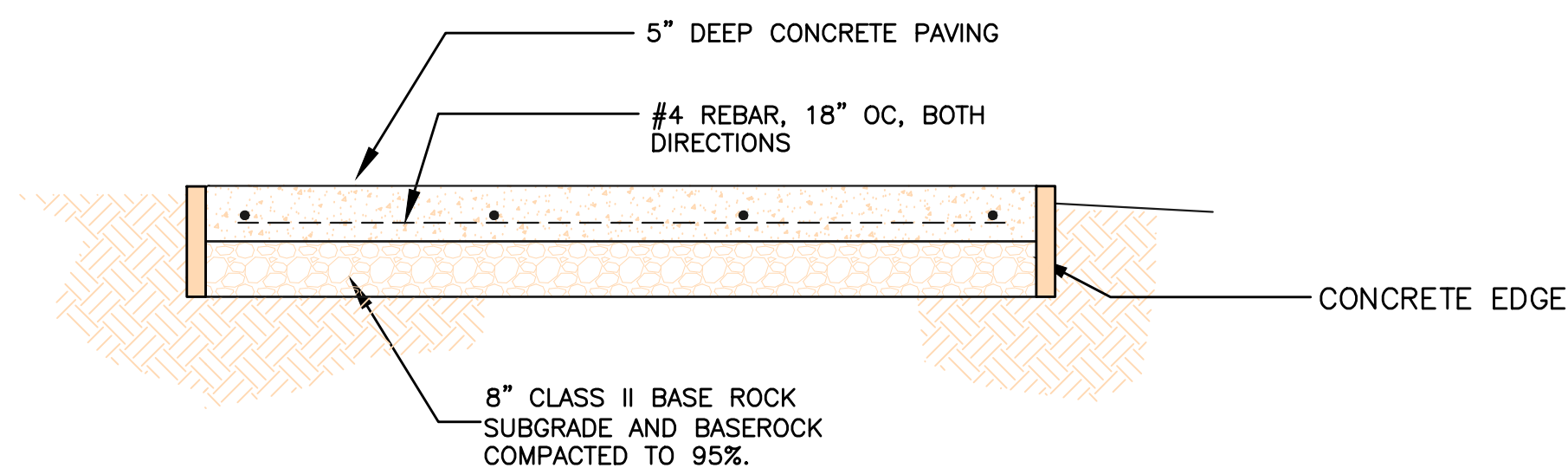
V 1/2"=10'



SECTION A-A

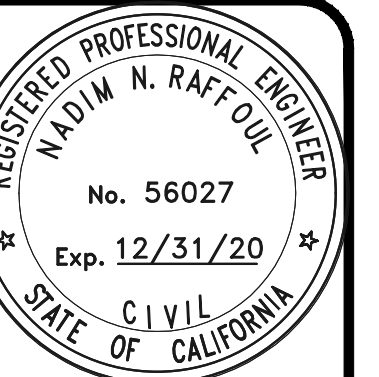
SCALE: H 1"=10'

V 1"=10'



CONCRETE DRIVEWAY-TYPICAL SECTION

N.T.S.



NMR ENGINEERING
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 535 WEDGEMORE DRIVE
 SAN JOSE, CALIFORNIA 95128
 (408) 348-7893

16336 SHADY VIEW LANE
 LOS GATOS, CA.
 SAN CLARA COUNTY APN 532-09-034
 CALIFORNIA

DRAINAGE AND MISC. DETAILS

RESPONSE TO TOWN COMMENTS	2/7/19
---------------------------	--------

REVISIONS DATE

JOB NO:

DATE: 12-2-2018

SCALE: AS SHOWN

DRAWN BY: NR

SHEET NO:

C-3

OF 4 SHEETS

STANDARD EROSION CONTROL NOTES:

1. EROSION CONTROL POINT OF CONTACT: CONTRACTOR TO PROVIDE AN EROSION CONTROL POINT OF CONTACT INCLUDING NAME, TITLE/QUALIFICATIONS, EMAIL, AND TWO PHONE NUMBERS. THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE TOWN MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.
2. PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
3. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDE AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
4. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
5. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
6. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
7. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
8. LIMIT DEMOLITION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
9. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
10. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
11. THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE ETC., SHALL NOT BE ENLARGED OR RUN OVER.
12. DEMOLITION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
13. DUST CONTROL IS REQUIRED YEAR-ROUND.
14. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
15. USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
16. THE TREE PROTECTION SHALL BE IN PLACE BEFORE ANY DEMOLITION OR GROUND DISTURBANCE IS STARTED.

NPDES NOTES

1. Sediment from areas disturbed by construction shall be retained on site using structural controls as required by the statewide General Construction Stormwater Permit.
2. Stockpiles of soil shall be properly contained to minimize sediment transport from the site to streets, drainage facilities or adjacent properties via runoff, vehicle tracking, or wind as required by the statewide General Construction Stormwater Permit.
3. Appropriate BMPs for construction-related materials, wastes, spill or residues shall be implemented to minimize transport from the site to streets, drainage facilities, or adjoining property by wind or runoff as required by the statewide General Construction Stormwater Permit.
4. Runoff from equipment and vehicle washing shall be contained at construction sites and must not be discharged to receiving waters or to the local storm drain system.
5. All construction contractor and subcontractor personnel are to be made aware of the required best management practices and good housekeeping measures for the project site and any associated construction staging areas.
6. At the end of each day of construction activity all construction debris and waste materials shall be collected and properly disposed in trash or recycle bins.
7. Construction sites shall be maintained in such a condition that a storm does not carry Wastes or pollutants off the site. Discharges of material other than stormwater (nonstormwater discharges) are prohibited except as authorized by an individual NPDES permit or the statewide General Construction Stormwater Permit. Potential pollutants include but are not limited to: solid or liquid chemical spills, wastes from paints, stains, sealants, solvents, detergents, glues, lime, pesticides, herbicides, fertilizers, wood preservatives and asbestos fibers, paint flakes or stucco fragments; fuels, oils, lubricants, and hydraulic, radiator or battery fluids, concrete and related cutting or curing residues; floatable wastes, wastes from engine/equipment steam cleaning or chemical degreasing; wastes from street cleaning, and superchlorinated potable water from line flushing and testing. During construction, disposal of such materials should occur in a specified and controlled temporary area on-site physically separated from potential stormwater runoff, with ultimate disposal in accordance with local, state and federal requirements.
8. Discharging contaminated groundwater produced by dewatering groundwater that has infiltrated into the construction site is prohibited. Discharging of contaminated soils via surface erosion is also prohibited. Discharging non-contaminated groundwater produced by dewatering activities requires a National Pollutant Discharge Elimination System (NPDES) permit from the respective State Regional Water Quality Control Board.

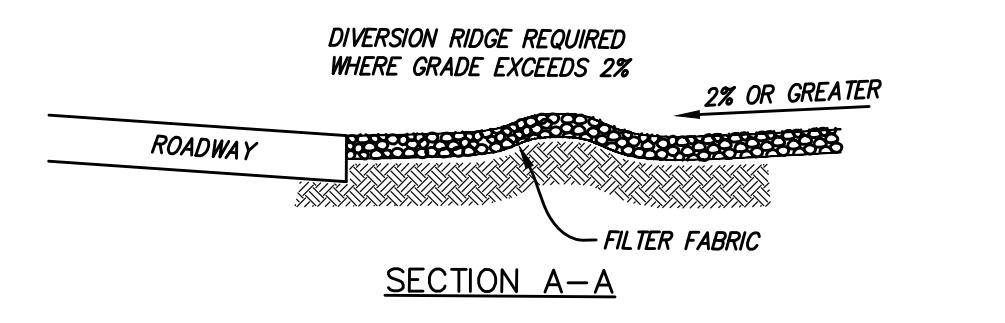
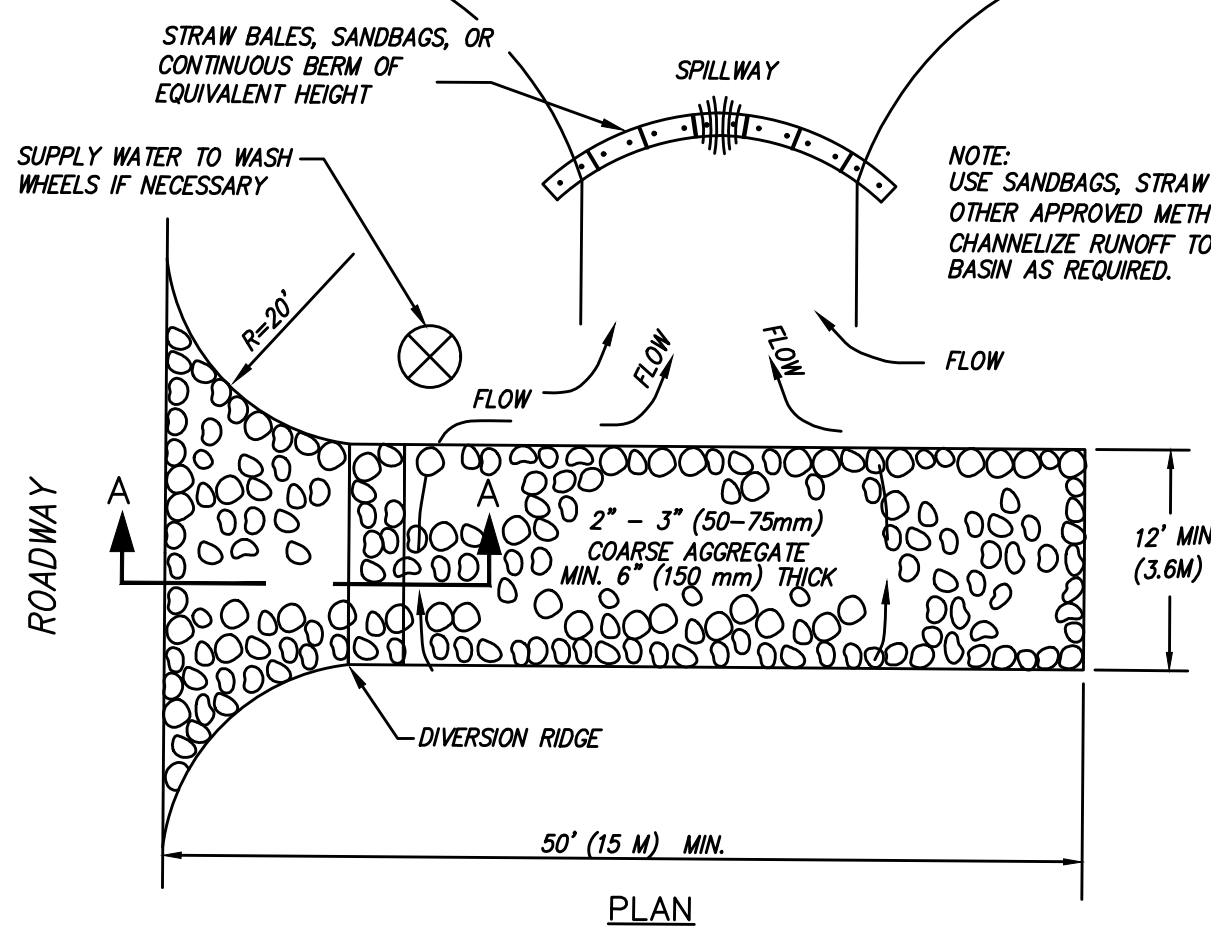
Last updated: 8/18/2011

NOTES:

1. PLACE FIBER ROLLS AROUND THE INLET CONSISTENT WITH BASIN SEDIMENT BARRIER DETAIL ON THIS SHEET. FIBER ROLLS ARE TUBES MADE FROM STRAW BOUND W/ PLASTIC NETTING. THEY ARE APPROX. 8" DIA. AND 20 - 30 FT. LONG.
2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 3" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.
3. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.

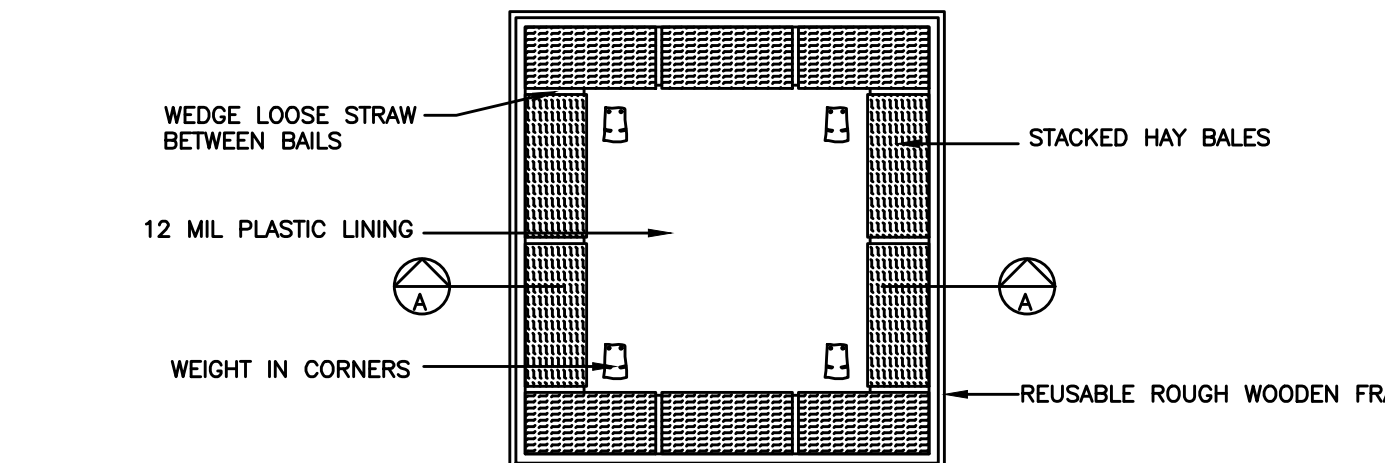
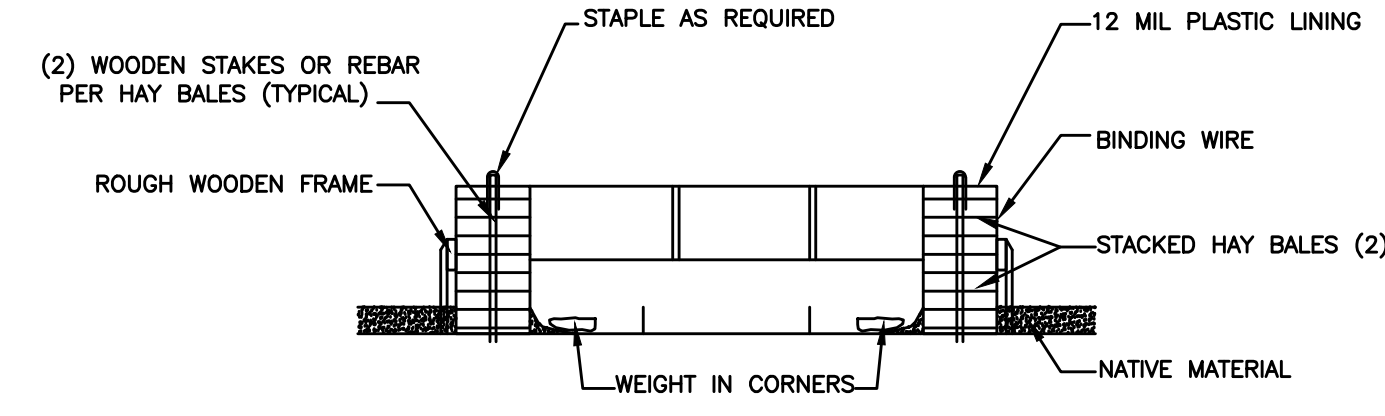
MAINTENANCE NOTES

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - F. RILLS AND GULLIES MUST BE REPAIRED.



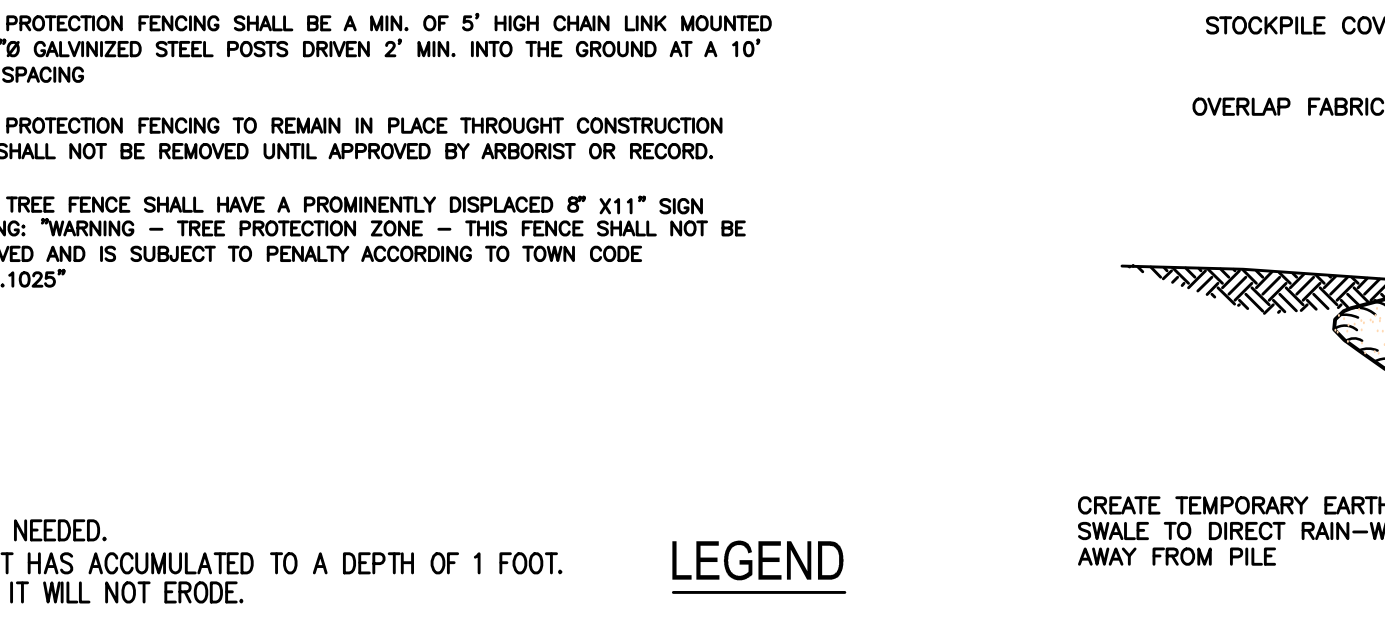
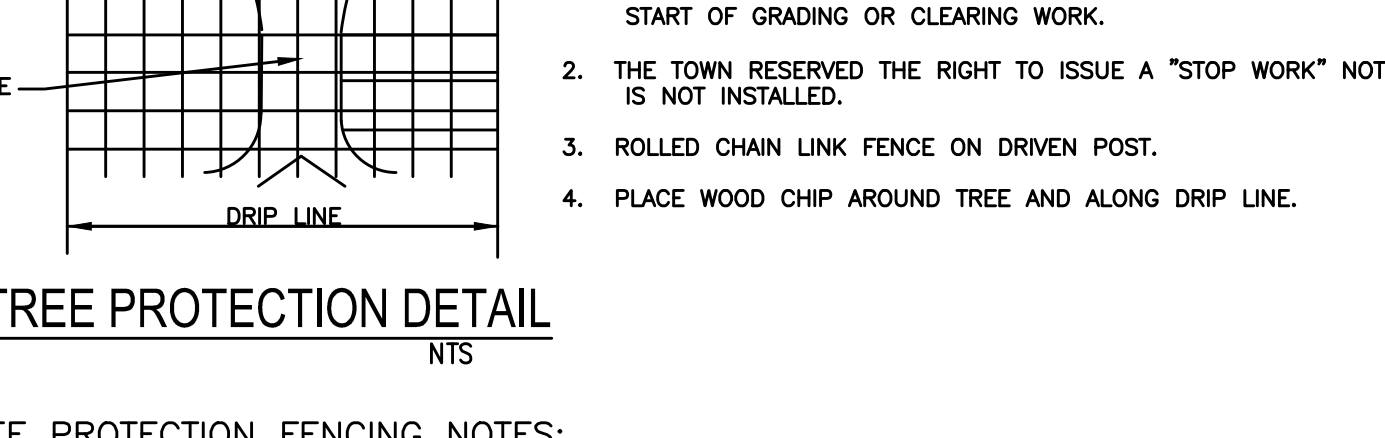
STABILIZED CONSTRUCTION ENTRANCE NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



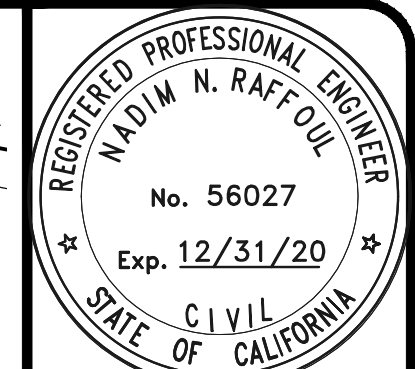
TREE PROTECTION FENCING NOTES:

1. THE DEVELOPER SHALL INSTALL "THE PROTECTION DEVICE" PRIOR TO THE START OF GRADING OR CLEARING WORK.
2. THE TOWN RESERVES THE RIGHT TO ISSUE A "STOP WORK" NOTICE IF THE " PROTECTIVE DEVICE " IS NOT INSTALLED.
3. ROLLED CHAIN LINK FENCE ON DRIVEN POST.
4. PLACE WOOD CHIP AROUND TREE AND ALONG DRIP LINE.



LEGEND

- x—x—x— STRAW WATTLES



NR ENGINEERING
CIVIL ENGINEERS
633 METRODRIVE DRIVE
SAN JOSE, CALIFORNIA 95123
(408) 948-7813

16336 SHADY VIEW LANE
LOS GATOS, CA.

EROSION CONTROL
PLAN

REVISIONS	BY

JOB NO:
DATE: 1-24-2019
SCALE: 1" = 10'
DRAWN BY: NR
SHEET NO:
C-4

LANDSCAPE DOCUMENTATION PACKAGE CHECKLIST

1 - PROJECT INFORMATION

- a Date - 5-27-19
- b Applicant - Greg Lewis - Landscape Architect
- c Project Address - 16336 Shady View Lane, Los Gatos
- d Total Irrigated Landscape Area - 4030 sf (not counting pool)
- e Type of project - single family residential
- f Potable Water
- g Checklist of all documents in package - see this page
- h Contacts of Applicant - Greg Lewis - Landscape Architect
lewlandscape@sbcglobe.com
phone (831) 359-0960
Owner - Katty Coulson koulson@cisco.com
- i "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package"

2 - WATER EFFICIENT LANDSCAPE WORKSHEETS - SEE SHEET L2

3 - SOIL MANAGEMENT REPORT
See sheet L3

4 - LANDSCAPE DESIGN PLAN
See sheets L1

5 - IRRIGATION DESIGN PLAN
See sheets L2

6 - GRADING DESIGN PLAN
See the Grading and Drainage Plans done by the civil engineer - NNR Engineering
nnrengineering@yahoo.com

The following items are required when the landscape construction is complete

CERTIFICATION OF COMPLETION

Project information sheet - see current MWELo information on line for current forms

Certification that the landscape project has been installed per the approved Landscape Documentation Package
See current MWELo information on line for the current forms

Irrigation Scheduling

Landscape and Irrigation Maintenance Schedule

Irrigation Audit Report

Documentation verifying implementation of soil report recommendations

Replacement Trees

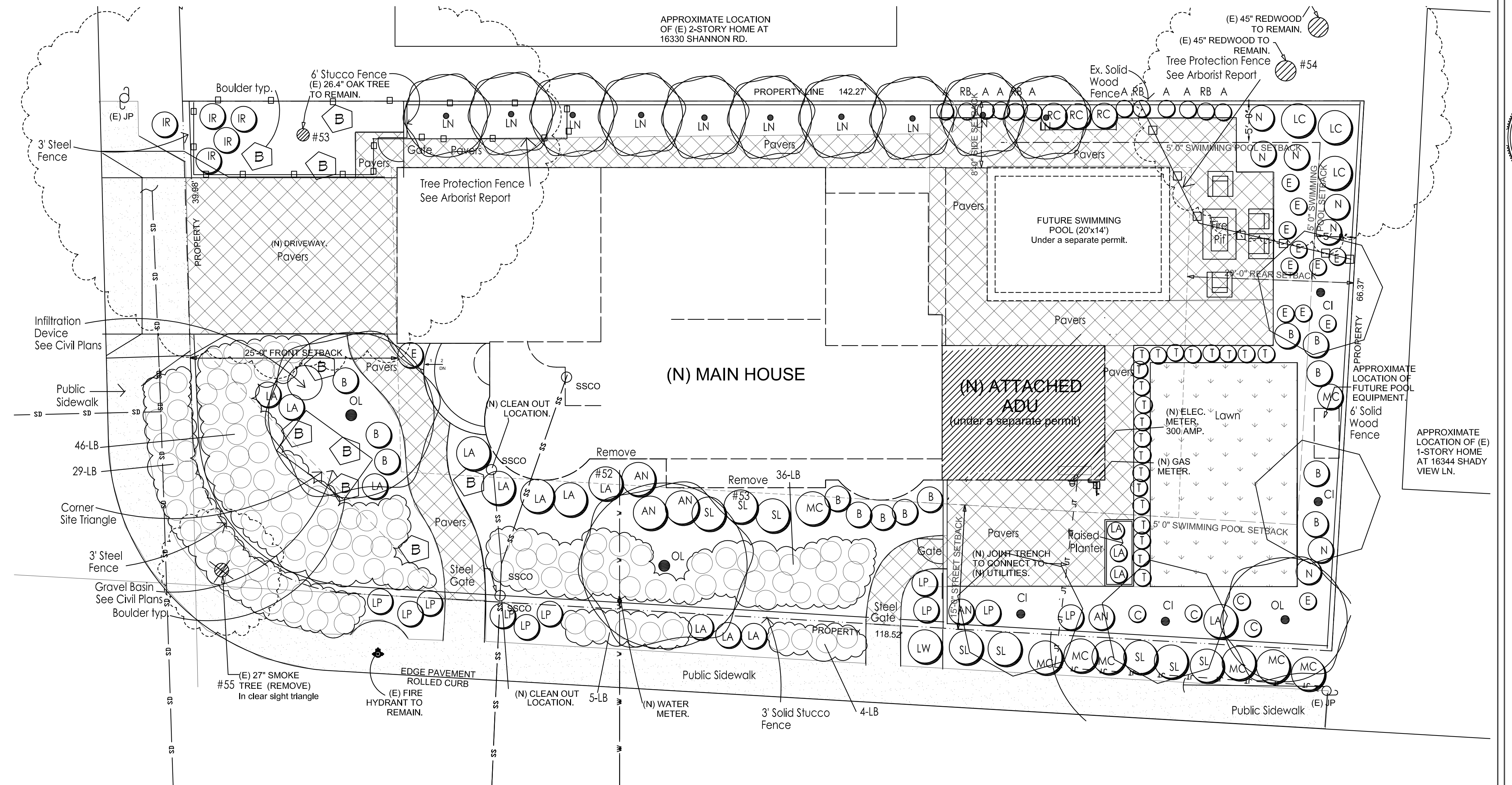
- 1) Per city arborist consultant report dated 1/31/19 by Walter Levison, replacement trees for Cypress trees # 51 and #52 is four 24" box trees
- 2) The existing Smoke Tree in the city ROW is in the clear sight triangle and we would like to remove it. The canopy is between 10' and 25' dia. which would require three 24" box trees according to the table on page 22 of the arborist's report
- 3) Total replacement trees are seven 24" box trees
four 24" box Citrus
three 24" box Swan Hill Olive

Landscape Notes

- 1) See sheets L3 and L4 for details and specifications.
- No irrigation trenching is allowed under the canopy of existing trees to be saved unless approved by the city arborist. Irrigation drip lines are to be 1 inch deep on the surface of the soil, covered with mulch. Pressure lines and valves are not to be located under canopies of trees to be saved.
- 2) Exact location of plants on site to be adjusted so as to best coordinate with irrigation component locations, lights, drainage features, and swales
- 3) Use 3 inch deep mulch in all planting areas. Provide owner with different mulch samples and prices including nitrated RWD sawdust, medium fir bark, and Mahogany colored Wonder Mulch from Vision Recycling in Fremont
- 4) Install plants for all plant circles shown on the plan even if they aren't labeled. Call for clarification. For bidding purposes, if no one is available to answer questions, assume that any plant circle scaled less than 8' wide is 5 gal. size and any circle scaled larger is 15 gal. size
- 5) The plan is schematic. Don't install plants too close to edges of paving or buildings. Keep valves and quick couplers away from trees.
- 6) The plants will do much better if efforts to uncompact soil that has been compacted during building construction.
- 7) See specs. concerning soil amendments and fertilizer. For bidding purposes until the soil fertility test is done, bid 6 cubic yards of 89 Organic Super Humus Compost. 16 pounds of 12-12-12 fertilizer filled into the top 6" to 8" of soil after ripping soil to 12" deep, except on steep slopes. Some of the planting areas are so narrow that it will need to be dug in by hand.
- 8) See the Irrigation Plan, Irrigation Legend under the Rainbird XFS-XDI drip tubing for special soil prep. in the FR ground cover areas
- 9) See the project Arborist's report concerning required distances of utility lines from trunks of trees that are to be saved. Read the city arborist's tree report and tree protection plan concerning the protection of all existing trees to be saved during construction.
- 10) Check with the Landscape Architect to make sure you have the most recent Landscape Plans prior to construction and finalizing the bid.
- 11) Boulders - Average size 2x2x2.5' set into soil to appear stable. Bid Sonoma Fieldstone but also give owners prices for rounded granite or some other type of boulder they like that might go well with rock on their house.
- 12) Raised planter - 24" high, build with 2x12 rough redwood with 4x4 posts 4 feet apart set in concrete 24" deep. Use gopher wire and fill with high quality planter mix. Install S45 2x6 redwood cap

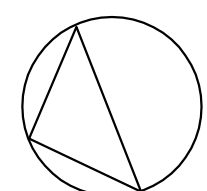
Plant Legend

KEY	QTY	SIZE in gallons	BOTANICAL NAME	COMMON NAME	WUCOLS WATER USE RATING
TREES					
OL	3	24" box	Olea Swan Hill - no fruit	Swan Hill Olive	LOW
CI	4	24" box	Citrus tree - variety selected by owner	Replacement Trees	MED
SCREENING TREE OPTIONS					
LN	-	24" box	Laurus nobilis @ 8' O.C.	Greecian Laurel	LOW
			Pittosporum undulatum @ 8' O.C.	Victorian Box	LOW
			Podocarpus gracillior @ 8' O.C.	Fern Pine	MED
			Pittosporum eugenioides @ 5' O.C.		MED
MEDIUM SHRUBS					
RC	-	5 gal.	Rhaphiotepis minor	India Hawthorne	LOW
MC	-	5 gal.	Myrtus communis	Myrtle	LOW
RB	-	5 gal.	Rosa banksiae double white	Lady Banks Rose	LOW
LA	-	5 gal.	Lavandula Grosso	Lavander	LOW
LC	-	5 gal.	Loropetalum Razleberry		LOW
GROUND COVERS					
LB	-	1 gal.	Lomandra Breeze		LOW
C	-	1 gal.	Carex divulca	Berkeley Sedge	LOW
LP	-	5 gal.	Limonium perezii	Sea Statice	LOW
IR	-	1 gal.	Iris Canyon Snow	Native Iris	LOW
T	-	1 gal.	Thymus serpyllum Reiter's	Creeping Thyme	LOW
AN	-	1 gal.	Anigazanthus Bush Gold or Bush Ranger	Kangaroo Paws	LOW
LW	-	1 gal.	Lantana montevidensis white	Low White Lantana	LOW
V	-	1 gal.	Aloe vera	Medicinal Aloe	LOW
B	-	1 gal.	Bulbine frutescens - yellow or orange		LOW
E	-	1 gal.	Aeonium urbicum Dinner Platter		LOW
SL	-	1 gal.	Salvia leucantha	Mexican Sage	LOW
LAWN	-	sod	Turf tall fescue sod with 2x4 redwood header bd.		HIGH



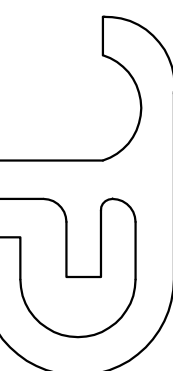
Cover Sheet and
Landscape Plan

1/8"=1'-0"



Revision

#2176
GREGORY LEWIS LANDSCAPE ARCHITECT
736 Park Way Santa Cruz, CA 95062 (831) 359-0960
lewlandscape@sbcglobe.com



Coulson Residence
16336 Shady View Ln., Los Gatos

Date 5/27/19
Scale As Noted
Drawn Greg

Job Sheet
L1
of 5

GENERAL NOTES

ARCHITECTURAL

WALL AND FLOOR FLASHING: ALL FLASHING AT WALLS, FLOORS, AND ROOF JUNCTURES TO VERTICAL SURFACES SHALL BE 26 GA. G.I. UNLESS NOTED OTHERWISE ON PLANS. FORM FABRICATE AND INSTALL FLASHING AS SHOWN ON DETAILS. SET ALL FLASHING IN PLASTIC CEMENT AND SET JOINTS IN BUTYL MASTIC. FLASHING SECTIONS SHALL HAVE AN END LAP OF 4" MIN.

DOORS: ALL EXTERIOR DOORS ARE TO BE FULLY WEATHER-STRIPPED, CERTIFIED AND LABELED FOR COMPLIANCE TO ENERGY CONSERVATION REGULATIONS. ALL FRENCH DOORS SHALL BE PAINT GRANTE WOOD WITH TEMPERED. DOUBLE GLASS PANELS ARRANGED AS SHOWN ON PLANS AND DOOR SCHEDULE.

WINDOWS: ALL WINDOWS SHALL BE FULLY WEATHER-STRIPPED, CERTIFIED AND LABELED FOR COMPLIANCE ENERGY CONSERVATION REGULATIONS. ALL WINDOWS ARE TO BE WOOD OR VINYL FRAMED. DOUBLE GLAZED WITH PANES AS SHOWN ON PLANS AND WINDOW SCHEDULE AND A MAXIMUM U-VALUE AS SET FORTH IN THE T-24 ENERGY CALCULATIONS.

BATH COUNTER TOPS: ALL BATH COUNTERTOPS AND SPLASHES SHALL BE CERAMIC TILE AS SELECTED BY OWNER UNLESS NOTED OTHERWISE ON THE PLANS. USE GRANITE OR MARBLE TILES OR SLAB WHERE NOTED ON PLANS AND INTERIOR ELEVATIONS.

WEATHER BARRIER: ALL WEATHER EXPOSED WALL SURFACES SHALL BE PROTECTED WITH AN UNDERLAYMENT OF (2) LAYERS GRADE "D" BUILDING PAPER OVER PLYWOOD WALL SHEATHING. UNDERLAYMENT SHALL BE APPLIED SINGLE FASHION WITH MIN. 2" LAP AT HORIZONTAL JOINTS AND MIN. 6" LAP AT VERTICAL JOINTS. UNDERLAYMENT SHALL BE FREE OF HOLES AND BREAKS OTHER THAN THOSE FROM NAILING TO PLYWOOD SHEATHING OR WALL STUDS.

INSULATION: FIBERGLASS BATT INSULATION SHALL BE INSTALLED ACCORDING TO THE T-24 REPORT. SEE T-24 REPORT FOR INSULATION VALUES.

CAULKING: ALL JOINTS AND PENETRATIONS AT EXTERIOR WALLS, CEILING AND FLOOR ASSEMBLIES SHALL BE FULLY CAULKED AND SEALED.

TUBS & SHOWERS: SHOWERS SHALL BE A MIN. SIZE OF 1024 SQ. IN. AND ACCOMMODATE AT 30" CIRCLE. BACKER FOR SHOWER AND TUB SHOWER WALLS TO BE FIBER-CEMENT, FIBER REINFORCED CEMENTITIOUS BACKER OR GYPSUM BACKERS OR FIBER-REINFORCED GYPSUM BACKERS TO A MIN. HEIGHT OF 72" ABOVE THE FLOOR. SHOWER WALLS SHALL BE FINISHED WITH CERAMIC TILE OF OTHER SMOOTH, HARD NON-ABSORBENT COVERING. ALL TUB AND SHOWER GLAZING SHALL BE MADE OF SHATTER RESISTANT GLASS. SWING DOORS SHALL OPEN OUTWARD WITH A MIN. OPENING CLEARANCE OF 22".

PRE-FABRICATED FIREPLACES: PRE-FABRICATED METAL FIREPLACES SHALL BE INSTALLED WITH INSULATED CHIMNEY FLUE, SPARK ARRESTOR AND ACCESSORIES ACCORDING TO MANUFACTURER'S SPECIFICATIONS. FIREPLACE OPENING SHALL BE EQUIPPED WITH A TIGHT FITTING, CLOSEABLE METAL OR GLASS DOOR. FIREPLACE SHALL HAVE A FLUE DAMPER AND AN OUTSIDE AIR INTAKE WITH DAMPER. ONLY GAS APPLIANCE FIREPLACES ARE TO BE USED.

GLAZING: ALL GLAZING SHALL CONFORM TO FEDERAL GLAZING REGULATIONS AND THE CALIFORNIA RESIDENTIAL CODE. GLAZING IN HAZARDOUS LOCATIONS SHALL BE FULLY TEMPERED GLASS OR APPROVED PLASTIC AND IS PERMANENTLY IDENTIFIED BY THE MANUFACTURER OR INSTALLER.

MECHANICAL ROOM DOORS: ACCESS DOORS OF THE MECHANICAL ROOM SHALL BE WITH MINIMUM 100 SQ. IN. LOUVERED VENT AT TOP OF DOORS AND MINIMUM 100 SQ. IN. LOUVERED VENT AT BOTTOM OF DOORS.

GYPSUM WALLBOARD: ALL INTERIOR WALL AND CEILING FACES ARE TO BE SHEATHED WITH 1/2" GYPSUM WALLBOARD EXCEPT WHERE NOTED TO USE 5/8" TYPE "X" WALLBOARD. TAPE, TEXTURE AND PAINT GYP. BOARD ACCORDING TO FINISH SCHEDULE. ALL GAPS AND PENETRATIONS AT 5/8" TYPE "X" WALLBOARD SHALL BE FILLED WITH TAPING CEMENT. NAIL ALL GYP. BOARD TO WALL STUDS, PLATES, BLOCKING, ETC. AS FOLLOWS:
1/2" WALLBOARD 4d CEMENT COATED BOX NAIL OR 1-3/8" x 14 GA. ACID-ETCHED, PHOSPHATE COATED NAIL OR 4d "DRYVITE" NAIL AT 7" O.C.
5/8" TYPE "X" WALLBOARD 6d "COOLER" NAILS AT 7" O.C.

ROOF VENTILATION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE OR 1/300 OF THE VENTED SPACE PROVIDED THERE IS ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:

- IN CLIMATE ZONES 14 AND 16, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.
- AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS. INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

ALL VENT OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT, NON-COMBUSTIBLE METAL MESH WITH MESH OPENINGS OF AT LEAST 1/16" AND A MAXIMUM OF 1/8" DIMENSION. VENTS SHALL BE LOCATED SO AS TO PROVIDE CROSS VENTILATION OF EACH SEPARATE ATTIC SPACE AND SHALL PROTECT AGAINST THE ENTRANCE OF RAIN AND SNOW.

STAIR HANDRAILS: EVERY STAIRWAY OF 4 OR MORE RISERS SHALL HAVE AT LEAST ONE HANDRAIL AND EVERY OPEN SIDE OF A STAIRWAY SHALL HAVE A GUARDRAIL. HANDRAILS MOUNTED ON A WALL SHALL HAVE A MIN. 1-1/2" SPACE BETWEEN THE WALL AND THE HANDRAIL. THE HANDGRIP PORTION OF HANDRAILS SHALL BE BETWEEN 1-1/4" AND 2" CROSS SECTION DIMENSION AND SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. ALL HANDRAILS ARE TO BE PLACED 34" AND 38" ABOVE TREAD NOSING AND SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS.

GUARDRAILS: GUARDRAILS SHALL BE NOT LESS THAN 42 INCHES HIGH MEASURED VERTICALLY ABOVE THE LEADING EDGE OF THE TREAD, ADJACENT WALKING SURFACE OR ADJACENT SEATBOARD. GUARDRAILS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO THE APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING. INTERMEDIATE RAILS (ALL THOSE EXCEPT THE HANDRAIL), BALUSTERS AND PANEL FILL ERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO ONE SQUARE FOOT, INCLUDING THE CROSS BETWEEN RAILS. OPEN GUARDRAIL AND STAIR RAILINGS SHALL HAVE INTERMEDIATE RAILS, BALUSTERS, PICKETS, ETC., ARRANGED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH THE OPENINGS.

ARCHITECTURAL (CONT.)

SKYLIGHTS: ALL SKYLIGHTS ARE TO BE PRE-MANUFACTURED PLASTIC DOME TYPES WITH ANODIZED ALUMINUM FRAMES MOUNTED ON WOOD CURBS OR DIRECTLY TO ROOF DECK. FRAME COLOR IS TO MATCH OR BE SIMILAR TO THE ROOF COLOR. CURB HEIGHT ABOVE THE ADJACENT ROOF SURFACE IS TO BE 4" MINIMUM. THE DOME HEIGHT IS TO BE MINIMUM 5" OR 10% OF THE MAXIMUM SPAN OF THE DOME. SKYLIGHT UNITS SHALL MEET TITLE 24 REQUIREMENTS. SKYLIGHTS WITH INSTALLED GLAZING 12" ABOVE THE WALKING SURFACE SHALL BE CONSTRUCTED OF LAMINATED GLASS WITH A POLYVINYL BUTYRAL INTERLAYER AND A MINIMUM THICKNESS OF 0.030 INCHES (.78 mm)

EXTERIOR PLASTER LATH: EXTERIOR PLASTER LATH SHALL BE OF AN APPROVED, PAPER-BACKED, CORROSION RESISTANT METAL OR WIRE FABRIC AND SHALL BE SELF FURRING. (114" MIN.) APPLY LATH OVER WALL UNDERLAYMENT WITH THE LONG DIMENSION HORIZONTAL AND LAP A MIN. 1/2" AT THE SIDES AND MIN. 1" AT THE ENDS. WHERE END LAPS OF SHEETS DO NOT OCCUR OVER SUPPORTS, THEY SHALL BE SECURELY TIED TOGETHER WITH A MIN. 18 GA. WIRE. REINFORCEMENT SHALL BE USED AT ALL CORNERS OR THE LATH SHALL BE CARRIED AROUND CORNERS AT LEAST ONE SUPPORT. A WEEP SCREED SHALL BE PROVIDED AT OR BELOW THE FOUNDATION LINE ON ALL EXTERIOR STUD WALLS A MIN. OF 4" ABOVE HIGHEST ADJACENT GRADE. THE SCREED SHALL ALLOW TRAPPED WATER TO DRAIN TO THE OUTSIDE. BEHIND METAL LATH AND PAPER UNDERLAYMENT SHALL TERMINATE ON THE ATTACHMENT FLANGE OF THE SCREED. NAILING OF METAL LATH SHALL BE AT A MAX. OF 6 O.C. EACH WAY USING EITHER 11 GA. X 1-1/2" LONG X 7/16" HEAD NAILS OR 16 GA. STAPLES WITH 7/8" LEGS.

EXTERIOR PLASTER: EXTERIOR PLASTER SHALL BE PORTLAND CEMENT APPLIED IN THREE COATS TO A MIN. THICKNESS OF 7/8". SEE EXTERIOR ELEVATIONS FOR TEXTURE VARIATIONS.

APPLIANCES: THE CONTRACTOR SHALL PROVIDE RESIDENTIAL EQUIPMENT WHICH IS U.L. LABELED. PROVIDE, TO THE OWNER, ALL MANUFACTURER'S STANDARD WRITTEN WARRANTIES, OWNER'S MANUALS, AND STANDARD ACCESSORIES. CONTRACTOR SHALL INSTALL ALL APPLIANCES WHERE INDICATED ON DRAWINGS AND AS REQUIRED BY ALL CODES AND LISTINGS. APPLIANCE TYPES, STYLES, COLORS, ETC., SHALL BE SELECTED BY OWNER.

EMERGENCY EGRESS ESCAPE AND RESCUE WINDOWS: BASEMENTS OF DWELLING UNITS AND EVERY BEDROOM BELOW THE 4TH STORY SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE AND RESCUE DIRECTLY TO EXTERIOR. THE UNITS SHALL BE OPERABLE TO PROVIDE FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS AND HAVE A NET CLEAR OPENING OF NO LESS THAN 57 SQUARE FEET. THE NET CLEAR OPENING HEIGHT SHALL BE A MINIMUM OF 24" AND THE WIDTH SHALL BE A MINIMUM OF 20" WITH THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR IN DWELLING UNITS. WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4 INCH DIAMETER WHERE SUCH OPENING ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR. WHERE SUCH WINDOW OPENINGS DO NOT COMPLY, WINDOW FALL PREVENTION DEVICES AND WINDOW GUARDS THAT COMPLY WITH ASTM F 2090, SHALL BE PROVIDED.

STREET ADDRESS: NEW AND EXISTING BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH.

SPARK ARRESTORS: SPARK ARRESTORS SHALL BE INSTALLED ON ALL CHIMNEYS INCLUDING OUTSIDE FIREPLACES.

GARAGE: 1-R separation BETWEEN DWELLING AND GARAGE PER CRC SECTION R302.6. 20 MINUTE, 1-3/4" SOLID WOOD FIRE RATED DOOR WITH SELF CLOSING AND SELF LATCHING DEVICES PER CRC SECTION R302.5

DIMENSIONS: ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.

ELECTRICAL

CODES: ALL ELECTRICAL EQUIPMENT, WIRING AND INSTALLATIONS SHALL COMPLY WITH APPLICABLE SECTIONS OF THE NATIONAL ELECTRICAL CODE, CALIFORNIA TITLE 24 STANDARDS AND THE MANUFACTURER'S SPECIFICATIONS.

LISTINGS: ALL ELECTRICAL EQUIPMENT AND ACCESSORIES SHALL BE LISTED BY A NATIONALLY RECOGNIZED TESTING LAB. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

RECESSED FIXTURES: PROVIDE RECESSED FIXTURE CLEARANCE PER CODE. RECESSED FIXTURES IN INSULATED CEILING SHALL BE "IC" APPROVED FIXTURES.

DRYER LOADS: CLOTHES DRYER LOADS SHALL BE DETERMINED ON A LOAD OF 5000 WATTS PER APPLIANCE OR BY NAMEPLATE RATINGS.

ELECTRICAL BOXES: ELECTRIC SWITCH AND OUTLET BOXES ON EXTERIOR WALLS SHALL HAVE RUBBER GASKETS FOR MEDIUM INFILTRATION CONTROL.

KITCHEN AND BATH FIXTURES: ALL GENERAL LIGHTING FIXTURES AND BULBS IN KITCHEN AND BATH AREAS SHALL HAVE AN EFFICACY RATING OF 40 LUMENS PER WATT OR GREATER. FLUORESCENT FIXTURES WITH PLUG-IN (NOT SCREW-IN) FLUORESCENT LAMPS SHALL BE USED.

CLOSET LIGHTS: LIGHT FIXTURES IN CLOSETS/WARDROBES SHALL HAVE A MIN. 18" HORIZONTAL CLEARANCE TO SHELVES.

TUB/SHOWER LIGHTS: LIGHT FIXTURES MOUNTED WITHIN 5' OF A SPA/TUB SHALL BE MOUNTED AT LEAST 76" ABOVE THE MAXIMUM WATER LEVEL OF THE SPA/TUB AND SHALL BE GFCI PROTECTED.

DRYER/COOKING UNIT OUTLETS: CLOTHES DRYERS AND COOKING UNITS SHALL HAVE CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND FOUR-PRONG OUTLET.

OUTDOOR OUTLETS: PROVIDE OUTSIDE RECEPTACLES AT THE FRONT AND REAR OF THE HOME WITHIN 6'-6" OF GRADE WHICH ARE WATERPROOF AND GFCI PROTECTED. SEE PLAN FOR LOCATIONS.

KITCHEN BRANCH CIRCUITS: SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS. PROVIDE (2) SMALL APPLIANCE BRANCH CIRCUITS IN THE KITCHEN WHICH ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS. THESE OUTLETS CANNOT SERVE DINING ROOM, OUTSIDE PLUGS, RANGE HOOD, DISPOSALS, DISHWASHERS OR MICROWAVES. ONLY THE REQUIRED COUNTERTOP/ WALL OUTLETS (INCLUDING REFRIGERATOR).

ELECTRICAL (CONT.)

BATHROOM OUTLET CIRCUITS: REQUIRED BATHROOM OUTLETS SHALL BE ON A DEDICATED 20 AMP CIRCUIT WHICH CANNOT SERVE ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC.

TAMPER-RESISTANT RECEPTACLES IN DWELLING UNITS: ALL NEW NON-LOCKING TYPE 125-VOLT, 15- AND 20-AMPERE RECEPTACLES THAT ARE WITHIN 5 1/2' ABOVE FINISH FLOOR SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.

ARC-FAULT AND GROUND FAULT OUTLETS: ARC-FAULT (AFCI) REQUIRED IN FAMILY ROOMS, DINING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUN ROOMS, REC ROOMS, CLOSETS, AND HALLWAYS AND LIGHTING. GROUND FAULT (GFCI) IS REQUIRED IN BATHROOMS, GARAGES, ACCESSORY AREAS, EXTERIOR, CRAWLSPACES, BASEMENTS, DISHWASHERS, AND DISPOSALS. COMBINATION AFCI/GFCI IS REQUIRED IN KITCHENS, AND LAUNDRY AREAS.

MECHANICAL

CODES: ALL HVAC EQUIPMENT, DUCT WORK AND INSTALLATIONS SHALL COMPLY WITH APPLICABLE SECTIONS OF THE CURRENT MECHANICAL CODE, CALIFORNIA TITLE 24 STANDARDS AND MANUFACTURER'S SPECIFICATIONS. ALL PLUMBING WORK SHALL CONFORM WITH THE CURRENT CALIFORNIA PLUMBING CODE.

LISTINGS: ALL HVAC EQUIPMENT AND ACCESSORIES SHALL BE LISTED BY A NATIONALLY RECOGNIZED TESTING LAB. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

EXHAUST FANS: ALL INTERIOR EXHAUST FANS SHALL PROVIDE 5 AIR CHANGES PER HOUR OR MORE. EXHAUST FANS AND FAN SYSTEMS SHALL HAVE BACK-DRAFT DAMPER CONTROLS.

1 HOUR WALLS: HVAC DUCTS PENETRATING ONE HOUR WALLS (GARAGE/HOUSE WALL) SHALL BE MINIMUM 26 GAUGE GALVANIZED STEEL. 1 HOUR SEPARATION BETWEEN DWELLING AND GARAGE PER CRC SECTION R302.6.

GAS PIPING: GAS PIPING SHALL NOT BE IMBEDDED IN OR BELOW CONCRETE SLABS

SEWER PIPING: PLASTIC OR PVC SEWER LINE SHALL BE PLACED WITH MIN. 6" OF SAND BASE AND COVER.

FORCED AIR UNIT: FORCED AIR UNIT(S) SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AND THOSE OF THE STRUCTURAL ENGINEER WHEN INSTALLED IN AN ATTIC SPACE.

GAS APPLIANCES: ALL GAS APPLIANCES AND EQUIPMENT SHALL HAVE INTERMITTENT IGNITION DEVICES WITH NO CONTINUOUS BURNING PILOTS. ALL APPLIANCES SHALL COMPLY WITH THE CURRENT CALIFORNIA MECHANICAL CODE.

WATER HEATERS: WATER HEATERS SHALL BE INSULATED WITH EXTERNAL BLANKETS OF R-12 OF GREATER. INSULATE HOT WATER INLET AND OUTLET PIPES (FIRST FIVE FEET IN UNCONDITIONED SPACES) WITH EXTERNAL WRAPPING OF R-4 OR GREATER. WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER 1/3 AND THE LOWER 1/3 OF ITS VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAPPING. WATER HEATERS LOCATED IN NON-LIVING SPACES SHALL BE INSTALLED ON A PLATFORM SUCH THAT BURNERS AND BURNER-IGNITION DEVICES ARE LOCATED NOT LESS THAN EIGHTEEN INCHES ABOVE THE FINISHED FLOOR.

TANKLESS WATER HEATERS: TANKLESS WATER HEATER SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATION.

DRYER VENT: CLOTHES DRYERS SHALL VENT TO THE OUTSIDE OF THE BUILDING AND SHALL BE A MAXIMUM 14' IN LENGTH WITH TWO FEET REDUCTION FOR EACH 90 DEGREE ELBOW OVER TWO.

PLUMBING VENTS: ALL PLUMBING VENTS SHALL BE MINIMUM 10 FEET FROM OPERABLE SKYLIGHTS.

THERMOSTATS: ONLY "SETBACK" THERMOSTATS CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION SHALL BE USED.

HOSE BIBBS: HOSE BIBBS AND WATER OUTLETS WITH HOSE ATTACHMENTS SHALL HAVE APPROVED NON-REMOVABLE BACKFLOW PREVENTION DEVICES.

FORCED AIR UNIT CLEARANCES: LISTED FURNACES SHALL BE INSTALLED IN CONFORMANCE WITH THE CONDITIONS OF THEIR LISTING. THE FURNACE INSTALLER SHALL LEAVE THE MANUFACTURER'S INSTALLATION AND OPERATING INSTRUCTIONS ATTACHED TO THE APPLIANCE. CLEARANCES OF LISTED FURNACES FROM COMBUSTIBLES SHALL BE AS SPECIFIED IN THE LISTING OR ON THE FURNACE RATING PLATE. UNLISTED FURNACES SHALL HAVE THE FOLLOWING CLEARANCES FROM COMBUSTIBLES:
ABOVE TOP OF CASING OR FURNACE 6"
FROM TOP AND SIDES OF WARM-AIR BONNET OR PLENUM 6"
FROM FRONT (UNLESS ACCESS REQUIREMENTS GREATER 18") 6"
FROM BACK OF FURNACE 6"
FROM SIDES OF FURNACE 6"

DISHWASHERS: DISHWASHING MACHINES CONNECTED DIRECTLY TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSAL SHALL HAVE AN APPROVED DISHWASHER AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIR GAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK/DRAIN BOARD, WHICH EVER IS HIGHER.

TUB AND SHOWER VALVES: TUB AND SHOWER VALVES SHALL HAVE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.

QUICK ACTING VALVES: ALL BUILDING WATER SUPPLY SYSTEMS IN WHICH QUICK ACTING VALVES ARE INSTALLED (SUCH AS DISHWASHERS, CLOTHES WASHERS, ETC.) SHALL BE APPROVED WITH DEVICES AS CLOSE TO QUICK ACTING VALVES AS POSSIBLE TO ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF THESE VALVES.

DUCT TERMINATIONS: ALL ENVIRONMENTAL AIR DUCT TERMINATIONS SHALL BE A MINIMUM OF (3) FEET FROM PROPERTY LINES AND/OR ANY OPENINGS INTO THE BUILDING.

CALGREEN:

JOINTS AND OPENINGS: ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENING WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

A MINIMUM OF 75% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE. THIS IS ACHIEVED EITHER BY USING CITY PRE-CERTIFIED LANDFILLS OR IMPLEMENTATION OF A WASTE MANAGEMENT PLAN. WASTE MANAGEMENT PLAN SHALL BE PRE-APPROVED BY ENVIRONMENTAL SERVICES DEPARTMENT.

HEATING AND AIR CONDITIONING SYSTEM DESIGN SHALL BE SIZED, DESIGNED, AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
A HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ACCA MANUAL J, ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
B HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ACCA MANUAL J, ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
C SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ACCA 36-S MANUAL S OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHOD.

DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS AT THE TIME OF ROUGH INSTALLATION OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT.

ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINTS SHALL COMPLY WITH VOC AND OTHER CONTENT LIMITS SPECIFIED IN SECTION 4.504 OF THE CGBC. ALL PRODUCT CONTAINERS SHALL REMAIN ON SITE FOR FIELD VERIFICATION. PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR MUST BE PROVIDED TO THE BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION, AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBC SECTION 4.504

FINISHES:
A USE LOW-VOC INTERIOR WALL/CEILING PAINTS (<50 GRAMS PER LETTER (GPL) VOCS REGARDLESS OF SHEEN) CGBCS 4.504.2.2
B USE LOW-VOC COATINGS THAT MEET SCAQMD RULE 1113 (CGBCS 4.504.2.3)
C DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC FINISH MATERIALS HAVE BEEN USED PER CGBCS 4.504.2.4

80% OF FLOOR AREA RECEIVING RESILIENT FLOORING, SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCOPE PROGRAM.

PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. SPECIFY THE LIMITS ON THE PLANS IN ACCORDANCE WITH TABLE 4.504.5.

VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED AT SLAB ON GRADE FOUNDATIONS.

PRIOR TO ENCLOSING THE WALL AND FLOOR FRAMING, CONFIRMATION MUST BE PROVIDED TO THE BUILDING INSPECTOR SHOWING THE FRAMING MEMBERS DO NOT EXCEED 19% MOISTURE CONTENT IN ACCORDANCE WITH CGBCS SECTION 4.505.3

ALL PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN CA CIVIL CODE SECTIONS 1101.01-1101.8.

ALL EXISTING TO REMAIN PLUMBING FIXTURES SHALL CONFORM TO THE FOLLOWING:
A TOILETS WITH A FLOW RATE IN EXCESS OF 1.6 GPF SHALL BE REPLACED WITH TOILETS WITH A MAXIMUM OF 1.28 GPF.
B SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM SHALL BE REPLACED WITH A MAXIMUM 1.8 GPM SHOWER HEAD.
C LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM SHALL BE REPLACED WITH A FAUCET WITH A MAXIMUM FLOW RATE OF 1.2 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).

AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OWNER.

HVAC SYSTEMS INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.

SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE THE DISCIPLINE THEY ARE INSPECTING.

DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR IDENTIFIED IN THE APPLICATION CHECKLIST.

FIRE NOTES:

A. FIRE SPRINKLER SYSTEM WILL BE PROVIDED AND INSTALLED PER NFPA 13D 2016 ADDITION.

B. FIRE SPRINKLERS REQUIRED: AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ONE AND TWO-FAMILY DWELLINGS AS FOLLOWS: IN ALL NEW ONE AND TWO-FAMILY DWELLINGS AND IN EXISTING ONE AND TWO-FAMILY DWELLINGS WHEN ADDITIONS ARE MADE THAT INCREASE THE BUILDING AREA TO MORE THAN 3,600 SQUARE FEET. NOTE: THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CRC SEC. 313.2 AS ADOPTED AND AMENDED BY LGTC.

C. WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2016 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7

D. ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM), WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1

E. CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHAP. 33

F. WILDLAND URBAN INTERFACE: THIS PROJECT IS LOCATED WITHIN THE DESIGNATED WILDLAND-URBAN INTERFACE FIRE AREA. THE BUILDING CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF SECTION R327 OF THE CALIFORNIA RESIDENTIAL CODE OR THE CALIFORNIA BUILDING CODE (CBC) CHAPTER 7A, AS APPLICABLE. VEGETATION CLEARANCE SHALL BE IN COMPLIANCE WITH CBC SECTION 701A.3.2.4 PRIOR TO PROJECT FINAL APPROVAL.

H-15111 Warehouse Shade Collection

Job Name: _____
Type: _____
Quantity: _____

FINISH - Multi-stage pretreatment procedure using materials of polyester/polyester powder coat, baked, electrocoat, primer, and galvanized finishes. Standard Finishes are: 91(Black), 93(White), 95(Black Green), 96(Galvanized), 97(Powder Coat Rust), 98(Black Texture), 99(White Coat/Patina). Upgrades Finishes are: 29, 66, 82, 90, 92, 94, 97, 99, 100, 103, 104, 105, 110, 112, 113, 114, 115, 117, 118, 119, 120, 121, 122, 129, 133, 134, 135, 136, 138, 139, 140, 11, 98, 101, 102, 137, 121, 122, 123, 124, 125, 126, 131, 22, 25, 33, 77, 89, 24, 44, 48, 49, 15, 16, 55. (Custom finishes available).

For interior finish of fixture refer to color chart on pages 344-348.

REFLECTOR - Heavy duty, spun shade, aluminum 600-01-001, galvanized 22 gauge steel 2022 gauge, copper 032040 and brass 032040 construction. Dependent on finish.

SOCKET LAMPS Available in:
Incandescent - rated 100 watt max/120 volt, medium base. Light-Emitting Diode(LED) - See LED specification sheet.

ACCESSORIES - CGU(Curt Guard and Glass), WGU(Wire Guard and Glass), WGR(Wire Guard), SK(Swivel Knuckle) and FX(Flexible tubing for cond. mounted fixture only available).

MOUNTING - Cord, Stem, Arm, and Flush mounting available.

MADE IN THE U.S.A. Suitable for wet location. (Except when cord mounted)

UL LISTED

NOTE: ALL OUTDOOR LIGHTING AFFIXED TO THE BUILDING SHALL BE DOWNWARD DIRECTED AND SHIELDED SO THAT NO LIGHT GLARE WILL ENCRONCH ONTO NEIGHBORING PROPERTIES.

1 TYP. OUTDOOR LIGHT (O.L.)
Scale: None

REVISIONS: THIS DOCUMENT CONTAINS REVISIONS TO THE ORIGINAL DRAWING. INFORMATION THAT IS INTENDED FOR THE ARCHITECT'S INFORMATION ONLY SHOULD BE PLACED IN THE REVISIONS. REVISIONS SHOULD NOT BE MADE TO THE ORIGINAL DRAWING. REVISIONS TO THE ORIGINAL DRAWING SHOULD BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. REVISIONS TO THE ORIGINAL DRAWING SHOULD BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE. REVISIONS TO THE ORIGINAL DRAWING SHOULD BE MADE BY THE ARCHITECT OR HIS REPRESENTATIVE.

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
GENERAL NOTES

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

DRAWINGS PROVIDED BY:
DeMatti Construction, Inc.
1794 The Alameda, San Jose CA. 95126
P: (408) 295-7516
F: (408) 286-6589
LIC.# B476465

DATE: 12/17/2018
SCALE: As shown
DRAWN BY: LL / JW
SHEET:

A0.0

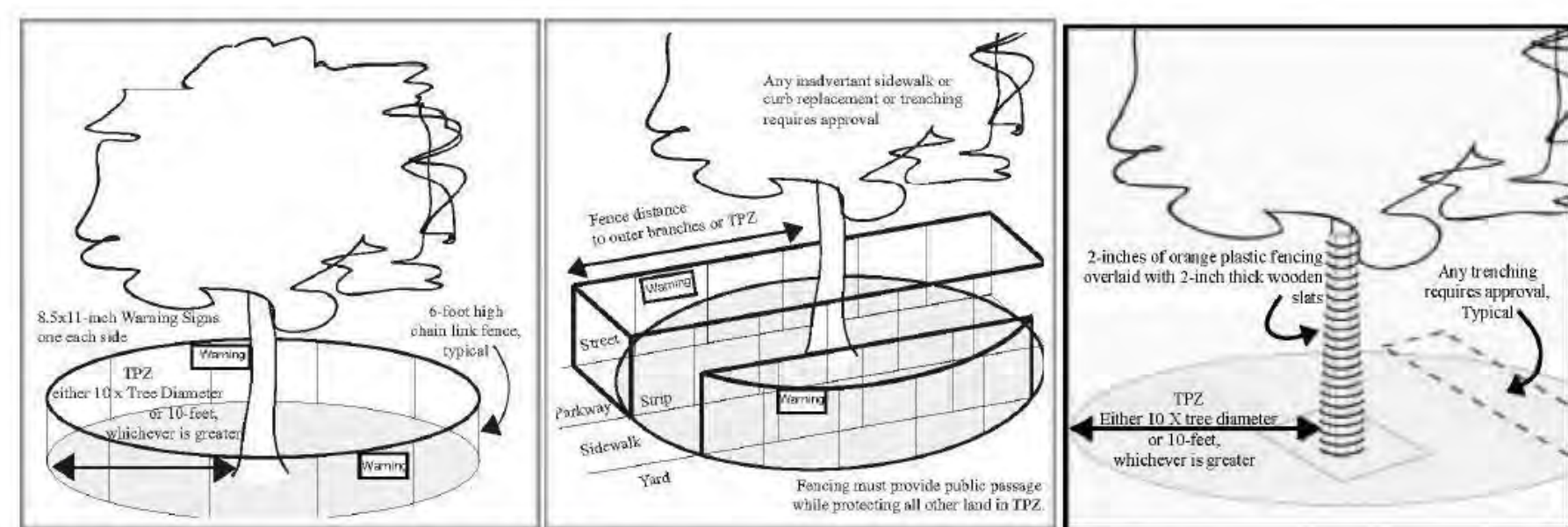
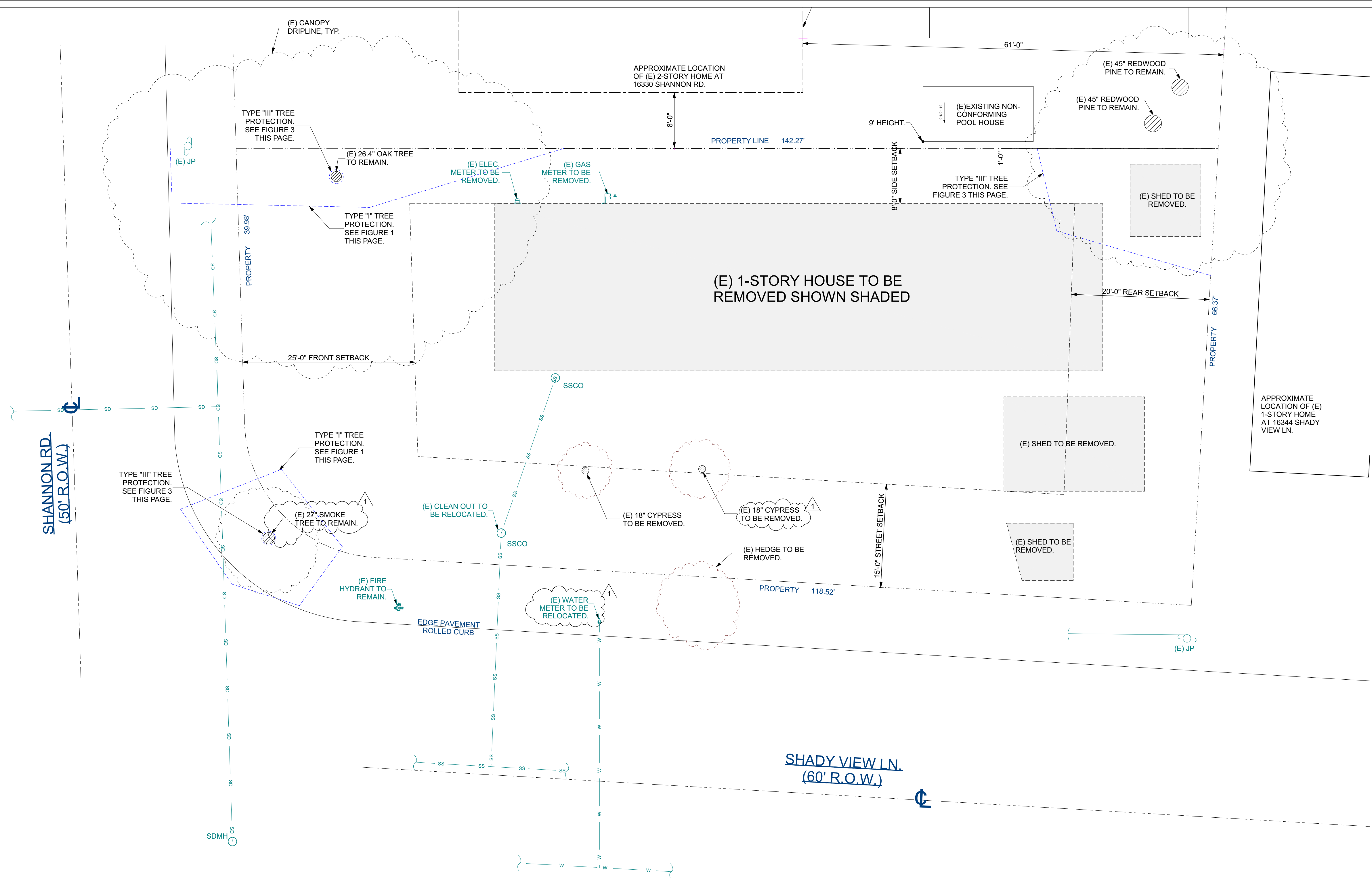
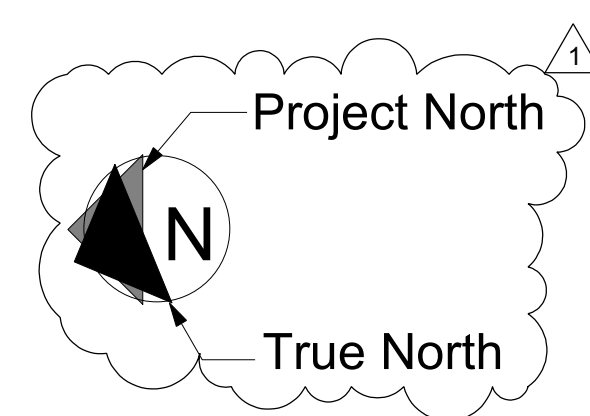


FIGURE 1: "TYPE I" TREE PROTECTION WITH FENCE PLACED AT A RADIUS OF TEN TIMES THE TRUNK DIAMETER.
 FIGURE 2: "TYPE II" TREE PROTECTION WITH FENCE PLACED ALONG THE SIDEWALK AND CURB TO ENCLOSE THE TREE.
 FIGURE 3: "TYPE III" TREE PROTECTION WITH TRUNK PROTECTED BY A BARRIER TO PREVENT MECHANICAL DAMAGE.

2 TREE PROTECTION DIAGRAMS
 No Scale



1 SITE DEMOLITION/TREE PROTECTION PLAN
 Scale: 1/8"=1'-0"

SEE CIVIL SHEET C-0
 FOR MORE INFORMATION

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 OR ARCHITECT BE RESPONSIBLE
 FOR ANY DAMAGE TO PERSONS OR
 PROPERTY, EVEN IF THE DAMAGE
 IS CAUSED BY THE NEGLIGENCE OF
 THE ENGINEER OR ARCHITECT.

NO.	DESCRIPTION	BY	DATE
1	RESPONSES TO PLAN CHECK COMMENTS	LL	03/26/2019

SHEET TITLE:
SITE DEMO AND TREE PROTECTION.

PROJECT DESCRIPTION:
Coulson Residence
 16336 Shady View Ln
 Los Gatos, CA 95032

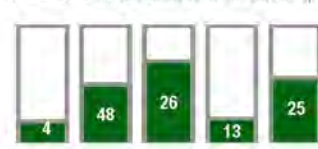
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 P: (408) 295-7516
 F: (408) 286-6589
 LIC.# B-476455

DATE:	12/17/2018
SCALE:	As shown
DRAWN BY:	LL / JW
SHEET:	

A0.1

Single Family GreenPoint Checklist

date: _____



The GreenPoint Checklist is based on the various green features incorporated into the home and is the basis for the GreenPoint Rated program. A home can be considered green if it fulfills the prerequisites, earns at least 50 points, and meets the minimum points per category: Energy (30), Indoor Air Quality/Health (5), Resources (5), and Water (5). Please contact Build It Green for a list of qualified GreenPoint Raters if you are interested in pursuing third-party verification. The green building practices listed below are described in the New Home Construction Green Building Guidelines available at www.builditgreen.org.

CADIENTE RESIDENCE - ADU

Points Available	Points Achieved	Community	Energy	IAQ/Health	Resources	Water
A. SITE						
1. Protect Topsoil and Minimize Disturbance of Existing Plants & Trees						
2	1					1
2. Decommission Instead of Demolishing Existing Buildings On Site						
3	0					3
3. Recycle On-Site Construction Waste (Including Green Waste)						
4	0					4
4. Use Recycled Content Aggregate (Minimum 25%)						
0	0					0
5. Walkway and Driveway						
0	0					0
6. Roadway Base						
0	0					0
Total Points Available in Site = 12						
B. FOUNDATION						
1. Replace Portland Cement in Concrete with Recycled Flyash or Slag						
0	0					0
2. Use Frost-Protected Shallow Foundation in Cold Areas (C.E.C. Climate Zone 18)						
0	0					0
3. Use Rust-Resistant Construction in At-Risk Locations Only						
0	0					0
4. Design and Build Structural Pest Controls						
0	0					0
5. Install Termite Shields & Separate All Exterior Wood to Concrete Connections by Metal or Plastic Fasteners/Dividers						
0	0					0
6. All New Plants Have Trunk, Base, or Stem Located At Least 36 Inches from Foundation						
0	0					0
Total Points Available in Foundation = 0						
C. LANDSCAPING						
1. Construct Resource-Efficient Landscaping						
0	0					0
2. Use Rust-Resistant Construction in At-Risk Locations Only						
0	0					0
3. Minimize Turf Areas in Landscaping Installed by Builder						
0	0					0
4. Plant Shade Trees						
0	0					0
5. Group Plants by Water Needs (Hydrozoning)						
0	0					0
6. Install High-Efficiency Irrigation Systems						
0	0					0
7. Incorporate Two Inches of Compost in the Top 6 to 12 Inches of Soil						
0	0					0
8. Match All Planting Beds to the Greater of 2 Inches or Local Water Ordinance Requirement						
0	0					0
9. Reduce Light Pollution by Shielding Fixtures and/or Directing Light Downward						
0	0					0
Total Points Available in Landscaping = 31						
D. STRUCTURAL FRAME & BUILDING ENVELOPE						
1. Apply Optimal Value Engineering						
0	0					0
2. Use Engineered Lumber						
0	0					0
3. Use FSC-Certified Wood						
0	0					0
4. Panel Products: Minimum 70%						
0	0					0
5. Dimensional Lumber, Studs and Timber: Minimum 40%						
0	0					0
6. Dimensional Lumber, Studs and Timber: Minimum 70%						
0	0					0
7. Panel Products: Minimum 40%						
0	0					0
8. Panel Products: Minimum 70%						
0	0					0
Total Points Available in Structural Frame & Building Envelope = 0						

CADIENTE RESIDENCE - ADU

Points Available	Points Achieved	Community	Energy	IAQ/Health	Resources	Water
4. Use Solid Wall Systems (Includes SIPs, ICFs, & Any Non-Stick Frame Assembly)						
0	0					0
6. Reduce Pollution Entering the Home from the Garage						
1	1					1
7. Design Energy Heats on Trusses (75% of Adic Insulation Height at Outside Edge of Exterior Wall)						
0	0					0
8. Use Recycled Content Steel Studs for 90% of Interior Wall Framing						
0	0					0
9. Thermal Mass Walls: 60-lb/cu yd on All Interior Walls or Walls Weighing more than 40 lbs/cu yd						
0	0					0
10. Install Overhangs and Gutters						
1	1					1
Total Points Available in Structural Building Frame and Envelope = 36						
E. EXTERIOR FINISH						
1. Use Recycled Content (No Virgin Plastics) or FSC-Certified Wood Decking						
0	0					0
2. Install a Rain Screen Wall System						
1	1					1
3. Use Durable and Noncombustible Siding Materials						
2	2					2
4. Select Durable and Noncombustible Roofing Materials						
2	2					2
Total Points Available in Exterior Finish = 7						
F. INSULATION						
1. Install Insulation with 75% Recycled Content						
1	1					1
2. Install Insulation that is Low-Emitting (Certified Section 01550)						
1	1					1
3. Inspect Quality of Insulation Installation before Applying Drywall						
1	1					1
Total Points Available in Insulation = 5						
G. PLUMBING						
1. Distribute Domestic Hot Water Efficiently (Maximum 7 Points)						
2	2					2
2. Install Only High Efficiency Toilets (Dual-Flush or 1.6 gpf)						
4	4					4
Total Points Available in Plumbing = 12						
H. HEATING, VENTILATION & AIR CONDITIONING						
1. Design and Install HVAC System per ACCA Manual J, D, and S Recommendations						
4	4					4
2. Install Sealed Combustion Units						
2	2					2
3. Install Low-Voltage Hydronic Radiant Heating with Slab Edge Insulation						
0	0					0
4. Install High Efficiency Air Conditioning with Environmentally Responsible Refrigerants						
1	1					1
5. Design and Install Effective Ductwork						
3	3					3
6. Install Mechanical Ventilation System or Cooling (Minimum 4 Points)						
1	1					1
7. Don't Install Fireplace or Install Sealed Gas Fireplaces with Efficiency Rating Not Less Than 60% using CSA Standards						
1	1					1
8. Install Effective Exhaust Systems in Bathrooms and Kitchens						
1	1					1
9. Install Mechanical Ventilation System for Cooling (Minimum 4 Points)						
1	1					1
10. Install Mechanical Fresh Air Ventilation System (Minimum 3 Points)						
0	0					0
11. Install Carbon Monoxide Alarm(s)						
1	1					1
Total Points Available in Heating, Ventilation and Air Conditioning = 30						
I. RENEWABLE ENERGY						
1. Pre-Plumb for Solar Hot Water Heating						
0	0					0
Total Points Available in Renewable Energy = 20						
Total Points Achieved 116						
Minimum Points Required in Specific Categories: 4+ 96+ 42+ 66+ 43+						
Total Points Available in Specific Categories: 0 30 5 6 9						
Total Points Achieved 116 4 40 26 13 25						

CADIENTE RESIDENCE - ADU

Points Available	Points Achieved	Community	Energy	IAQ/Health	Resources	Water
2. Install Solar Water Heating System						
0	0					0
3. Install Wiring Conduit for Future Photovoltaic Installation & Provide 200 ft of South Facing Roof						
0	0					0
4. Install Photovoltaic (PV) Panels						
0	0					0
Total Available Points in Renewable Energy = 20						
J. BUILDING PERFORMANCE						
1. Diagnostic Evaluations						
1	1					1
2. Design and Build High-Performance Homes - 1/2 above Title 24 - minimum 15% Required						
30	30					30
3. House Obtains ENERGY STAR with Indoor Air Package Certification - Pilot Measure (Total 45 points; read comment)						
0	0					0
Total Available Points in Building Performance = 32						
K. FINISHES						
1. Design Entrways to Reduce Tracked in Contaminants						
1	1					1
2. Use Low-VOC or Zero-VOC Paint (Maximum 3 Points)						
0	0					0
3. Use Low-VOC Water-Based Wood Finishes (VOC 500 g/L VOCs)						
2	2					2
4. Use Low-VOC Caulk and Construction Adhesives (VOC 500 g/L VOCs) for All Adhesives						
0	0					0
5. Use Recycled Content Paint						
0	0					0
6. Use Environmentally Preferable Materials for Interior Finish (A) FSC-Certified Wood, (B) Reclaimed, (C) Rapidly Renewable, (D) Recycled Content or (E) Fungal-Jetted						
0	0					0
7. Reduce Formaldehyde in Interior Finish (CA Section 01330)						
1	1					1
8. Air Insulation of Particles, Test of Indoor Air Shows Formaldehyde Level <27ppb						
0	0					0
Total Available Points in Finishes = 21						
L. FLOORING						
1. Use Environmentally Preferable Flooring (A) FSC-Certified Wood, (B) Reclaimed or Prefinished, (C) Rapidly Renewable, (D) Recycled-Content, (E) Exposed Concrete, Flooring Adhesives Must Have <50 g/L VOCs						
0	0					0
2. Thermal Mass Floors: Floor Covering Other than Carpet on 80% or More of Concrete Floors						
0	0					0
3. Flooring Meets Section 01350 or 020 Green Label Plus Requirements (20% Minimum)						
0	0					0
Total Available Points in Flooring = 0						
M. APPLIANCES AND LIGHTING						
1. Install Water and Energy Efficient Dishwasher						
1	1					1
2. Install ENERGY STAR Clothes Washing Machine with Water Factor 0.8 or Less						
3	3					3
3. Install ENERGY STAR Refrigerator						
0	0					0
4. Install Built-In Recycling Center						
0	0					0
Total Available Points in Appliances and Lighting = 4						
N. OTHER						
1. Incorporate GreenPoint Rated Checklist in Blueprints - Required						
0	0					0
2. Develop Homeowner Manual of Green Features/Benefits						
0	0					0
3. Community Design Measures & Local Practices: (See the Community Planning & Design section in Chapter 4 of the New Home Guidelines for measures. Minimum of 20 points for suggested measures. Local requirements may also be adopted.)						
0	0					0
Enter description here, and enter points available for measure in appropriate categories to the right.						
0	0					0
Enter description here, and enter points available for measure in appropriate categories to the right.						
0	0					0
Enter description here, and enter points available for measure in appropriate categories to the right.						
0	0					0

CADIENTE RESIDENCE - ADU

Points Available	Points Achieved	Community	Energy	IAQ/Health	Resources	Water
4. Innovation: List innovative measures that meet the green building objectives of the Guidelines. Enter up to a maximum combined total of 20 pts. See Innovation Checklist for suggested measures, using the link to the right.						
0	0					0
Build It Green Checklists and Guidelines						
Innovation in Community: Enter description here, and enter points available for measure in appropriate categories to the right.						
0	0					0
Innovation in Energy: Enter description here, and enter points available for measure in appropriate categories to the right.						
0	0					0
Innovation in IAQ/Health: Enter description here, and enter points available for measure in appropriate categories to the right.						
0	0					0
Innovation in Resources: Enter description here, and enter points available for measure in appropriate categories to the right.						
0	0					0
Innovation in Water: Enter description here, and enter points available for measure in appropriate categories to the right.						
0	0					0
Total Available Points in Other = 0						
Summary						
Total Available Points in Specific Categories: 4+ 96+ 42+ 66+ 43+						
Minimum Points Required in Specific Categories: 0 30 5 6 9						
Total Points Achieved 116 4 40 26 13 25						

Project has not yet met the following recommended minimum requirements:

Total Project Score of At Least 50 Points

NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
GREENPOINT RATED
CHECKLIST

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

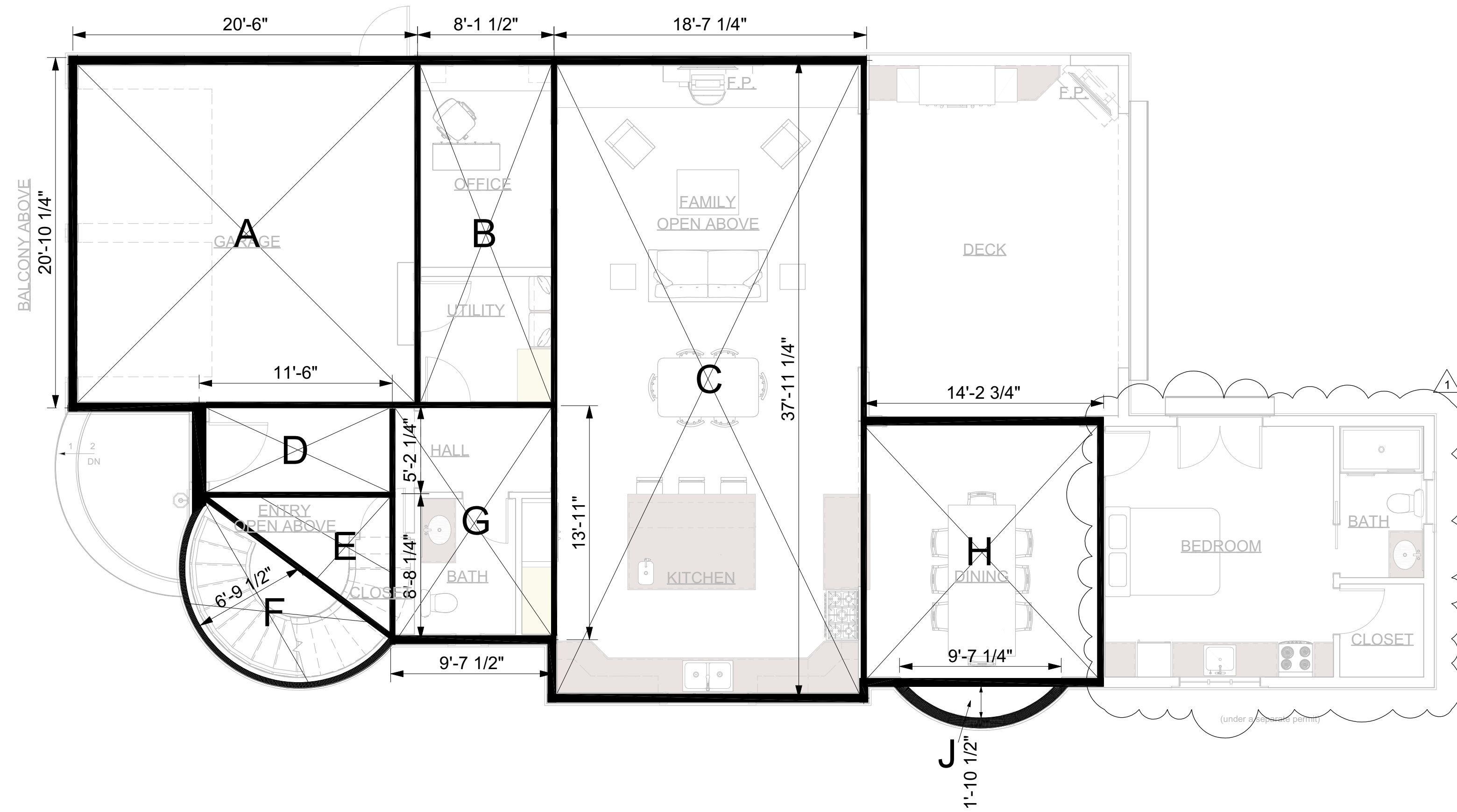
DRAWINGS PROVIDED BY:
DeMatti Construction, Inc.
1794 The Alameda, San Jose, CA 95126
P: (408) 295-7516
F: (408) 286-6589
LIC.# B-478455

DATE:
12/17/2018

SCALE:
As shown

DRAWN BY:
LL / JW

SHEET:
A0.2



FIRST FLOOR:

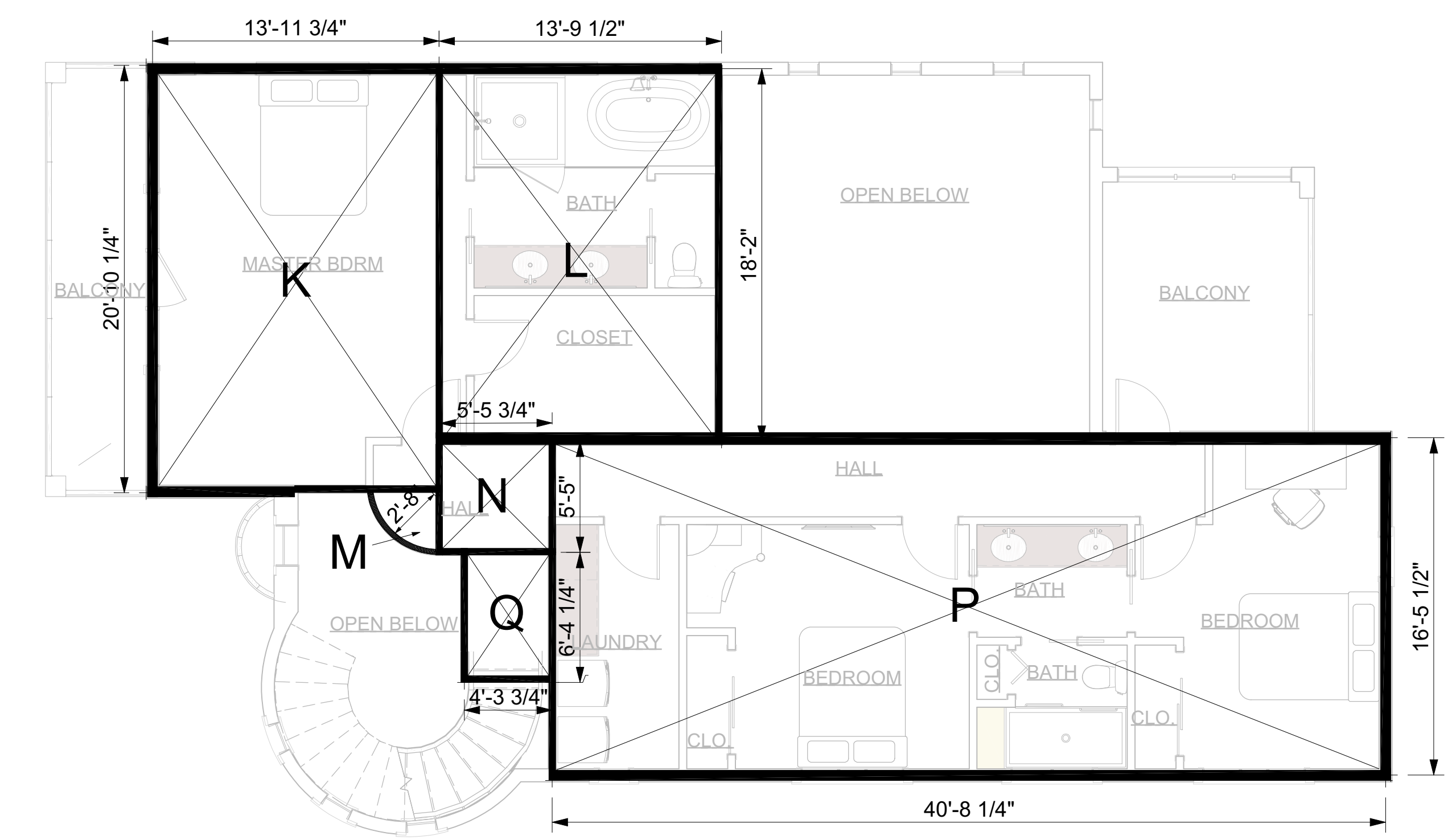
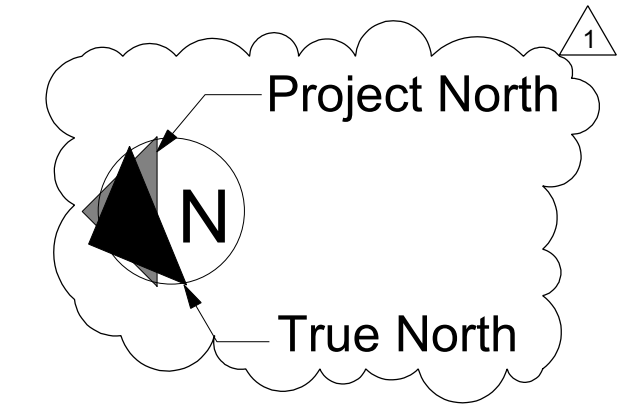
LETTER	WIDTH	LENGTH	AREA
B	8'-1 1/2"	20'-10 1/4"	167.58
C	18'-7 1/4"	37'-11 1/4"	705.80
D	11'-6"	5'-2 1/4"	59.66
E	11'-6"	8'-8 1/4"	49.95
F	radius=	6'-9 1/2"	72.46
G	9'-7 1/2"	13'-11"	133.95
H	14'-2 3/4"	15'-6 1/2"	221.14
J	radius=	1'-10 1/2"	14.55
FIRST FLOOR TOTAL			1,425.08 SF

SECOND FLOOR:

LETTER	WIDTH	LENGTH	AREA
K	13'-11 3/4"	20'-10 1/4"	291.52
L	13'-9 1/2"	18'-2"	250.55
M	radius=	2'-8"	5.59
N	5'-5 3/4"	5'-5"	29.68
P	40'-8 1/4"	16'-5 1/2"	669.65
Q	4'-3 3/4"	6'-4 1/4"	26.68
SECOND FLOOR TOTAL			1,273.67 SF

TOTAL FLOOR AREA 2,698.75 SF
 A - GARAGE FLOOR AREA 422.81 SF

1 PROPOSED FIRST FLOOR PLAN
 Scale: 3/16"=1'-0"



2 PROPOSED SECOND FLOOR PLAN
 Scale: 3/16"=1'-0"

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NO.	DESCRIPTION	BY	DATE
1	RESPONSES TO PLAN CHECK COMMENTS	LL	03/26/2019

SHEET TITLE:
FLOOR AREA DIAGRAMS

PROJECT DESCRIPTION:
Coulson Residence
 16336 Shady View Ln
 Los Gatos, CA 95032

DRAWINGS PROVIDED BY:
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 1794 The Alameda, San Jose CA, 95126
 P: (408) 285-7516
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 LIC.# B-476455

DATE:
 12/17/2018

SCALE:
 As shown

DRAWN BY:
 LL / JW

SHEET:

A1.0

TYPICAL NOTES:

BATHROOM ELECTRICAL:

- A. PROVIDE 20AMP DEDICATED BRANCH CIRCUIT TO SUPPLY THE BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED).
- B. ALL BRANCH CIRCUITS TO BE PROTECTED BY GROUND FAULT CIRCUIT INTERRUPTER (GFCI).

KITCHEN ELECTRICAL:

- A. ALL BRANCH CIRCUITS TO BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER(AFCI).
- B. PROVIDE AFCI AND GFCI PROTECTION AT ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS.
- C. AT EACH KITCHEN AND DINING AREA COUNTER SPACE WIDER THAN 12", LOCATE A RECEPTACLE SO THAT NO POINT ALONG THE COUNTER WALL IS OVER 24" FROM A RECEPTACLE. COUNTERTOP RECEPTACLES REQUIRED WITHIN 24" EACH SIDE OF A BREAK IN THE CONTINUOUS COUNTERTOP SURFACE (SINKS, STOVES).
- D. RECD RECEPTACLES MOUNTED ON THE SIDES OF CABINETS SHALL BE A MAXIMUM OF 12" BELOW THE COUNTERTOP SURFACE WITH A MAXIMUM OF 6" COUNTERTOP OVERHANG.
- E. PROVIDE AT LEAST TWO (2) 20 AMP CIRCUITS FOR COUNTER RECEPTACLES.

LAUNDRY ELECTRICAL:

- A. ALL BRANCH CIRCUITS TO BE PROTECTED BY ARC-FAULT (AFCI) CIRCUIT INTERRUPTER AND GROUND FAULT (GFCI) CIRCUIT INTERRUPTER.
- B. PROVIDE 20AMP DEDICATED BRANCH CIRCUIT TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET.
- C. MINIMUM 30 AMP DEDICATED CIRCUIT FOR DRYER PER CEC 220.54.

LAUNDRY/BATHROOM VENTILATION:

- FOR LAUNDRY ROOMS AND BATHROOMS WITHOUT AN OPERABLE WINDOW:
 - A. PROVIDE MECHANICAL VENTILATION SYSTEM CAPABLE OF 5 AIR CHANGES/HR. TO EXTERIOR.
 - B. USE SMOOTH METAL DUCT FOR DRYER EXHAUST WITH A MAX. LENGTH OF 14', TO OUTSIDE WITH BACKDRAFT DAMPER AND TWO 90° ELBOWS AND A MIN. OF 4" DIA.
 - C. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM PROPERTY LINES OR ANY OPENINGS INTO THE BUILDING (I.E., DRYERS, BATH AND UTILITY FANS, ETC., MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS).
 - D. EXHAUST FANS SHALL HAVE A MIN. OF 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION AND BE ENERGYSSTAR COMPLIANT AND BE EQUIPPED WITH A HUMIDISTAT AND HUMIDITY CONTROL. AND BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM.

HIGH EFFICACY LIGHTING:

- A. ALL LIGHTING SHALL BE HIGH EFFICACY AS DEFINED BY CEC TABLE 150.0-A
- B. ALL PERMANENTLY INSTALLED SCREW-BASED LIGHT FIXTURES SHALL CONTAIN SCREW-BASED JAB (JOINT APPENDIX B) COMPLIANT LAMPS AND BE MARKED AS JA8-2016 OR JA8-2016-E. CEC 150.0(K)(G)
- C. ALL JAB COMPLIANT LIGHT FIXTURES INSTALLED IN CEILING RECESSED DOWNLIGHTS, LED LUMINARIES WITH INTEGRAL SOURCES, PIN-BASED LED LAMPS, AND GU24 BASED LED LIGHT SOURCES SHALL BE CONTROLLED BY VACANCY SENSORS OR DIMMERS.
- D. AT LEAST ONE FIXTURE IN EACH BATHROOM, GARAGE, LAUNDRY ROOM, AND UTILITY ROOM SHALL BE CONTROLLED BY A VACANCY SENSOR.
- E. ALL LIGHTING SHALL BE SWITCHED SEPARATELY FROM EXHAUST FANS (EXCEPT FOR KITCHEN EXHAUST HOODS).
- F. ALL UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
- G. GARAGE, LAUNDRY, AND UTILITY ROOMS: LIGHTING INSTALLED IN GARAGES, LAUNDRY, AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND CONTROLLED BY VACANCY SENSORS.
- H. HIGH EFFICACY LIGHTING IS NOT REQUIRED IN CLOSETS OF LESS THAN 70 SF.
- I. OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING SHALL BE HIGH EFFICACY AND CONTROLLED WITH A MANUAL ON/OFF SWITCH AND BY PHOTO CONTROL AND A MOTION SENSOR. PER ENERGY 110.9.
- J. ALL OTHER ROOMS: LIGHTING INSTALLED IN ALL OTHER ROOMS SHALL BE HIGH EFFICACY OR SHALL BE CONTROLLED BY EITHER DIMMERS AND VACANCY SENSORS.

CARBON MONOXIDE ALARMS:

- CARBON MONOXIDE ALARMS REQUIRED BY SECTION 420.6.2 SHALL BE INSTALLED AND MAINTAINED IN THE FOLLOWING LOCATIONS:
 - A. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM (S).
 - B. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
 - C. IN GROUP R-1 OCCUPANCIES, ON THE CEILING OF EVERY SLEEPING UNIT OR OTHER LOCATIONS WITHIN THE SLEEPING UNIT IN COMPLIANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - D. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH BATTERY BACK-UP ALARM WIRING SHALL BE DIRECTLY CONNECTED TO THE PERMANENT BUILDING WIRING WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
 - E. WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN THE DWELLING UNIT OR WITHIN A SLEEPING UNIT, THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
 - F. CARBON MONOXIDE ALARMS SHALL BE LISTED AND COMPLY WITH UL 2034 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND MANUFACTURERS INSTRUCTIONS.

SMOKE DETECTORS:

- A. SMOKE DETECTOR SYSTEM SHALL BE HARD WIRED, INTERCONNECTED TO SOUND SIMULTANEOUSLY AND EQUIPPED WITH BATTERY BACKUP.
- B. INSTALL DETECTORS IN EACH BEDROOM, AT EACH CORRIDOR/AREA NEXT TO THE BEDROOM, AT THE TOP OF STAIRS AND EACH STORY AND BASEMENT.
- C. MULTIPLE SMOKE DETECTORS ARE REQUIRED WHEN CEILING LEVELS/ ELEVATIONS CHANGE OR ARE INTERRUPTED BY ARCHITECTURAL ELEMENTS (CASED OPENINGS, ARCHWAYS, SKYLIGHT WELLS, ETC.).
- D. SMOKE DETECTORS SHALL BE LISTED AND COMPLY WITH UL 217 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND MANUFACTURERS INSTRUCTIONS.

PLUMBING:

- A. ALL NEW TOILETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME NOT TO EXCEED 1.28 GALLONS PER FLUSH.
- B. ALL NEW LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.2 GALLONS PER MINUTE AT 60 PSI.
- C. ALL NEW SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.
- D. ALL NEW KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

BATHROOM:

- A. WATER CLOSETS SHALL BE LOCATED IN SPACES NOT LESS THAN 30" IN WIDTH AND 24" IN FRONT.
- B. WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER. CRC 702.3.7.1
- C. BACKER FOR SHOWER AND TUB SHOWER WALLS TO BE FIBER-CEMENT, FIBER REINFORCED CEMENTITIOUS BACKER UNITS, GLASS MAT GYPSUM BACKERS OR FIBER-REINFORCED GYPSUM BACKERS TO A MIN HEIGHT OF 72" ABOVE THE FLOOR.
- D. USE 2X8 WOODEN BACKING IN ALL BATHROOM WALLS AT WATER CLOSET SHOWER AND BATHTUB, LOCATED AT 34" FROM FLOOR TO CENTER OF THE BACKING SUITABLE FOR THE ADDITION OF GRAB BARS.
- E. DOORS AND PANELS OF TUB AND SHOWER ENCLOSURES SHALL BE FULLY TEMPERED LAMINATED SAFETY GLASS OR APPROVED PLASTIC.
- F. SHOWER COMPARTMENTS SHALL HAVE MIN INTERIOR FLOOR AREA OF 1024 SQ IN AND ABLE TO CONTAIN A 30" DIA. CIRCLE.
- G. SHOWER AND TUB SHOWER COMBINATION IN ALL BUILDING SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.

ATTIC/UNDERFLOOR INSTALLED FAU:

- A. UNIT SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY NOT LESS THAN THE LARGEST COMPONENT OF THE UNIT AND NOT LESS THAN 22"x30"
- B. THE DISTANCE FROM THE PASSAGEWAY ACCESS TO THE UNIT SHALL NOT EXCEED 20'
- C. THE WIDTH OF THE PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE SOLID FLOORING NOT LESS THAN 24" WIDE FROM THE ENTRANCE OPENING TO THE UNIT.
- D. LEVEL WORKING PLATFORM NOT LESS THAN 30" BY 30" SHALL BE PROVIDED IN FRONT OF THE SERVICE SIDE OF THE UNIT.
- E. A PERMANENT 120V RECEPTACLE OUTLET AND A LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE UNIT. THE SWITCH CONTROLLING THE LIGHTING FIXTURE SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGEWAY.

KITCHEN VENTILATION:

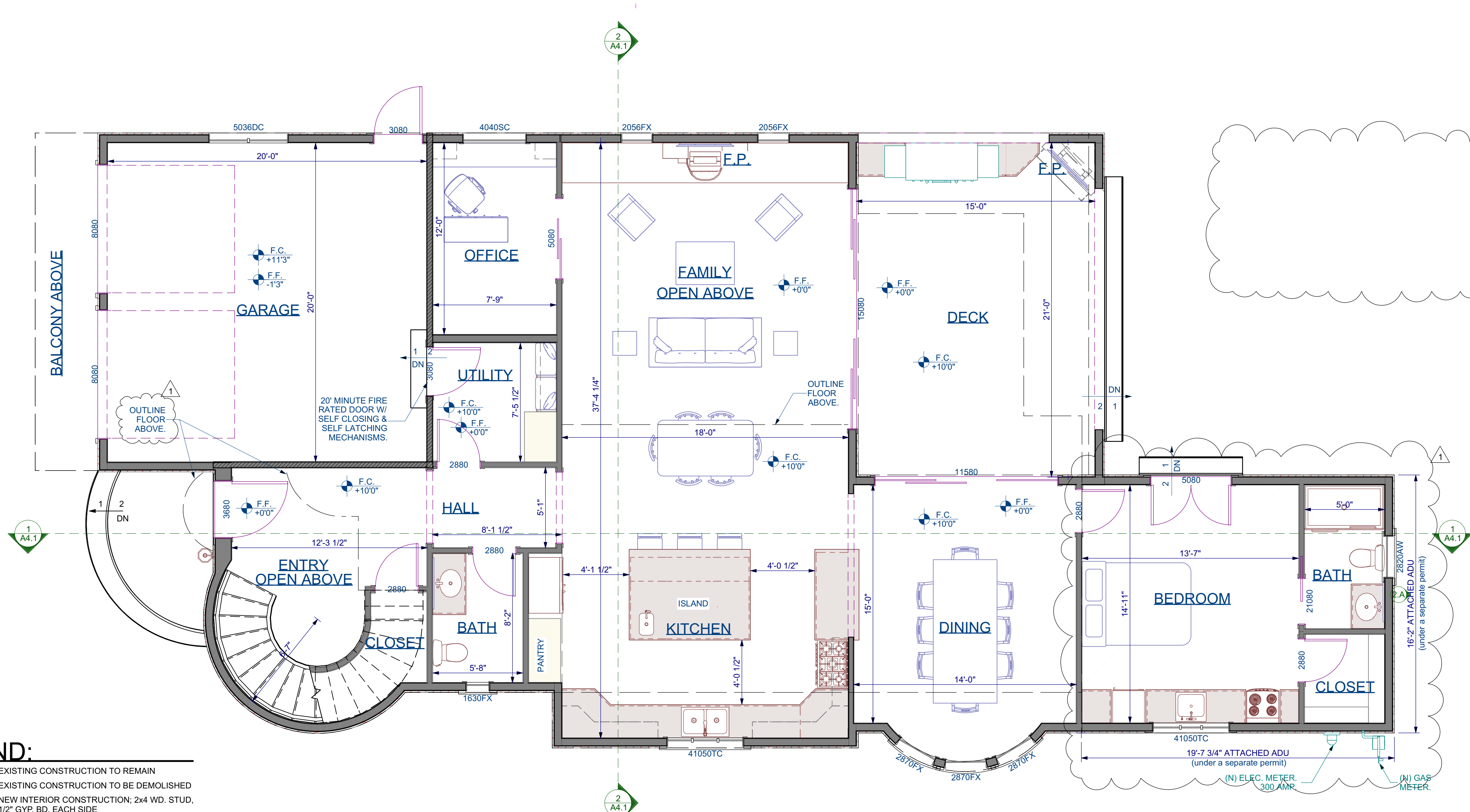
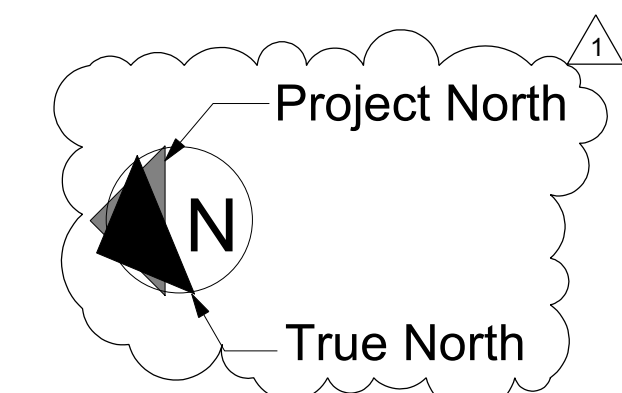
- WHERE COMBUSTION APPLIANCES OR SOLID-FUEL BURNING APPLIANCES ARE LOCATED INSIDE THE PRESSURE BOUNDARY, THE MAXIMUM ALLOWABLE NET EXHAUST FLOW OF THE TWO LARGEST EXHAUST FANS SHALL NOT EXCEED 15 CFM PER 100 SQ. FT. OF OCCUPIABLE SPACE, WHEN OPERATING AT FULL CAPACITY. IF THE DESIGNED TOTAL NET FLOW EXCEEDS THIS LIMIT, THE NET EXHAUST FLOW MUST BE REDUCED BY REDUCING THE EXHAUST FLOW OR PROVIDING COMPENSATING OUT-DOOR AIRFLOW (NOTE: IF MAKE-UP AIR FAN IS INSTALLED IT MUST BE ELECTRICALLY INTERLOCKED WITH THE LARGEST EXHAUST FAN)

ELECTRIC VEHICLE (EV) CHARGING:

- ELECTRIC VEHICLE SUPPLY EQUIPMENT SHALL BE INSTALLED TO FACILITATE THE FUTURE INSTALLATION OF AN EV CHARGING DEVICE AND MUST COMPLY WITH THE FOLLOWING:
 - A. A LISTED TRADE SIZE 1 RACEWAY SHALL BE INSTALLED TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE FROM THE MAIN SERVICE PANEL OR SUB PANEL AND TERMINATES INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE FUTURE CHARGING DEVICE.
 - B. THE SERVICE PANEL AND/OR SUB PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMP MIN. BRANCH CIRCUIT AND SPACE RESERVED TO ACCOMMODATE A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
 - C. THE ELECTRICAL PANEL SCHEDULE SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE".
 - D. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

TOWN STANDARDS:

- RESIDENTIAL ACCESSIBILITY
 - A. ALL PASSAGE DOOR SHALL BE AT LEAST 32 INCH DOORS ON THE ACCESSIBLE FLOOR LEVEL.
 - B. THE PRIMARY ENTRANCE DOOR SHALL BE A 36 INCH WIDE DOOR INCLUDING A 5'X5' LEVEL LANDING, MORE THAN 1 INCH OUT OF PLANE WITH THE IMMEDIATE INTERIOR FLOOR LEVEL AND WITH AN 18 INCH CLEARANCE AT INTERIOR STRIKE EDGE.
 - C. A DOOR BUZZER, BELL OR CHIME SHALL BE HARD WIRED AT PRIMARY ENTRANCE.
- FIREPLACE:
 - A. NEW WOOD BURNING FIREPLACES SHALL BE AN EPA PHASE II APPROVED APPLIANCES OR GAS APPLIANCE PER TOWN ORDINANCE 1905. TREE LIMBS SHALL BE CUT WITHIN 10 FEET OF CHIMNEYS.



LEGEND:

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW INTERIOR CONSTRUCTION: 2x4 WD. STUD, 1/2" GYP. BD. EACH SIDE
- NEW EXTERIOR CONSTRUCTION
- NEW 1-HR FIRE RATED WALL: 2x4 WD. STUD, 5/8" TYPE "X" GYP. BD. EACH SIDE. SEE PLAN FOR LOCATIONS.

1 PROPOSED FIRST FLOOR PLAN
Scale: 1/4"=1'-0"

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NO.	DESCRIPTION	DATE	BY
1	RESPONSES TO PLAN CHECK COMMENTS	03/26/2019	LL

SHEET TITLE:
PROPOSED FIRST FLOOR PLAN

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

DRAWINGS PROVIDED BY:
DeMatti Construction, Inc.
1794 The Alameda, San Jose CA, 95126
P: (408) 285-7516
F: (408) 286-6589
LIC.# B-476455

DATE:
12/17/2018

SCALE:
As shown

DRAWN BY:
LL / JW

SHEET:
A2.1

PLANNING SET 7/18/2019

TYPICAL NOTES:

BATHROOM ELECTRICAL:

- A. PROVIDE 20AMP DEDICATED BRANCH CIRCUIT TO SUPPLY THE BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED).
- B. ALL BRANCH CIRCUITS TO BE PROTECTED BY GROUND FAULT CIRCUIT INTERRUPTER (GFCI).

KITCHEN ELECTRICAL:

- A. ALL BRANCH CIRCUITS TO BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER(AFCI).
- B. PROVIDE AFCI AND GFCI PROTECTION AT ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS.
- C. AT EACH KITCHEN AND DINING AREA COUNTER SPACE WIDER THAN 12". LOCATE A RECEPTACLE SO THAT NO POINT ALONG THE COUNTER WALL IS OVER 24" FROM A RECEPTACLE. COUNTERTOP RECEPTACLES REQUIRED WITHIN 24" EACH SIDE OF A BREAK IN THE CONTINUOUS COUNTERTOP SURFACE (SINKS, STOVES).
- D. RECD RECEPTACLES MOUNTED ON THE SIDES OF CABINETS SHALL BE A MAXIMUM OF 12" BELOW THE COUNTERTOP SURFACE WITH A MAXIMUM OF 6" COUNTERTOP OVERHANG.
- E. PROVIDE AT LEAST TWO (2) 20 AMP CIRCUITS FOR COUNTER RECEPTACLES.

LAUNDRY ELECTRICAL:

- A. ALL BRANCH CIRCUITS TO BE PROTECTED BY ARC-FAULT (AFCI) CIRCUIT INTERRUPTER AND GROUND FAULT (GFCI) CIRCUIT INTERRUPTER.
- B. PROVIDE 20AMP DEDICATED BRANCH CIRCUIT TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET.
- C. MINIMUM 30 AMP DEDICATED CIRCUIT FOR DRYER PER CEC 220.54.

LAUNDRY/BATHROOM VENTILATION:

FOR LAUNDRY ROOMS AND BATHROOMS WITHOUT AN OPERABLE WINDOW:

- A. PROVIDE MECHANICAL VENTILATION SYSTEM CAPABLE OF 5 AIR CHANGES/HR. TO EXTERIOR.
- B. USE SMOOTH METAL DUCT FOR DRYER EXHAUST WITH A MAX. LENGTH OF 14', TO OUTSIDE WITH BACKDRAFT DAMPER AND TWO 90° ELBOWS AND A MIN. OF 4" DIA.
- C. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM PROPERTY LINES OR ANY OPENINGS INTO THE BUILDING (I.E. DRYERS, BATH AND UTILITY FANS, ETC., MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS).
- D. EXHAUST FANS SHALL HAVE A MIN. OF 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION AND BE ENERGYSTAR COMPLIANT AND BE EQUIPPED WITH A HUMIDISTAT AND HUMIDITY CONTROL. AND BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM.

HIGH EFFICACY LIGHTING:

- A. ALL LIGHTING SHALL BE HIGH EFFICACY AS DEFINED BY CEC TABLE 150.0-A
- B. ALL PERMANENTLY INSTALLED SCREW-BASED LIGHT FIXTURES SHALL CONTAIN SCREW-BASED JAB (JOINT APPENDIX 8) COMPLIANT LAMPS AND BE MARKED AS JA8-2016 OR JA8-2016-E. CEC 150.0(K)(G)
- C. ALL JA8 COMPLIANT LIGHT FIXTURES INSTALLED IN CEILING RECESSED DOWNLIGHTS, LED LUMINARIES WITH INTEGRAL SOURCES, PIN-BASED LED LAMPS, AND GU24 BASED LED LIGHT SOURCES SHALL BE CONTROLLED BY VACANCY SENSORS OR DIMMERS.
- D. AT LEAST ONE FIXTURE IN EACH BATHROOM, GARAGE, LAUNDRY ROOM, AND UTILITY ROOM SHALL BE CONTROLLED BY A VACANCY SENSOR.
- E. ALL LIGHTING SHALL BE SWITCHED SEPARATELY FROM EXHAUST FANS (EXCEPT FOR KITCHEN EXHAUST HOODS).
- F. ALL UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
- G. GARAGE, LAUNDRY, AND UTILITY ROOMS: LIGHTING INSTALLED IN GARAGES, LAUNDRY, AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND CONTROLLED BY VACANCY SENSORS.
- H. HIGH EFFICACY LIGHTING IS NOT REQUIRED IN CLOSETS OF LESS THAN 70 SF.
- I. OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING SHALL BE HIGH EFFICACY AND CONTROLLED WITH A MANUAL ON/OFF SWITCH AND BY PHOTO CONTROL AND A MOTION SENSOR. PER ENERGY 110.9.
- J. ALL OTHER ROOMS: LIGHTING INSTALLED IN ALL OTHER ROOMS SHALL BE HIGH EFFICACY OR SHALL BE CONTROLLED BY EITHER DIMMERS OR VACANCY SENSORS.

CARBON MONOXIDE ALARMS:

CARBON MONOXIDE ALARMS REQUIRED BY SECTION 420.6.2 SHALL BE INSTALLED AND MAINTAINED IN THE FOLLOWING LOCATIONS:

- A. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM (S).
- B. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
- C. IN GROUP R-1 OCCUPANCIES, ON THE CEILING OF EVERY SLEEPING UNIT OR OTHER LOCATIONS WITHIN THE SLEEPING UNIT IN COMPLIANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- D. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH BATTERY BACK-UP. ALARM WIRING SHALL BE DIRECTLY CONNECTED TO THE PERMANENT BUILDING WIRING WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
- E. WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN THE DWELLING UNIT OR WITHIN A SLEEPING UNIT, THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
- F. CARBON MONOXIDE ALARMS SHALL BE LISTED AND COMPLY WITH UL 2034 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND MANUFACTURERS INSTRUCTIONS.

SMOKE DETECTORS:

- A. SMOKE DETECTOR SYSTEM SHALL BE HARD WIRED, INTERCONNECTED TO SOUND SIMULTANEOUSLY AND EQUIPPED WITH BATTERY BACKUP.
- B. INSTALL DETECTORS IN EACH BEDROOM, AT EACH CORRIDOR/AREA NEXT TO THE BEDROOM, AT THE TOP OF STAIRS AND EACH STORY AND BASEMENT.
- C. MULTIPLE SMOKE DETECTORS ARE REQUIRED WHEN CEILING LEVELS/ ELEVATIONS CHANGE OR ARE INTERRUPTED BY ARCHITECTURAL ELEMENTS (CASED OPENINGS, ARCHWAYS, SKYLIGHT WELLS, ETC.).
- D. SMOKE DETECTORS SHALL BE LISTED AND COMPLY WITH UL 217 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND MANUFACTURERS INSTRUCTIONS.

PLUMBING:

- A. ALL NEW TOILETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME NOT TO EXCEED 1.28 GALLONS PER FLUSH.
- B. ALL NEW LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.2 GALLONS PER MINUTE AT 60 PSI.
- C. ALL NEW SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.
- D. ALL NEW KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

BATHROOM:

- A. WATER CLOSETS SHALL BE LOCATED IN SPACES NOT LESS THAN 30" IN WIDTH AND 24" IN FRONT.
- B. WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER. CRC 702.3.1
- C. BACKER FOR SHOWER AND TUB SHOWER WALLS TO BE FIBER-CEMENT, FIBER REINFORCED CEMENTITIOUS BACKER UNITS, GLASS MAT GYPSUM BACKERS OR FIBER-REINFORCED GYPSUM BACKERS TO A MIN HEIGHT OF 72" ABOVE THE FLOOR.
- D. USE 2X8 WOODEN BACKING IN ALL BATHROOM WALLS AT WATER CLOSET SHOWER AND BATHTUB, LOCATED AT 34" FROM FLOOR TO CENTER OF THE BACKING SUITABLE FOR THE ADDITION OF GRAB BARS.
- E. DOORS AND PANELS OF TUB AND SHOWER ENCLOSURES SHALL BE FULLY TEMPERED LAMINATED SAFETY GLASS OR APPROVED PLASTIC.
- F. SHOWER COMPARTMENTS SHALL HAVE MIN INTERIOR FLOOR AREA OF 1024 SQ IN AND ABLE TO CONTAIN A 30" DIA. CIRCLE.
- G. SHOWER AND TUB SHOWER COMBINATION IN ALL BUILDING SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.

ATTIC/UNDERFLOOR INSTALLED FAU:

- A. UNIT SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY NOT LESS THAN THE LARGEST COMPONENT OF THE UNIT AND NOT LESS THAN 22"x30" FLOOR LEVEL.
- B. THE DISTANCE FROM THE PASSAGEWAY ACCESS TO THE UNIT SHALL NOT EXCEED 20'
- C. THE WIDTH OF THE PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE SOLID FLOORING NOT LESS THAN 24" WIDE FROM THE ENTRANCE OPENING TO THE UNIT.
- D. A LEVEL WORKING PLATFORM NOT LESS THAN 30" BY 30" SHALL BE PROVIDED IN FRONT OF THE SERVICE SIDE OF THE UNIT.
- E. A PERMANENT 120V RECEPTACLE OUTLET AND A LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE UNIT. THE SWITCH CONTROLLING THE LIGHTING FIXTURE SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGEWAY.

KITCHEN VENTILATION:

WHERE COMBUSTION APPLIANCES OR SOLID-FUEL BURNING APPLIANCES ARE LOCATED INSIDE THE PRESSURE BOUNDARY, THE MAXIMUM ALLOWABLE NET EXHAUST FLOW OF THE TWO LARGEST EXHAUST FANS SHALL NOT EXCEED 15 CFM PER 100 SQ. FT. OF OCCUPIABLE SPACE, WHEN OPERATING AT FULL CAPACITY. IF THE DESIGNED TOTAL NET FLOW EXCEEDS THIS LIMIT, THE NET EXHAUST FLOW MUST BE REDUCED BY REDUCING THE EXHAUST FLOW OR PROVIDING COMPENSATING OUT-DOOR AIRFLOW (NOTE: IF MAKE-UP AIR FAN IS INSTALLED IT MUST BE ELECTRICALLY INTERLOCKED WITH THE LARGEST EXHAUST FAN)

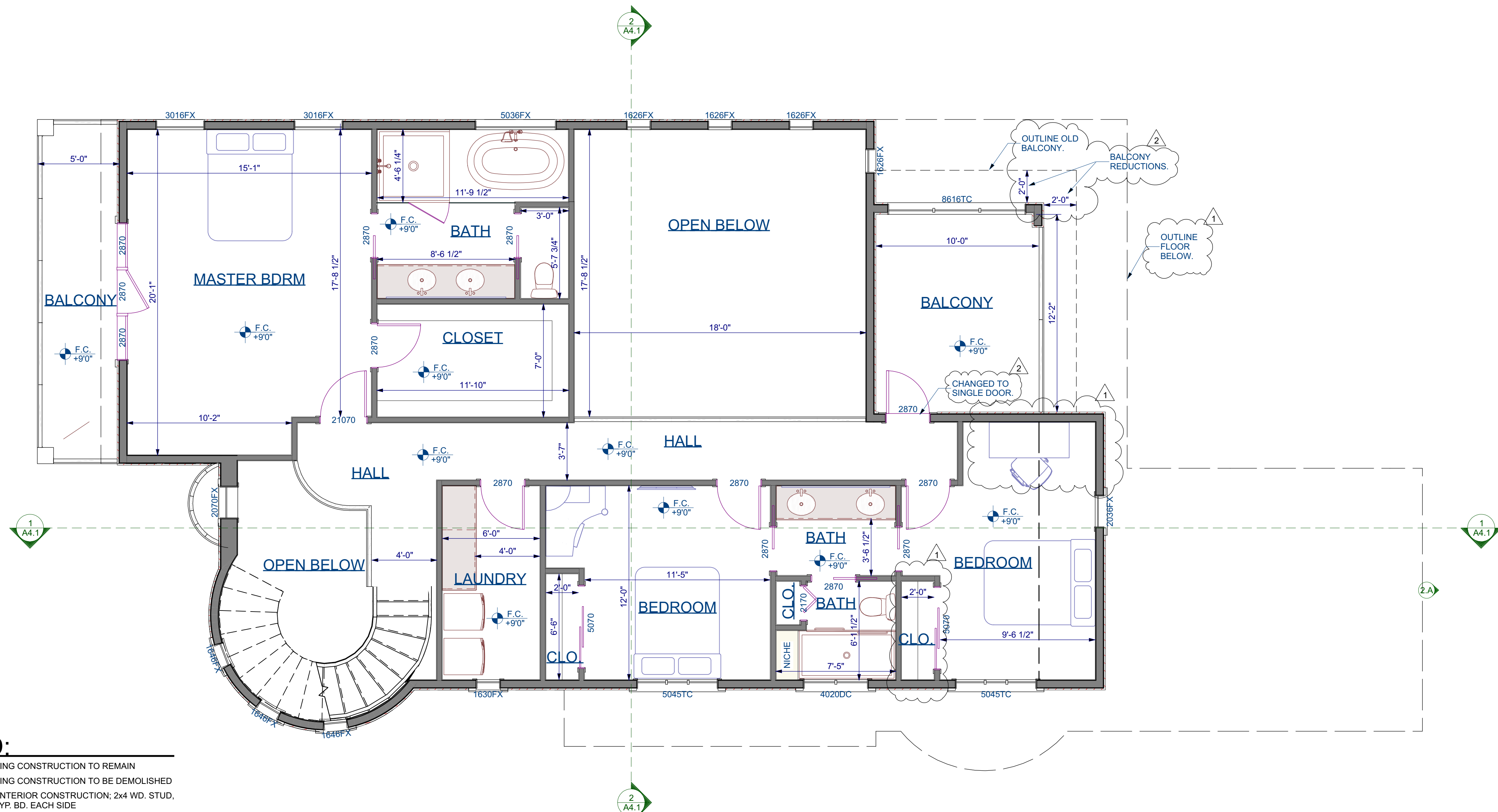
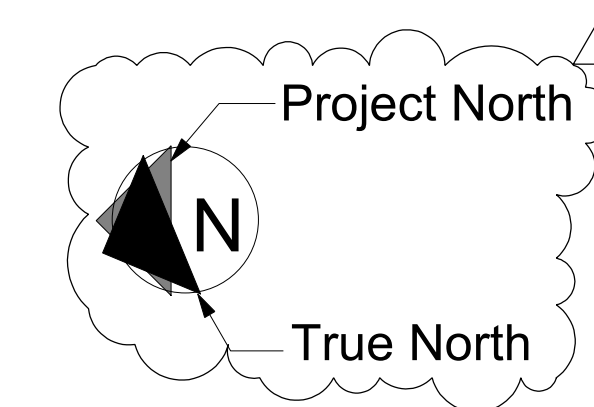
ELECTRIC VEHICLE (EV) CHARGING:

ELECTRIC VEHICLE SUPPLY EQUIPMENT SHALL BE INSTALLED TO FACILITATE THE FUTURE INSTALLATION OF AN EV CHARGING DEVICE AND MUST COMPLY WITH THE FOLLOWING:

- A. A LISTED TRADE SIZE 1 RACEWAY SHALL BE INSTALLED TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE FROM THE MAIN SERVICE PANEL OR SUB PANEL AND TERMINATES INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE FUTURE CHARGING DEVICE.
- B. THE SERVICE PANEL AND/OR SUB PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMP MIN. BRANCH CIRCUIT AND SPACE RESERVED TO ACCOMMODATE A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
- C. THE ELECTRICAL PANEL SCHEDULE SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE".
- D. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

TOWN STANDARDS:

- RESIDENTIAL ACCESSIBILITY
- A. ALL PASSAGE DOOR SHALL BE AT LEAST 32 INCH DOORS ON THE ACCESSIBLE FLOOR LEVEL.
 - B. THE PRIMARY ENTRANCE DOOR SHALL BE A 36 INCH WIDE DOOR INCLUDING A 5'X5' LEVEL LANDING, MORE THAN 1 INCH OUT OF PLANE WITH THE IMMEDIATE INTERIOR FLOOR LEVEL AND WITH AN 18 INCH CLEARANCE AT INTERIOR STRIKE EDGE.
 - C. A DOOR BUZZER, BELL OR CHIME SHALL BE HARD WIRED AT PRIMARY ENTRANCE.
- FIREPLACE:
- A. NEW WOOD BURNING FIREPLACES SHALL BE AN EPA PHASE II APPROVED APPLIANCES OR GAS APPLIANCE PER TOWN ORDINANCE 1905. TREE LIMBS SHALL BE CUT WITHIN 10 FEET OF CHIMNEYS.



LEGEND:

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW INTERIOR CONSTRUCTION, 2x4 WD. STUD, 1/2" GYP. BD. EACH SIDE
- NEW EXTERIOR CONSTRUCTION.
- NEW 1-HR FIRE RATED WALL, 2x4 WD. STUD, 5/8" TYPE "X" GYP. BD. EACH SIDE. SEE PLAN FOR LOCATIONS.

1 PROPOSED SECOND FLOOR PLAN
Scale: 1/4"=1'-0"

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NO.	DESCRIPTION	DATE	BY
1	RESPONSES TO PLAN CHECK COMMENTS	03/26/2019	LL

SHEET TITLE: **PROPOSED SECOND FLOOR PLAN**

PROJECT DESCRIPTION: **Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032**

DRAWINGS PROVIDED BY: **DeMatti Construction, Inc.**
1794 The Alameda, San Jose CA, 95126
P: (408) 295-7516
F: (408) 286-6589
LIC.# B-476455

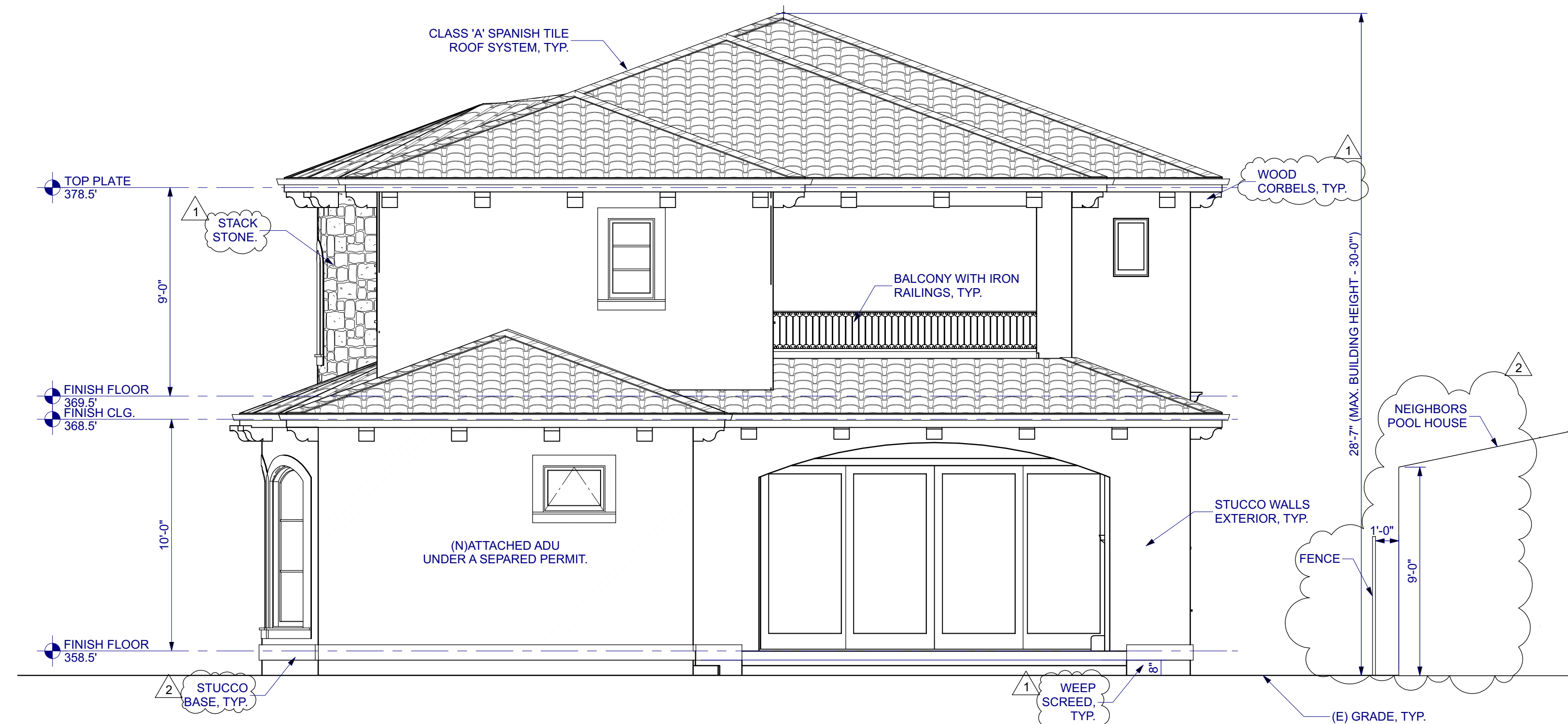
DATE: 12/17/2018

SCALE: As shown

DRAWN BY: LL / JW

SHEET: **A2.2**

PLANNING SET 7/18/2019



2 SOUTH REAR EXTERIOR ELEVATION
Scale: 1/4"=1'-0"



1 NORTH FRONT EXTERIOR ELEVATION
Scale: 1/4"=1'-0"

NOTES:
A DECORATIVE WOOD, IGNITION-RESISTANT, FIRE-RETARDANT-TREATED WOOD PER SFM STANDARD 12-7A-5, ASTM E84. SEE DETAIL 7/A4.2

DISCLAIMER:
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NO.	DESCRIPTION	BY	DATE
1	RESPONSES TO PLAN CHECK COMMENTS	LL	03/26/2019
2	RESPONSES TO PLAN CHECK COMMENTS	LL	07/09/2019

SHEET TITLE:
PROPOSED EXTERIOR ELEVATIONS

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

DRAWINGS PROVIDED BY:
DeMatti Construction, Inc.
1794 The Alameda, San Jose CA, 95126
P: (408) 285-7516
F: (408) 286-6589
LIC.# B-476455

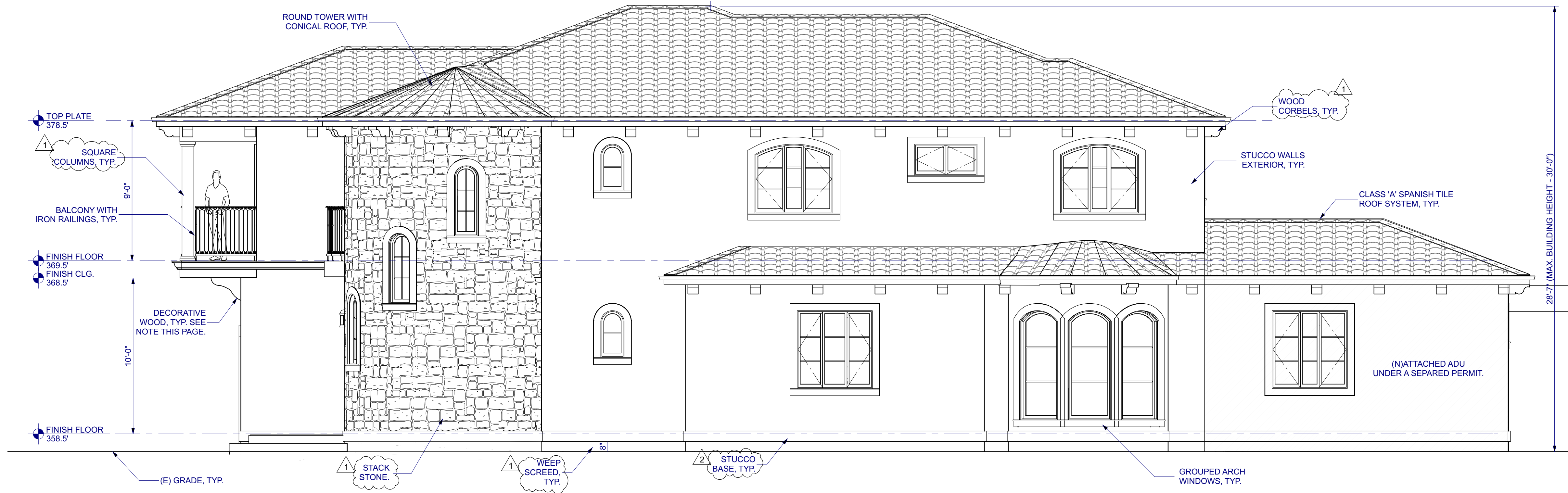
DATE:
12/17/2018

SCALE:
As shown

DRAWN BY:
LL / JW

SHEET:

A3.1



2 WEST RIGHT EXTERIOR ELEVATION
Scale: 1/4"=1'-0"



1 EAST LEFT EXTERIOR ELEVATION
Scale: 1/4"=1'-0"

NOTES:
A DECORATIVE WOOD, IGNITION-RESISTANT, FIRE-RETARDANT-TREATED WOOD PER SFM STANDARD 12-7A-5, ASTM E84. SEE DETAIL 7/A4.2

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NO.	DESCRIPTION	DATE	BY
1	RESPONSES TO PLAN CHECK COMMENTS	03/26/2019	LL
2	RESPONSES TO PLAN CHECK COMMENTS	07/09/2019	LL

SHEET TITLE:
PROPOSED EXTERIOR ELEVATIONS

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

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P: (408) 295-7516
F: (408) 286-6589
LIC.# B-476455

DATE:
12/17/2018

SCALE:
As shown

DRAWN BY:
LL / JW

SHEET:

A3.2



2 BUILDING SECTION
Scale: 1/4"=1'-0"



1 BUILDING SECTION
Scale: 1/4"=1'-0"

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NO.	DESCRIPTION	BY	DATE
1	RESPONSES TO PLAN CHECK COMMENTS	LL	03/26/2019

SHEET TITLE:
PROPOSED SECTIONS

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

DRAWINGS PROVIDED BY:
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1794 The Alameda, San Jose CA, 95126
P: (408) 285-7516
F: (408) 286-6589
LIC.# B-478455

DATE:
12/17/2018

SCALE:
As shown

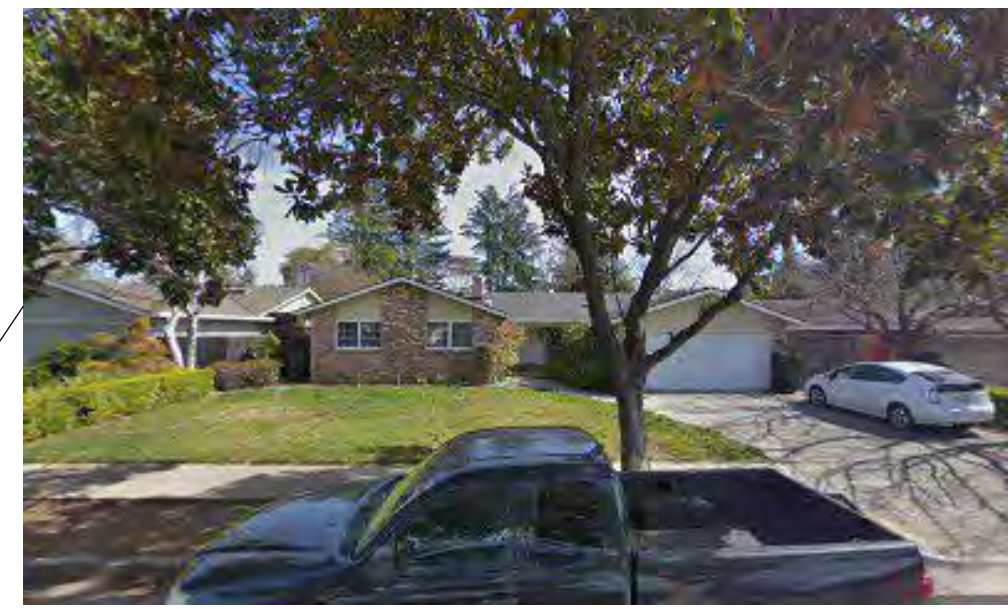
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LL / JW

SHEET:

A4.1



100 HILOW CT.



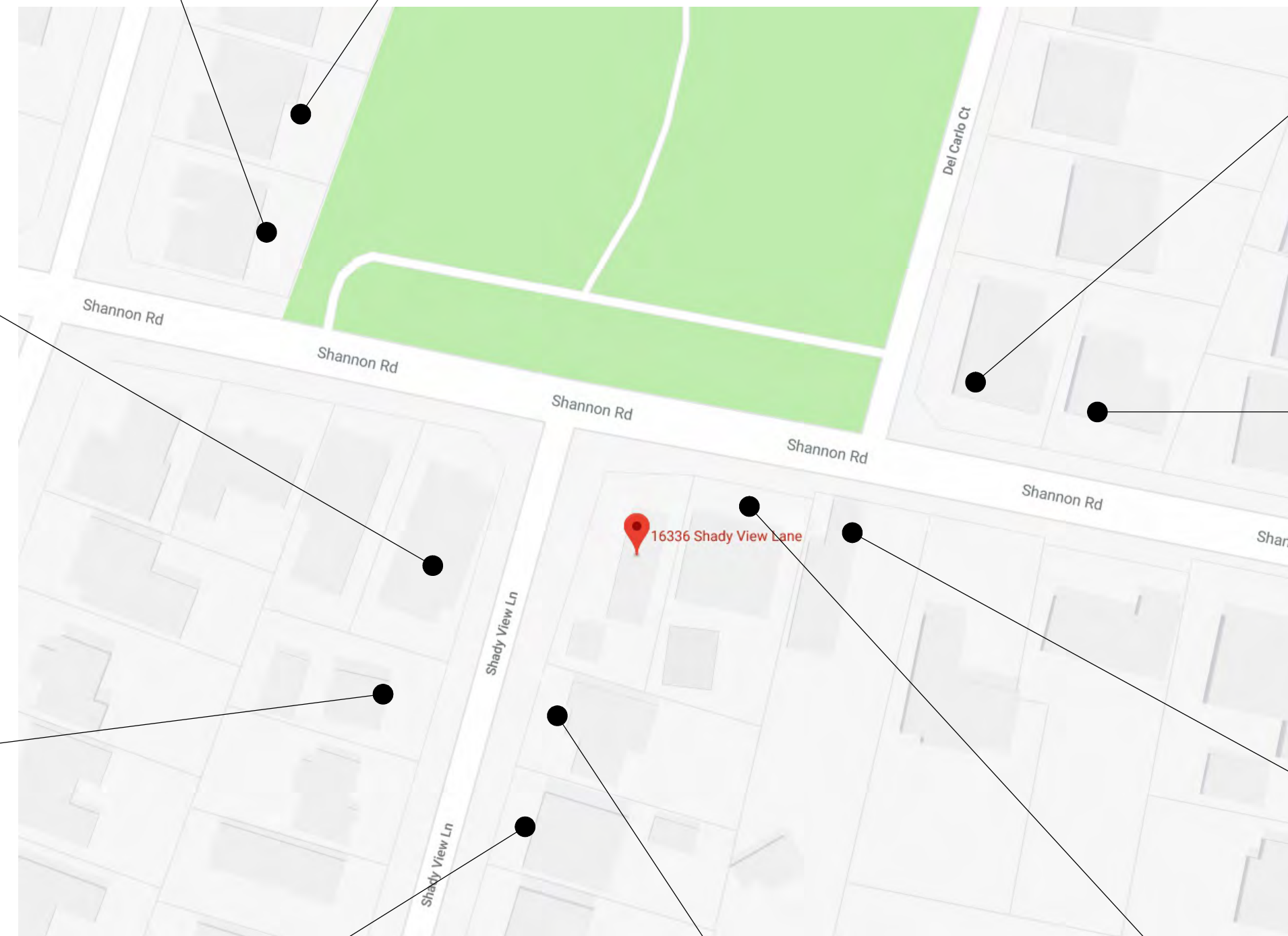
104 HILOW CT.



100 DEL CARLO CT.



16337 SHADY VIEW LN.



PROJECT VICINITY MAP.



16311 SHANNON RD.



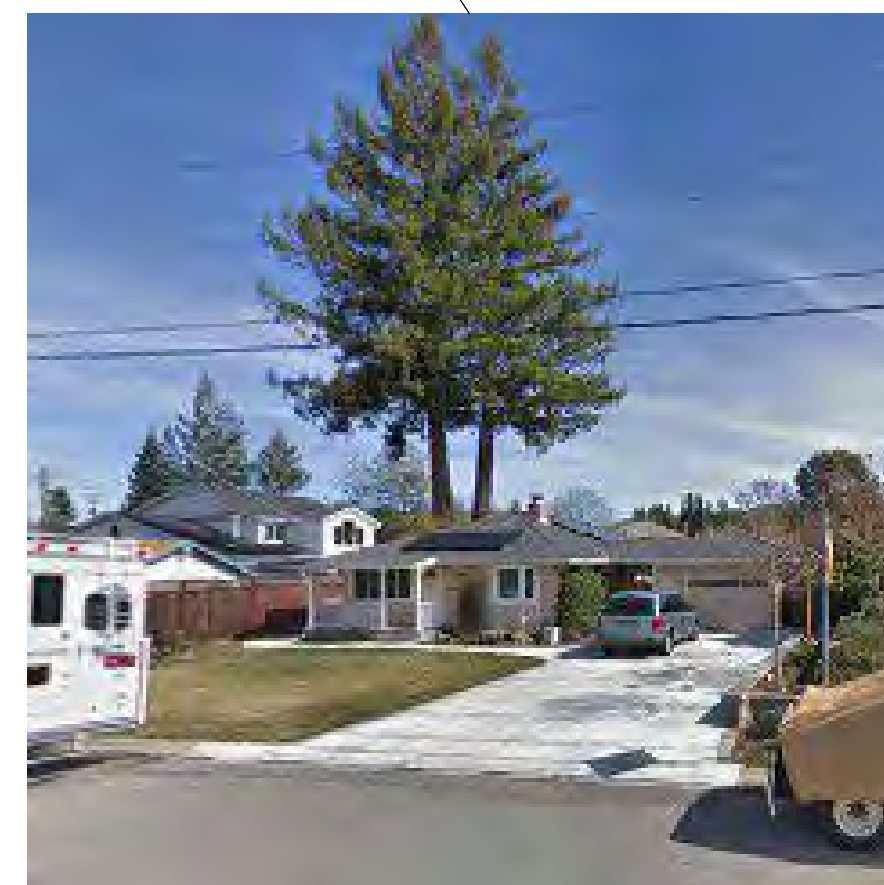
16347 SHADY VIEW LN.



16310 SHANNON RD.



16356 SHADY VIEW LN.



16344 SHADY VIEW LN.



16330 SHANNON RD.

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NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
NEIGHBORHOOD PHOTOGRAPHS

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

DRAWINGS PROVIDED BY:
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P: (408) 295-7516
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LIC.# B-476455

DATE:
12/17/2018

SCALE:
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DRAWN BY:
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SHEET:

A6.1

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NO.	DESCRIPTION	BY	DATE
1	RESPONSES TO PLAN CHECK COMMENTS	LL	03/26/2019
2	RESPONSES TO PLAN CHECK COMMENTS	LL	07/09/2019

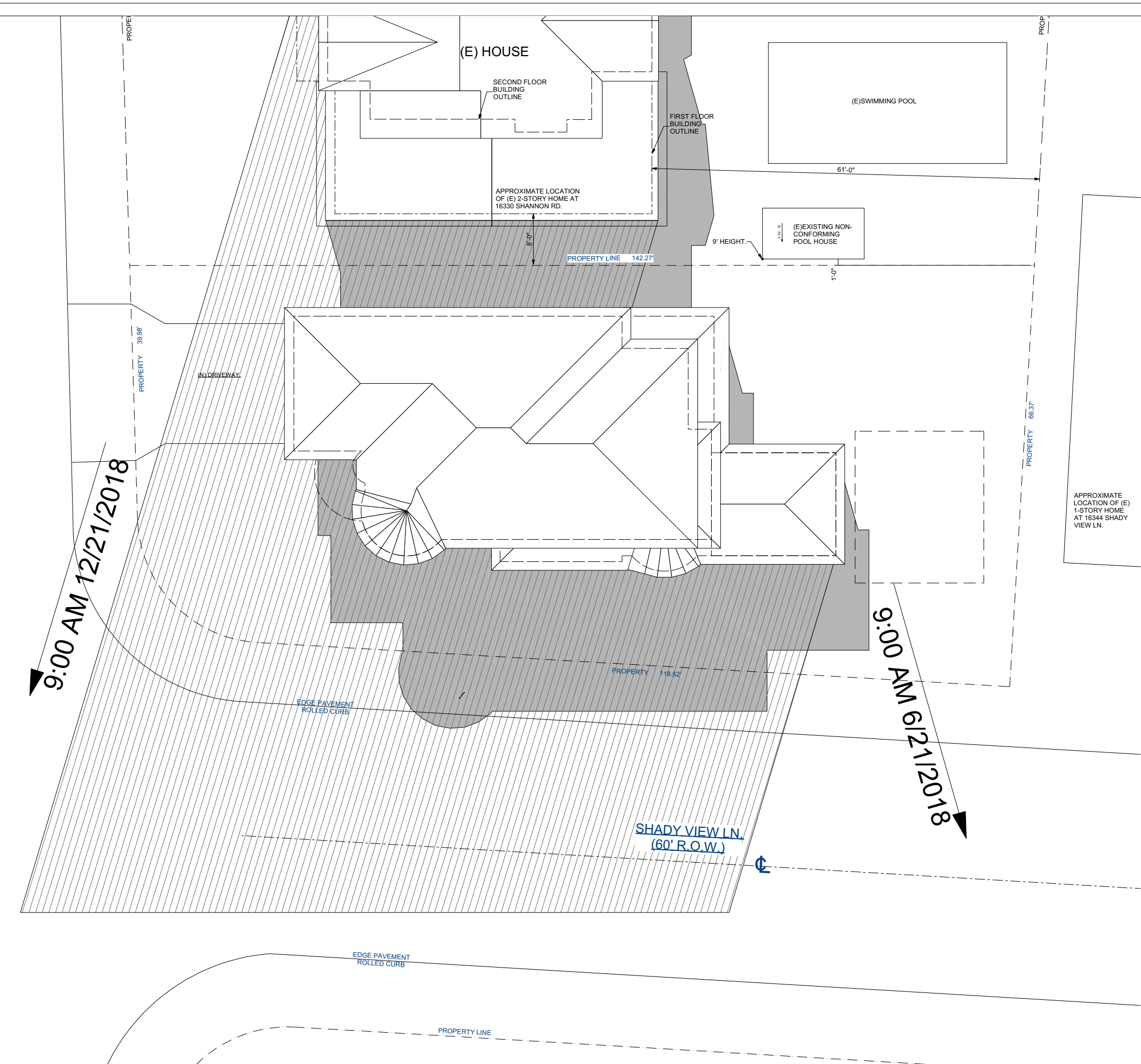
SHEET TITLE:
SHADOW STUDY

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

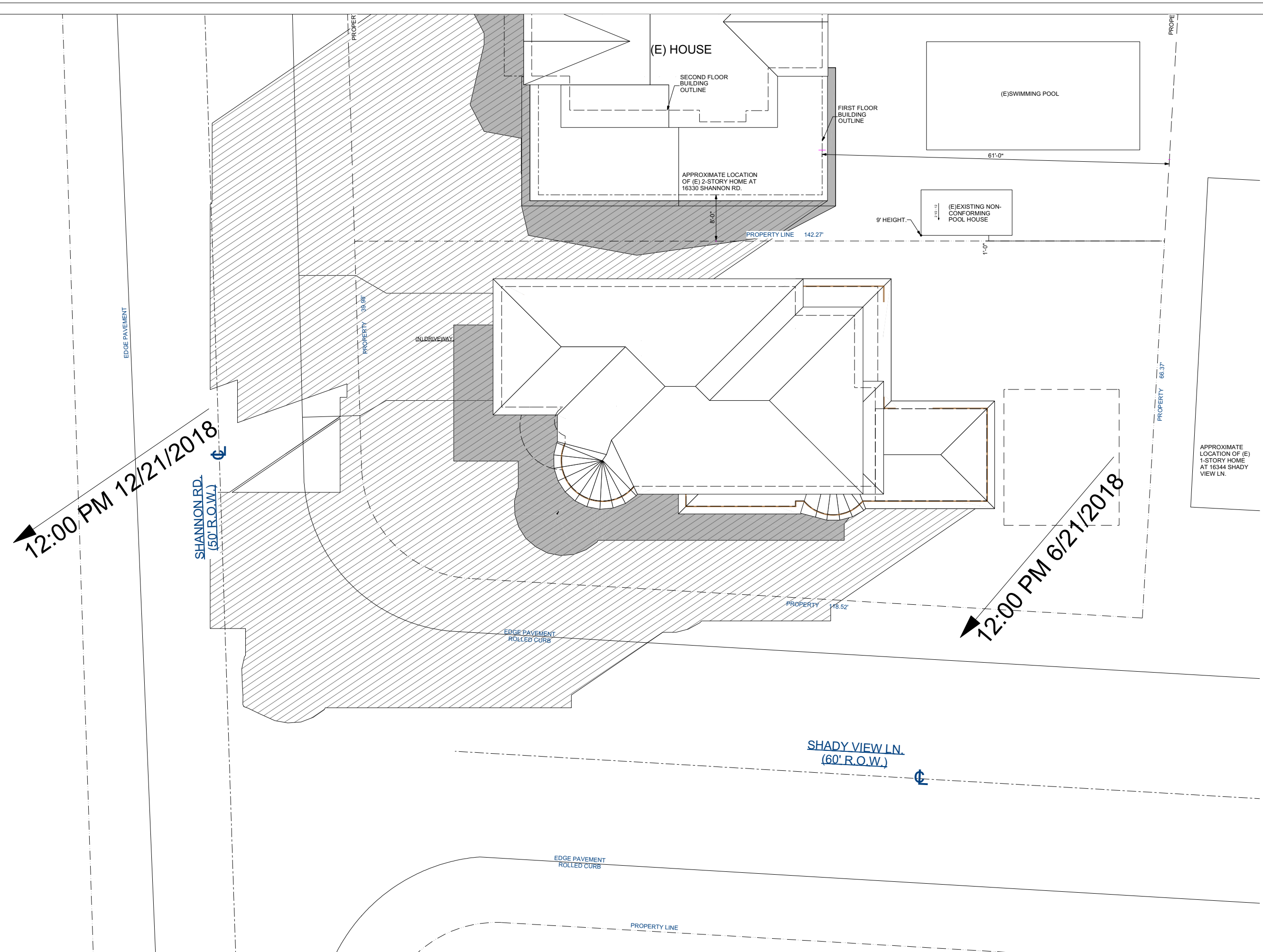
DRAWINGS PROVIDED BY:
DeMatti Construction, Inc.
1794 The Alameda, San Jose CA, 95126
P: (408) 285-7516
F: (408) 286-6589
LIC.# B-478455

DATE:	12/17/2018
SCALE:	As shown
DRAWN BY:	LL / JW
SHEET:	

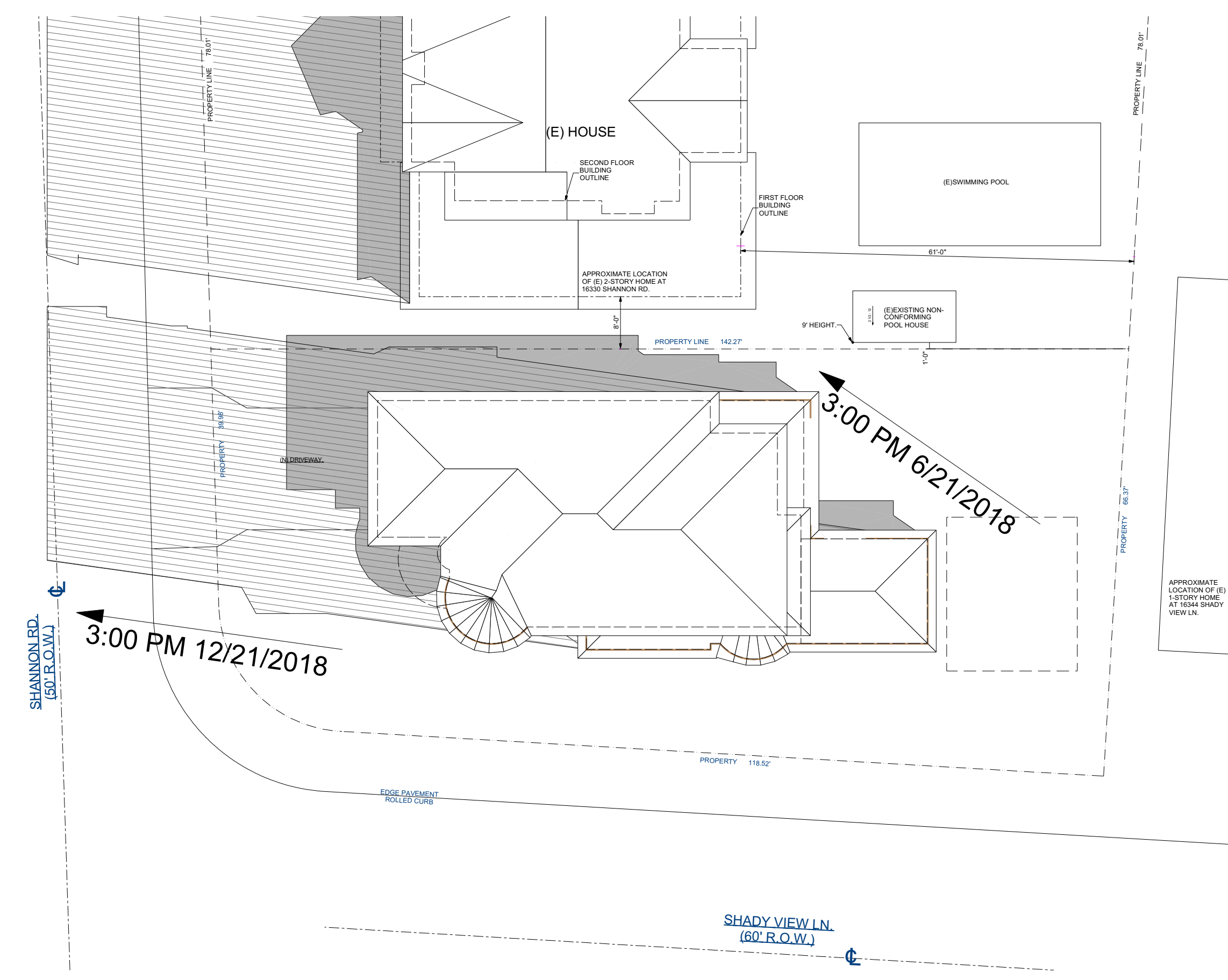
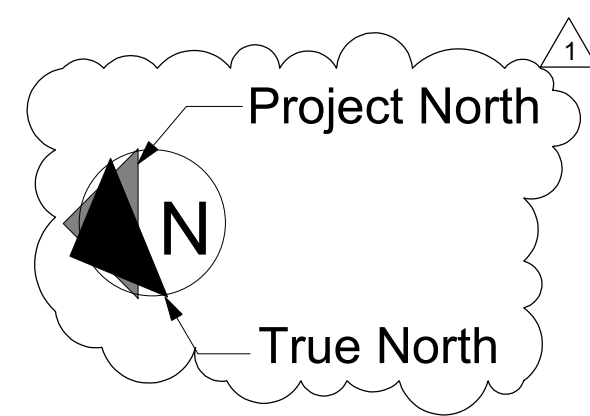
A6.2



1 PROPOSED FIRST FLOOR PLAN
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June 21st 9:00am
December 21st 9:00am

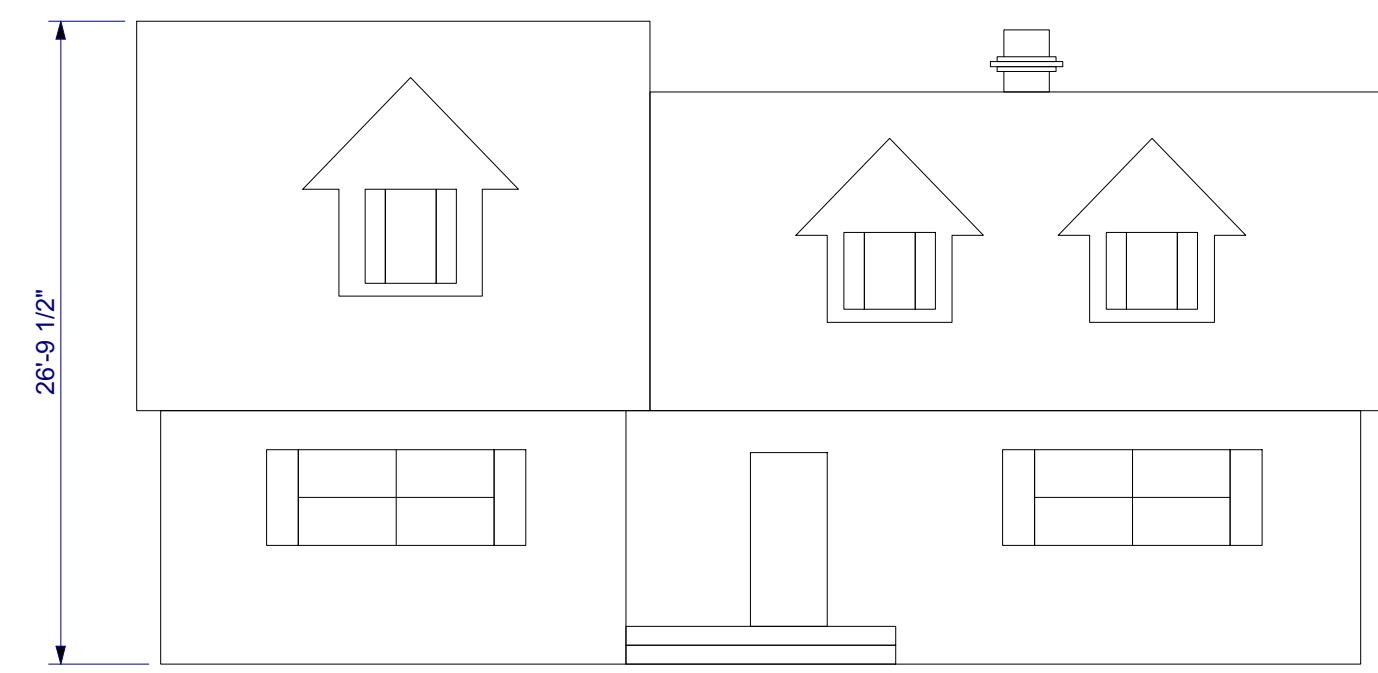


2 PROPOSED FIRST FLOOR PLAN
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June 21st 12:00pm
December 21st 12:00pm

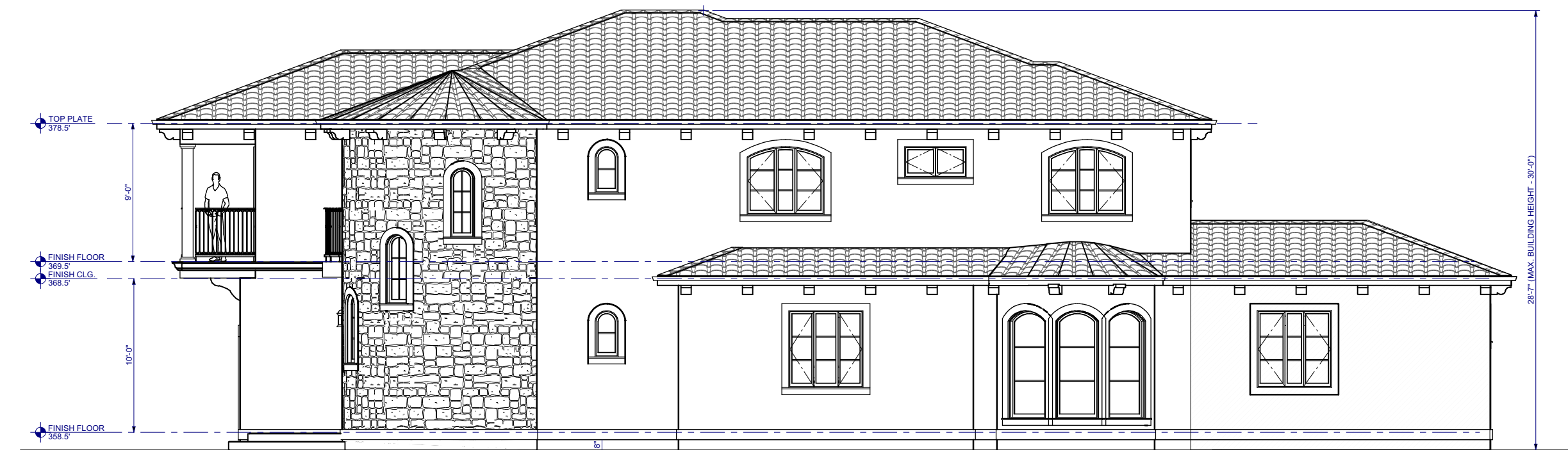


3 PROPOSED FIRST FLOOR PLAN
Scale: 1/16"=1'-0"
June 21st 3:00pm
December 21st 3:00pm

LEGEND:
 JUNE SHADOW
 DECEMBER SHADOW



16347 SHADY VIEW LN.



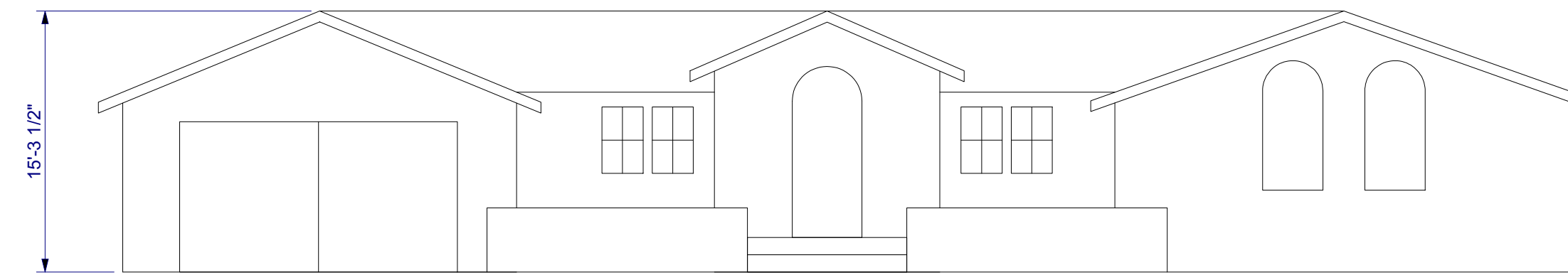
16336 SHADY VIEW LN.



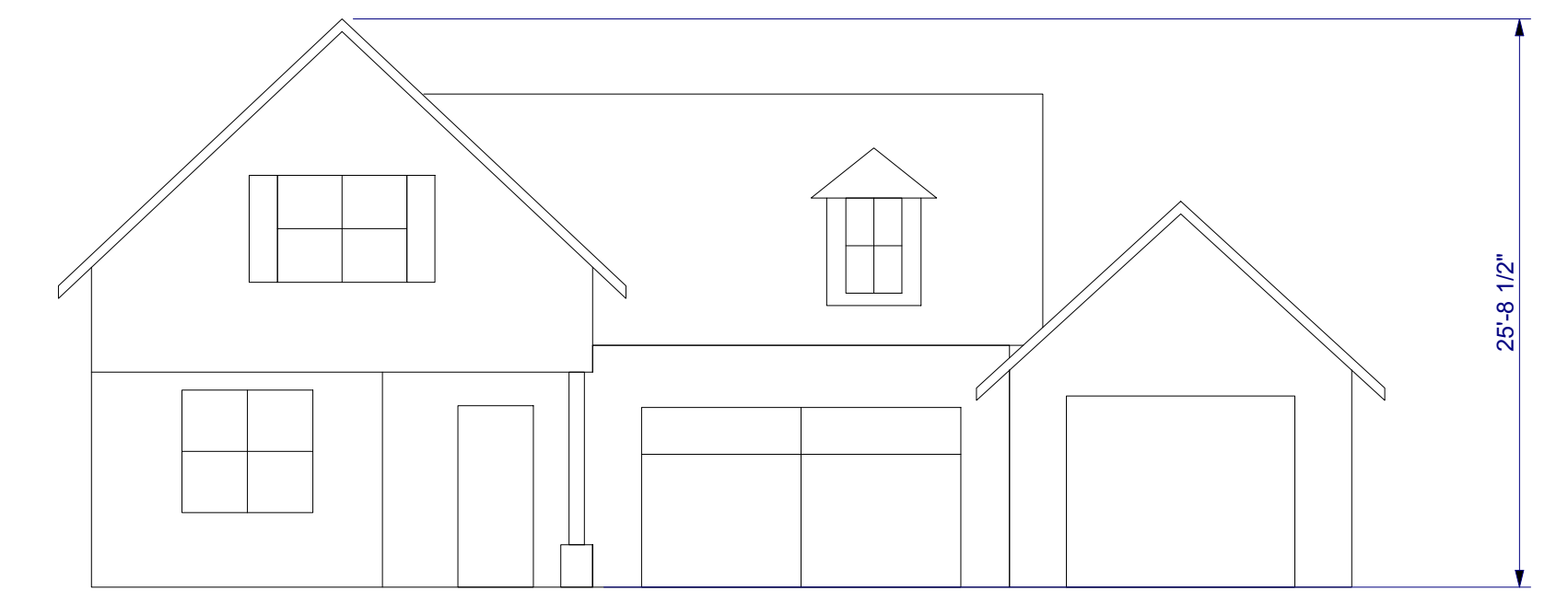
16356 SHADY VIEW LN.



16344 SHADY VIEW LN.



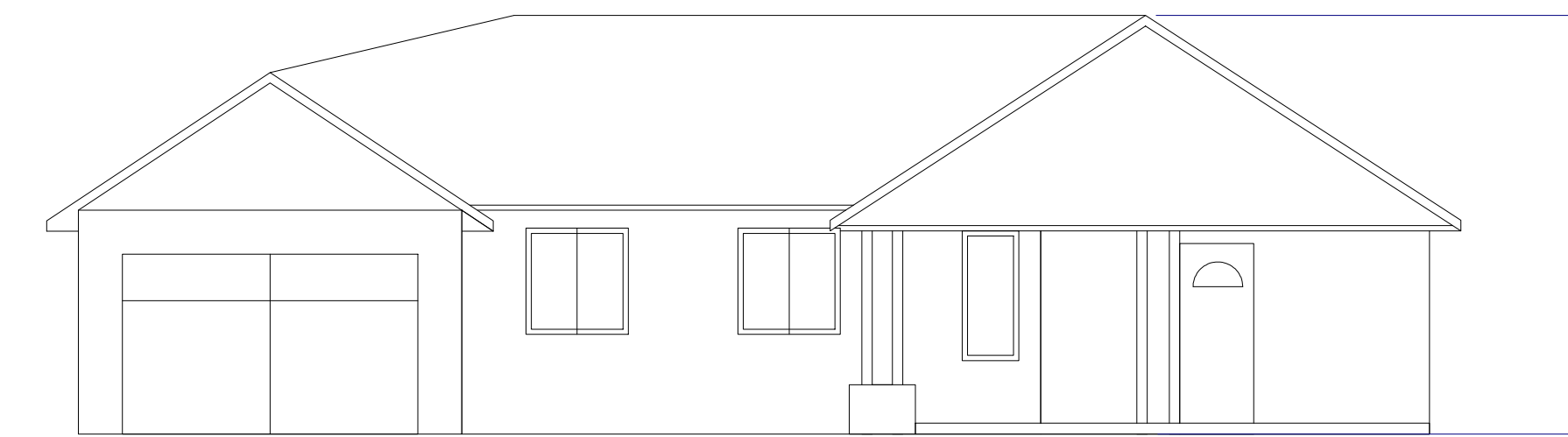
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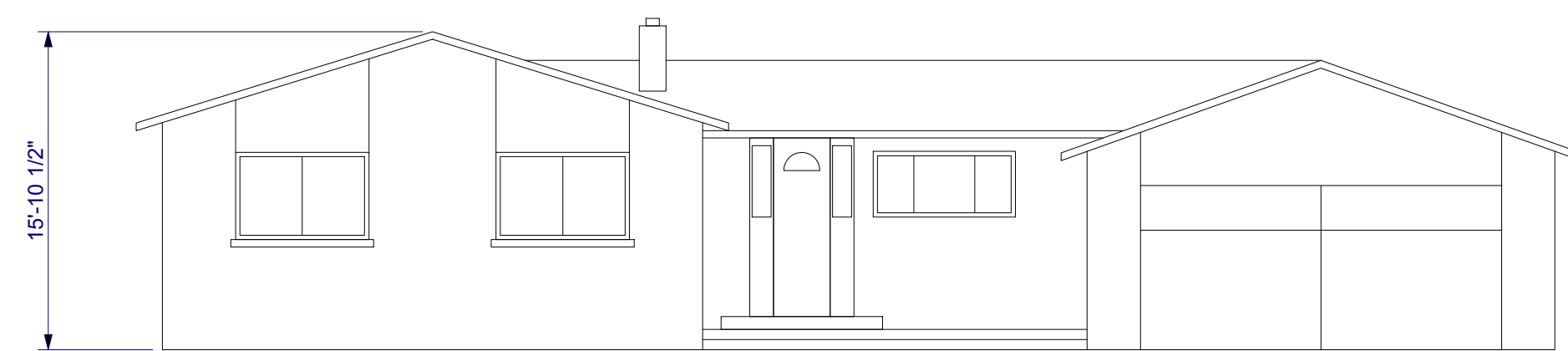
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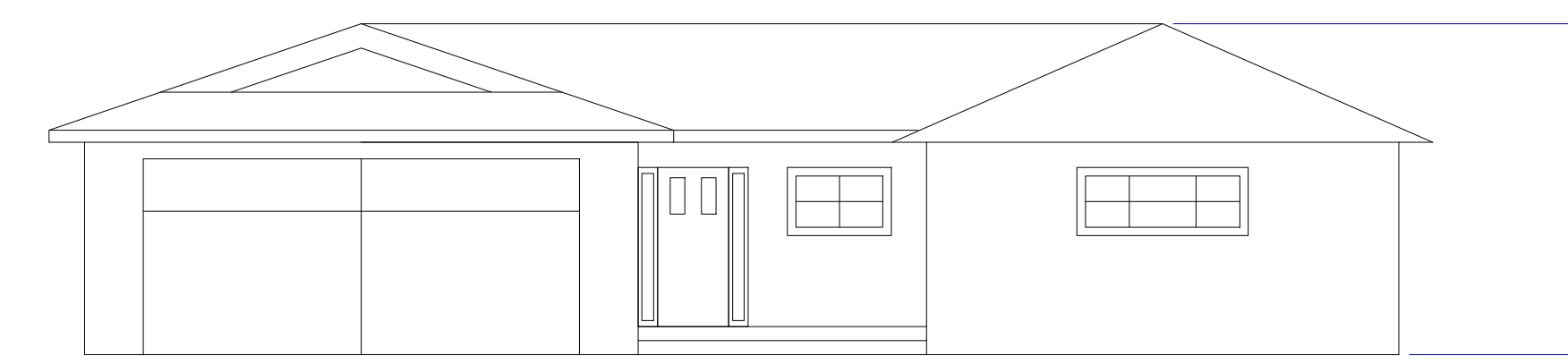
16330 SHANNON RD.



100 DEL CARLO CT.



104 HILOW CT.



100 HILOW CT.

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NO.	DESCRIPTION	BY	DATE
1	RESPONSES TO PLAN CHECK COMMENTS	LL	07/09/2019

SHEET TITLE:
SCHEMATIC
NEIGHBORHOOD
ELEVATIONS

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

DRAWINGS PROVIDED BY:
DeMattei Construction, Inc.
1794 The Alameda, San Jose CA, 95126
P: (408) 285-7516
F: (408) 286-6589
LIC.# B-476455

DATE:
12/17/2018

SCALE:
As shown

DRAWN BY:
LL / JW

SHEET:

A6.3

RECEIVED

OCT 03 2019

TOWN OF LOS GATOS
PLANNING DIVISION

From: Bill Wagner <wjwagner3@yahoo.com>
Sent: Thursday, October 03, 2019 12:43 PM
To: Planning <Planning@losgatosca.gov>
Subject: SITE APPLICATION S-18-060

PLANNING COMMISSION-16336 SHADY VIEW LANE We received a notice regarding Site App S-18-060.

After speaking to nearby residents of this site, agreement has been shown to support the modifications made by the reputable De Mattei Construction company to move this project forward successfully. The property owners have responded to the concerns of immediate neighbors productively. The conclusion is in favor of this project.
Wagner

RECEIVED
OCT 8 2010
TOWN OF CALVER
PLANNING DIVISION

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**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 10/09/2019

ITEM NO: 4

DESK ITEM

DATE: October 9, 2019
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Architecture and Site Application S-18-060. Project Location: 16336 Shady View Lane. Appellant: Matt and Carrie Currie. Applicant: De Mattei Construction. Property Owner: Allan and Katty Coulson.
Consider an appeal of a Development Review Committee Decision approving a request for demolition of a single-family residence and construction of a new single-family residence on property zoned R-1:8. APN 532-03-034.

REMARKS:

Exhibit 20 includes additional correspondence from the appellant, addressing their support of the revised plans previously provided as Exhibit 17.

Should the Planning Commission find that the revised plans provided as Exhibit 17 are acceptable, with the reduced front setback along Shannon Road, additional required findings are included as underlined in Exhibit 21.

EXHIBITS:

Previously received with the October 9, 2019 Staff Report:

1. Location map
2. Required Findings and Considerations (two pages)
3. Recommended Conditions of Approval (12 pages)
4. Project data sheet (two pages)
5. Project Description and Letter of Justification dated November 21, 2018 (one page)
6. Color and materials sample received September 5, 2019 (one page)
7. Consulting Architect's Report dated February 8, 2019 (five pages)
8. Update to Consulting Architect's Report received September 26, 2019 (one page)
9. Consulting Arborist's Report dated January 31, 2019 (39 pages)

PREPARED BY: Ryan Safty
Associate Planner

Reviewed by: Planning Manager and Community Development Director

PAGE 2 OF 2

SUBJECT: 16336 Shady View Lane/S-18-060

DATE: October 9, 2019

10. Summary of neighborhood outreach received June 14, 2019 and September 10, 2019 (three pages)
11. Correspondence between applicant and appellant prior to August 13, 2019 Development Review Committee meeting (20 pages)
12. Landscape Plan Modifications received August 13, 2019 (one page)
13. August 13, 2019 Development Review Committee meeting minutes (three pages)
14. Appeal of Development Review Committee received August 22, 2019 (15 pages)
15. Applicant's response letter to appeal received September 10, 2019 (one page)
16. Correspondence between applicant and appellant following appeal (17 pages)
17. Revised development plans incorporating alternative design options received October 4, 2019 (22 sheets)
18. Development plans approved by Development Review Committee on August 13, 2019 (20 sheets)
19. Public comment received by 11:00 a.m., Friday, October 4, 2019

Received with this Desk Item Report:

20. Additional correspondence from appellant received October 8, 2019 (three pages)
21. Revised Required Findings and Considerations (two pages)

Ryan Safty

From: Shari Santos <shari.santos@msrlegal.com>
Sent: Tuesday, October 8, 2019 2:34 PM
To: Planning
Cc: Joel Paulson; Ryan Safty; Attorney; Town Manager; Nadia Costa; Art Coon; Travis Brooks; mattcurrie@me.com; April Kee
Subject: Appeal of August 13th Development Review Committee Decision Regarding Application No. S-18-060 (16336 Shady View Lane, Los Gatos, CA.): October 9, 2019 at 7:00 PM (Agenda Item No. 4) [IWOV-iManage.FID963274]
Attachments: 2019-10-08 Letter to Planning Commission.pdf

RECEIVED

OCT 08 2019

TOWN OF LOS GATOS
PLANNING DIVISION

This email is sent on behalf of Nadia Costa.
Replies may be directed to Ms. Costa at nadia.costa@msrlegal.com. Thank you.

Shari Santos | Miller Starr Regalia

Legal Assistant to Nadia Costa

1331 North California Boulevard, Fifth Floor, Walnut Creek, CA 94596

t: 925.935.9400 | d: 925.941.3276 | f: 925.933.4126 | shari.santos@msrlegal.com | www.msrlegal.com



**MILLER STARR
REGALIA**

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Walnut Creek, CA 94596

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F 925 933 4126
www.mslegal.com

Nadia L. Costa
Direct Dial: 925 941 3235
nadia.costa@mslegal.com

October 8, 2019

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UCI 08 2019

**TOWN OF LOS GATOS
PLANNING DIVISION**

Planning Commission
Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95030

Re: Appeal of August 13th Development Review Committee Decision Regarding
Application No. S-18-060 (16336 Shady View Lane, Los Gatos, CA.):
October 9, 2019 at 7:00 PM (Agenda Item No. 4)

Chairman Hudes and Honorable Commissioners:

This office represents Matthew and Carrie Currie (the "Curries") in the above-referenced appeal of the Development Review Committee's August 13, 2019 Decision Regarding Application No. S-18-060 (the "Appeal"). We are in receipt of planning staff's October 3, 2019 report related to the Appeal, and wish to provide an update regarding the parties' efforts to resolve matters raised in the Appeal. In short, the Curries support the Commission's approval of the project that is the subject of the Appeal, but *only* if such approval is expressly conditioned on the project's incorporation of all of the design changes proposed by the project applicant on October 4, 2019 as reflected in the updated plans attached to the staff report as Exhibit 17.

As the staff report alludes, in the past weeks, the parties have worked to reach a reasonable resolution of the issues raised in the Appeal. Through this process, the Curries have made clear that they are not opposed to all redevelopment of 16336 Shady View Lane. Our clients merely requested that reasonable changes be made to the project to ensure the Curries' understandable expectations of privacy and design compatibility (i.e., massing, scale, etc.) are protected as required by the Town's Residential Design Guidelines and other applicable provisions.¹

After discussions with the Curries, on October 3, 2019, the project applicants formally submitted a revised project plan to the Town that: (1) encloses the project's originally proposed second-story balcony, (2) moves the proposed residence an additional 4.5 feet away from the Curries' property, and (3) includes an updated tree

¹ The Curries' requested project changes and the legal arguments in support of the Appeal are detailed in the Curries' August 22, 2019 appeal document and attached correspondence and shall be included in the administrative record for these proceedings.

Planning Division

October 8, 2019

Page 2

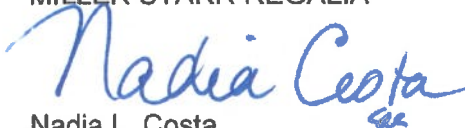
plan. The Curries wish to make clear that so long project approval is expressly conditioned on the project's full conformance with the updated plans submitted on October 3, 2019 (as reflected in Exhibit 17 attached to the October 3, 2019 staff report), including the three elements described above, the Curries will not oppose approval of the modified project.

Of course, if the Commission denies the appeal and approves the project without expressly incorporating the three crucial items listed above as conditions of approval, and without requiring conformance with the updated project plans, the Curries hereby reserve all rights to further appeal the Town's action in this regard to the Town Council as well as challenge any such project decision in litigation. Any such appeal/litigation would be based on all issues already raised by the Curries, and may also raise additional arguments available under the California Environmental Quality Act ("CEQA") as well as compliance with specified development standards, etc.

With the above in mind, the Curries appreciate the project applicants' willingness to resolve the issues raised in the Appeal by agreeing to revise and implement amended plans, as reflected in agreed-upon conditions of approval that incorporate the critical design changes indicated above. The Curries also appreciate the Town's continued review of new residential projects in a fair and uniform manner that complies with the Town's design guidelines and other relevant provisions, and takes into due consideration the often competing and compelling interests at hand in a consistent and equitable fashion.

Very truly yours,

MILLER STARR REGALIA



Nadia L. Costa

NLC

cc: Joel Paulson, Community Development Director
Ryan Safty, Associate Planner
Robert Shultz, Town Attorney
Laurel Prevetti, Town Manager
Art Coon, Miller Starr Regalia
Travis Brooks, Miller Starr Regalia
Matthew Currie
Carrie Currie

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**PLANNING COMMISSION – October 9, 2019
REQUIRED FINDINGS & CONSIDERATIONS FOR:**

**16336 Shady View Lane
Architecture and Site Application S-18-060**

Consider an appeal of a Development Review Committee decision approving a request for demolition of a single-family residence and construction of a new single-family residence on property zoned R-1:8. APN 532-03-034.

PROPERTY OWNER: Allan and Katty Coulson

APPLICANT: Lerika Liscano (De Mattei Construction)

FINDINGS

Required findings for CEQA:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

Required finding for the demolition of a single-family residence:

- As required by Section 29.10.09030(e) of the Town Code for the demolition of a single-family residence:
 1. The Town's housing stock will be maintained as the single-family residence will be replaced.
 2. The existing structure has no architectural or historical significance, and is in poor condition.
 3. The property owner does not desire to maintain the structure as it exists; and
 4. The economic utility of the structures was considered.

Required finding for reduced setbacks on a nonconforming lot:

- As required by Section 29.10.265(3) of the Town Code for modification of zoning rules on nonconforming lots, including setback requirements:
 1. The subject property is nonconforming with regard to the frontage being 66 feet in a zone where 80 feet is required.
 2. The new single-family residence will be compatible with the neighborhood.

Required Compliance with the Residential Design Guidelines:

- The project is in compliance with the Residential Design Guidelines for single-family homes not in hillside residential areas and was reviewed by the Town’s Consulting Architect. The project is compatible with the immediate neighborhood in terms of size, bulk, and scale. The proposed two-story residence is adjacent to a two-story home and would not be the largest or tallest home in the immediate neighborhood. Privacy measures have been taken in the form of screening trees, window modifications and reductions, and size reductions and enclosure of one side of a second-story balcony with a screening wall.

CONSIDERATIONS:

Considerations in review of Architecture & Site applications:

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 10/09/2019

ITEM NO: 5

DATE: October 4, 2019
TO: Planning Commission
FROM: Matt Morley, Parks and Public Works Director
SUBJECT: General Plan Amendment Application GP-19-001. Project Location: **Town Wide**. Applicant: Town of Los Gatos.
Consider proposed General Plan amendments to language specific to Highway 17 in Goal TRA-4 and supporting policies.

RECOMMENDATION:

Provide a recommendation to the Town Council on proposed General Plan amendments (Exhibit 3) to language specific to Highway 17 in Goal TRA-4 and supporting policies.

BACKGROUND:

Changing dynamics in job and population growth in the greater Bay Area have led to increased pressure on local streets and roads as freeways exceed capacity. This is especially evident in Los Gatos during commute hours and with summer weekend beach traffic. The configuration of Highway 17 approaching Los Gatos from the north and through the Town may exacerbate the impacts on the Town as drivers search for alternate routes that lead them to local streets.

In 2016, Measure B was passed by voters to allow for transportation improvements throughout the County funded through a sales tax increase. This measure included broad language specific to Los Gatos and Highway 17. The specific Measure B language reads:

Highway 17 Corridor Congestion Relief: Upgrade Highway 17/9 interchange to improve pedestrian and bicycle safety, mobility, and roadway operations; deploy advanced transportation technology to reduce freeway cut thru traffic in Los Gatos, including traffic signal control system upgrades in Los Gatos, Traveler Information System, advanced ramp metering systems; support Multi-Modal Congestion Relief Solutions, including enhanced Highway 17

PREPARED BY: Matt Morley
Parks and Public Works Director

Reviewed by: Town Manager, Community Development Director, and Town Attorney

BACKGROUND (continued):

Express Bus service, implementing local bus system improvements that reduce auto trips to schools, work, and commercial areas in Los Gatos; and develop park and ride lots to serve as transit hubs for express bus, shuttles, local bus system connections.

Through preliminary discussions with the Valley Transportation Agency (VTA), and Caltrans an opportunity exists to extend the scope of the Highway 9 interchange project to include efficiencies from Highway 85 through the Highway 9 onramp to southbound Highway 17.

In the interest of ensuring the potential for funding for the maximum scope of the project, on March 19, 2019 the Town Council, on a 3-2 vote, supported the design for a project at Highway 9 and Highway 17, including design options for efficiencies on Highway 17 and for additional travel lanes on Highway 17, and directed staff to process a 2020 General Plan amendment allowing for the project. Exhibit 1 is the Council Agenda Report for this item.

The early work associated with the project includes identifying the scope of work and preliminary design associated with the project, which may include stacking lanes, merge lanes, auxiliary lanes, exit lanes, and improved traffic flow through lane realignment and roadway widening. The Town will be engaged through a public outreach process and provide Town Council reports throughout the design and construction.

DISCUSSION:

The Town Council directed staff to process amendments to the existing 2020 General Plan in alignment with the potential project. Exhibit 2 provides the text of 2020 General Plan Goal TRA-4 and supporting policies and Exhibit 3 provides the recommended amendments. Staff recommends retaining the full language of the existing Goal TRA-4 in the interest of continuing to emphasize the importance of Highway 17 to the community. Modifications to the supporting policies would facilitate the project design.

Town procedure requires the General Plan Committee (GPC) to make a recommendation on all proposed General Plan amendments. Because the entire GPC sits on the General Plan Advisory Committee (GPAC) and it is important for the entire GPAC to be involved with any changes to the existing General Plan to inform its work on the update, this item was presented to the GPAC on September 19, 2019. The GPAC recommendation is now proceeding to the Planning Commission as it conducts a public hearing on the amendments and makes its recommendation to the Town Council. The Town Council is tentatively scheduled to hold its public hearing on November 5, 2019.

DISCUSSION (continued):

During the GPAC discussion on this item, three recommendations were provided. The recommendations from the GPAC refer to the text in Exhibit 3 and the recommendation for added text is reflected as underlined and italicized.

1. Modify the recommended changes to Policy TRA-4.1 to read: Improvements to Highway 17 should consider and if appropriate support efficiency improvements prior to adding capacity through increased travel lanes.
2. With respect to Policy TRA-4.3, the GPAC recommended removal of this policy in its entirety and renumbering subsequent policies to reflect the removal.
3. With respect to Policy TRA-4.5, the GPAC recommended not making the staff recommendation that would change the word “do” to “does,” while accepting the removal of the words “lanes or.”

CONCLUSION:

The Commission should review the proposed amendments and provide a recommendation to the Town Council.

COORDINATION:

This report has been coordinated with the Community Development Department.

FISCAL IMPACT:

There is no fiscal impact as a result of the recommended action.

ENVIRONMENTAL ASSESSMENT:

This is not a project defined under CEQA, and no further action is required.

EXHIBITS:

1. March 19, 2019 Council Agenda Report
2. Current General Plan TRA-4 Goal and Policies
3. Proposed General Plan amendments to Goal TRA-4 and supporting policies



**TOWN OF LOS GATOS
COUNCIL AGENDA REPORT**

MEETING DATE: 03/19/2019

ITEM NO: 7

DATE: MARCH 14, 2019
TO: MAYOR AND TOWN COUNCIL
FROM: LAUREL PREVETTI, TOWN MANAGER
SUBJECT: SUPPORT THE 2016 MEASURE B PROJECT FOR IMPROVEMENTS AT HIGHWAY 9 AND HIGHWAY 17 INCLUDING DESIGN OPTIONS FOR EFFICIENCIES ON HIGHWAY 17 AND FOR ADDITIONAL TRAVEL LANES ON HIGHWAY 17 AND DIRECT STAFF TO PROCESS A GENERAL PLAN 2020 AMENDMENT ALLOWING FOR THE PROJECT

RECOMMENDATION:

Support the 2016 Measure B project for improvements at Highway 9 and Highway 17 including design options for efficiencies on Highway 17 and for additional travel lanes on Highway 17 and direct staff to process a General Plan 2020 amendment allowing for the project.

BACKGROUND:

The Countywide 2016 Measure B sales tax measure includes investments in the regional transportation infrastructure across nine program areas. The Santa Clara Valley Transportation Authority (VTA) manages the 2016 Measure B program and the VTA Board approves project prioritization and funding. The VTA intends to approve projects on a two-year budget cycle with a ten year look ahead at potential projects. For projects to get underway in that ten-year cycle, it is important that they are included in the two-year budgeting process. The Town has engaged actively to ensure local projects receive prioritization in the program.

One priority area of particular importance to Los Gatos is the Highway program. The program includes upgrades to the highway system with the number and anticipated costs of the identified projects exceeding the anticipated funding through the life of 2016 Measure B, making this a very competitive category.

PREPARED BY: MATT MORLEY
Parks and Public Works Director

Reviewed by: Town Manager, Assistant Town Manager, Town Attorney, Finance Director

SUBJECT: SUPPORT THE 2016 MEASURE B PROJECT FOR IMPROVEMENTS AT HIGHWAY 9 AND HIGHWAY 17 INCLUDING DESIGN OPTIONS FOR EFFICIENCIES ON HIGHWAY 17 AND FOR ADDITIONAL TRAVEL LANES ON HIGHWAY 17 AND DIRECT STAFF TO PROCESS A GENERAL PLAN 2020 AMENDMENT ALLOWING FOR THE PROJECT

DATE: MARCH 14, 2019

DISCUSSION:

Through the process to establish the structure of and projects included in the 2016 Measure B, the Town proposed upgrades to the interchange at Highway 9 and Highway 17 as its major project in the category. In reviewing the project with VTA, an opportunity exists to include two options for modifications to Highway 17 through Los Gatos. The first includes efficiency improvements such as adding auxiliary lanes and realigning existing lanes. Auxiliary lanes might include continuing the on-ramp from Lark Avenue south to the Highway 9 off-ramp, facilitating a smoother transition of traffic. The second is an expanded version that could include the addition of travel lanes on Highway 17. VTA is prepared to advance this project by budgeting 2016 Measure B funds to bring the project through preliminary design and environmental review. The allocation of 2016 Measure B funds would require at least a 10 percent contribution from non-2016 Measure B sources. Securing 2016 Measure B funds would be an important first step toward assessing Highway 17 solutions for addressing the cut-through of regional traffic through the Town.

The Transportation Element of the Town of Los Gatos 2020 General Plan Goal TRA-4 identifies several policies associated with Highway 17, including Policy TRA-4.1 – “Highway 17 should not be widened to provide additional travel lanes south of Lark Avenue.” VTA is aware of this policy and the current work to update the Town’s General Plan. Approval of the recommendation will signify the Council’s support to pursue and accept 2016 Measure B funds to start project development efforts for Highway 17 that could result in an improvement project that includes additional lanes on Highway 17 and to update the Town’s General Plan as part of its ongoing efforts to allow for such an outcome. The project design will remain within the existing Highway 17 right-of-way and any impacts to trees will be mitigated with equivalent replacement plantings. During the project development process, the town and its Council will have multiple opportunities to direct, review and provide input on the development of solutions to be part of the project. This should also align with the completion of the General Plan 2040.

The first phase of the project development process that would assess options could take up to two years to complete and would result in recommendations on project elements to take into future phases, such as environmental documentation and design. Support of the first phase should occur in good faith that a reasonable design will be supported by the Town for future construction.

CONCLUSION:

Supporting the initiation of a project development process for improvements on Highway 17, with the understanding that improved conditions on Highway 17 may lead to less congestion on local roadways and will lead to subsequent environmental documentation and design work on selected project elements with concurrence from the Town.

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SUBJECT: SUPPORT THE 2016 MEASURE B PROJECT FOR IMPROVEMENTS AT HIGHWAY 9 AND HIGHWAY 17 INCLUDING DESIGN OPTIONS FOR EFFICIENCIES ON HIGHWAY 17 AND FOR ADDITIONAL TRAVEL LANES ON HIGHWAY 17 AND DIRECT STAFF TO PROCESS A GENERAL PLAN 2020 AMENDMENT ALLOWING FOR THE PROJECT

DATE: MARCH 14, 2019

COORDINATION:

This report has been coordinated with the VTA.

FISCAL IMPACT:

This agenda item does not financially obligate the Town; however, 2016 Measure B projects have a requirement for a minimum ten percent non-2016 Measure B match of funds. If approved, Town staff will work with VTA and others to identify matching funds, including Federal, State, or regional grant funds. The Town may also be asked to contribute matching funds for the project in the future.

ENVIRONMENTAL ASSESSMENT:

The recommended actions are not a project defined under CEQA and no further action is required.

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Goal TRA-4 To ensure that future changes to Highway 17 do not negatively impact the quality of life or small-town character of Los Gatos.

Policies

Policy TRA-4.1 Highway 17 should not be widened to provide additional travel lanes south of Lark Avenue.

Policy TRA-4.2 There should not be an interchange at Blossom Hill Road.

Policy TRA-4.3 Highway 17 between Los Gatos and Santa Cruz should not be widened to provide additional travel lanes or be converted to a freeway.

Policy TRA-4.4 The Planning Commission and Town Council shall review all new or modified connections with Highway 17 within the Town.

Policy TRA-4.5 Work with other local jurisdictions and the State to develop effective ways to reduce regionally generated Highway 17 congestion and cross-town traffic that do not involve adding freeway lanes or interchanges.

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Goal TRA-4 To ensure that future changes to Highway 17 do not negatively impact the quality of life or small-town character of Los Gatos.

Policies

Policy TRA-4.1 ~~Highway 17 should not be widened to provide additional travel lanes south of Lark Avenue.~~ Improvements to Highway 17 should consider efficiency improvements prior to adding capacity through increased travel lanes.

Policy TRA-4.2 There should not be an interchange at Blossom Hill Road.

Policy TRA-4.3 Highway 17 between Los Gatos and Santa Cruz should not be widened to provide additional travel lanes or be converted to a freeway.

Policy TRA-4.4 The Planning Commission and Town Council shall review all new or modified connections with Highway 17 within the Town.

Policy TRA-4.5 Work with other local jurisdictions and the State to develop effective ways to reduce regionally generated Highway 17 congestion and cross-town traffic that does not involve adding freeway ~~lanes or~~ interchanges.

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